



## **RIVER FOREST ZONING BOARD OF APPEALS MEETING AGENDA**

A meeting of the River Forest Zoning Board of Appeals will be held on Thursday, January 14, 2021 at 7:30 P.M. in the Community Room of the River Forest Village Hall, 400 Park Avenue, River Forest, Illinois.

Physical attendance at this public meeting is limited to 10 individuals, with Zoning Board of Appeals officials, staff and consultants having priority over members of the public. Public comments and any responses will be read into the public meeting record. You may submit your public comments via email in advance of the meeting to: Lisa Scheiner at [lscheiner@vrf.us](mailto:lscheiner@vrf.us). You may listen to the meeting by clicking here <https://us02web.zoom.us/j/86466732268> or participating in a telephone conference call as follows, dial-in number: 1-312-626-6799 with meeting id: 864 6673 2268. If you would like to participate over the phone, please contact Assistant Village Administrator Lisa Scheiner by telephone at (708) 714-3554 or by email at [lscheiner@vrf.us](mailto:lscheiner@vrf.us) by 12:00 pm on Thursday, January 14, 2021.

- I. Call to Order
- II. Approval of the Minutes from the meeting of the Zoning Board of Appeals on November 12, 2020
- III. Approval of Findings of Fact for the Proposed Variation Requests at 1134 - 1136 Harlem Avenue – Enclosed Parking requirement.
- IV. Continuation of the hearing of the Variation Request for 346 Park Avenue – Side Yard Setback for a home with an existing non-conforming Side Yard Setback, from 9-10-2020.
- V. Confirmation of Next Meeting – February
- VI. Public Comment
- VII. Adjournment

**VILLAGE OF RIVER FOREST**  
**ZONING BOARD OF APPEALS MEETING MINUTES**  
November 12, 2020

A meeting of the Village of River Forest Zoning Board of Appeals was held at 7:30 p.m. on Thursday, November 12, 2020 in the Community Room of the River Forest Village Hall, 400 Park Avenue, River Forest, Illinois.

**I. CALL TO ORDER**

Chairman Martin called the public hearing to order at 7:30 p.m.

Upon roll call, the following persons were:

Present: Members Berni, Dombrowski, O'Brien, Schubkegel, and Chairman Martin.

Absent: Members Lucchei and Smetana

Also Present: Assistant Village Administrator Lisa Scheiner and Village Attorney Greg Smith

**II. APPROVAL OF OCTOBER 15, 2020 ZONING BOARD OF APPEALS MEETING MINUTES**

A MOTION was made by Member O'Brien and SECONDED by Member Lucchesi to approve the minutes of the October 15, 2020 Zoning Board of Appeals meeting as amended.

Ayes: Dombrowski, O'Brien, Berni, Schubkegel, and Martin.

Nays: None

Motion passed.

**III. APPROVAL OF FINDINGS OF FACT FOR THE PROPOSED ZONING VARIATIONS AT 7820 AUGUSTA STREET FROM THE MEETING OF THE ZONING BOARD OF APPEALS ON OCTOBER 15, 2020 AS AMENDED**

A MOTION was made by Member O'Brien and SECONDED by Member Berni to approve the Findings of Fact and recommendation as amended.

Ayes: Dombrowski, O'Brien, Berni, Schubkegel, and Martin.

Nays: None

Motion passed.

**IV. APPROVAL OF FINDINGS OF FACT FOR THE PROPOSED ZONING VARIATIONS AT 210 GALE AVENUE FROM THE MEETING OF THE ZONING BOARD OF APPEALS ON OCTOBER 15, 2020**

A MOTION was made by Member O'Brien and SECONDED by Member Berni to approve the Findings of Fact and recommendation.

Ayes: Dombrowski, O'Brien, Berni, Schubkegel, and Martin.

Nays: None

Motion passed.

**V. ZONING VARIATION REQUEST - 1134-1136 HARLEM AVENUE - PUBLIC HEARING**

Chairman Martin called the public hearing to order.

Assistant Village Administrator Scheiner read the attestation and swore in all parties wishing to speak.

Daniel Brown, property owner, asked the project architect, Drew Nelson, to present the petition.

Mr. Nelson stated that Mr. Brown came to him after he'd lost his detached two-car garage to fire and that Mr. Brown desires to replace the two-car garage. Mr. Nelson stated that the Zoning Ordinance requires two enclosed spaces and one surface parking space for each unit. He stated that primary structure is a two-flat on a 50-foot wide lot. He continued that a four-car garage and two surface parking spaces will not fit on the site and would require the use of the side yard for more. The house is located at the intersection of an alley and an enclosed four-car garage would take up more yard space and create more impervious surface. Mr. Nelson said that this type of building is not typical for the Zoning District. He said that Mr. Brown proposes to rebuild what was there previously which includes a garage with two enclosed spaces and a parking pad for two additional spaces.

Mr. Brown stated that the backyard is attractive with fencing, trees and grass, and is used by the tenants for outdoor enjoyment. To make it smaller to accommodate the parking pads would detract from the attractiveness from of the house. The house is on Harlem Avenue and the noise is very loud. Mr. Brown continued that the back yard is quiet and nice and it would be ruined if he is required to provide enclosed parking. He stated that they have gotten by with the existing parking for years.

Mr. Nelson stated the Zoning Ordinance requires a minimum lot size in the R3 Zoning District of 8,712 square feet. He stated that the lot is smaller than is what is required and he believes that the parking requirements was a reaction to building a larger multi-unit building than the existing two-flat.

In response to a question from Chairman Martin, Mr. Brown stated that the parking spaces are used by the tenants of the parking spots. He stated that each unit gets one covered spot and one uncovered spot on the parking pad. In response to a follow-up question from Chairman Martin, Mr. Brown confirmed that the tenant leases include the exclusive use of two parking spaces. Mr. Brown stated that the fifth parking space could be squeezed onto the pad but it fits two spaces more comfortably. He continued that the pad is used as a walkway to the alley for trash.

Mr. Nelson stated that the existing pad is 24 feet 7 inches and that, per Village Code, it could be striped for two legal spaces and one compact space, but a portion of the pad is currently used as a walkway.

In response to a question from Chairman Martin about whether he intends to use the concrete pad for two or three spaces, Mr. Brown stated it is not currently striped but it could be striped.

Chairman Martin stated that he is asking this question because it appeared that Mr. Brown had five spaces prior to the fire. The petition is for the garage to be replaced in kind. Chairman Martin asked if Mr. Brown would be providing five total spaces or if he was also requesting an additional variation for the number of required parking spaces. Mr. Brown said they didn't plan to change anything, just replace the garage. Mr. Nelson stated that there would be the same amount of surface and garage parking.

In response to a question from Mr. Berni, Mr. Brown stated the garage has been gone for approximately 18 months. Mr. Brown said they had made arrangements to replace it but when they tried to get a permit they discovered that replacing it was not in compliance with Village Code.

In response to a question from Mr. Berni, Mr. Brown confirmed that the existing tenants are only expecting what they had before for parking.

Ms. Scheiner read a letter into the record from one of Mr. Brown's tenants who was unable to attend the meeting but supports the requested zoning variation. Chairman Martin stated the letter would be considered as evidence regarding the requested variation.

Chairman asked Mr. Brown how often the parking spaces are filled. Mr. Brown stated that he doesn't get over to the property very often and that there are sometimes one or two spots available. He said his tenants have different schedules and the spots are used, but he doesn't know that they're all used 100% of the time.

Chairman Martin asked whether Mr. Brown had considered building two two-car garages, one in the location of the old garage and one in the location of the pad, which would provide four enclosed parking spaces. Mr. Brown stated that they would still be short on guest



parking. Mr. Martin acknowledged that they would not have two parking spots and no one is suggesting that they destroy the back yard.

Mr. Nelson stated that the new garage is a little longer than the old garage and will comply with current setback requirements.

Chairman Martin asked if there were any further questions for the applicant or anyone else who wished to speak about the application. Hearing none, Chairman Martin closed the public hearing.

#### Discussion and Deliberation of the Variation Request

Chairman Martin suggested that approval of the variation request be conditioned upon striping the concrete pad for three cars for a total of two enclosed and three unenclosed spaces on the property.

Mr. Berni stated that Harlem Avenue is a hardship in itself as there is no parking and that a parking pad at this property works better for guest parking and preserves open space. He stated he supports the requested variation.

Mr. Dombrowski agreed with Mr. Berni's comments.

A MOTION was made by Member Dombrowski and SECONDED by Member Berni that the requested variation be granted with the condition that the concrete pad be striped for three additional parking spaces.

Ayes: Dombrowski, O'Brien, Berni, Schubkegel, and Martin.

Nays: None

Motion passed.

#### **VI. PUBLIC COMMENT**

None.

#### **VII. ADJOURNMENT**

Chairman Martin announced that there would be no Zoning Board of Appeals meeting in December. The next meeting will be in January and would include a continued public hearing for the requested variation at 346 Park Avenue.

A MOTION was made by Member O'Brien and SECONDED by Member Schubkegel to adjourn the meeting at 7:57 p.m.

Ayes: Dombrowski, O'Brien, Berni, Schubkegel, and Martin.

Nays: None

Motion passed.

Respectfully Submitted:

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Lisa Scheiner, Secretary

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Frank Martin, Chairman  
Zoning Board of Appeals

Date: \_\_\_\_\_

DRAFT

**VILLAGE OF RIVER FOREST ZONING BOARD OF APPEALS  
FINDINGS OF FACT AND RECOMMENDATION REGARDING  
AN ENCLOSED PARKING SPACES VARIATION  
RELATED TO A PROPOSED GARAGE  
AT 1134 – 1136 HARLEM AVENUE**

**WHEREAS**, petitioner Daniel J. Brown (“Petitioner”), owner of the property located at 1134 – 1136 Harlem Avenue in the Village of River Forest (“Property”), requested a variation from the Village of River Forest’s enclosed parking space requirement in Section 10-10-8 of the Village of River Forest Zoning Ordinance (“Zoning Ordinance”), to allow the construction of a garage with two (2) enclosed parking spaces, where the minimum number of enclosed parking spaces required is four (4) (“Variation”). The Property is located in the R-3 Single-Family (Attached) Residential Zoning District; and

**WHEREAS**, the Village of River Forest Zoning Board of Appeals (“ZBA”) held a public hearing on the question of whether the requested Variation should be granted on November 12, 2020, and the hearing was held in accordance with Section 10-5-4(E) of the Zoning Ordinance. At the public hearing, all persons present and wishing to speak were given an opportunity to be heard and all evidence that was tendered was received and considered by the ZBA; and

**WHEREAS**, public notice in the form required by law was given of the public hearing by publication not more than thirty (30) days nor less than fifteen (15) days prior to said public hearing in the *Wednesday Journal*, a newspaper of general circulation in the Village, there being no newspaper published in the Village. In addition, notice was mailed to surrounding property owners; and

**WHEREAS**, at the public hearing on November 12, 2020, Petitioner Daniel J. Brown and Petitioner’s architect provided information regarding the requested Variation, testifying, among other things, that the Property previously had a two (2) car garage which burned down approximately eighteen (18) months ago, and that Petitioner requested the Variation in order to replace that garage with a similar structure; and

**WHEREAS**, at the public hearing, Petitioner and his architect testified that building a garage with four (4) enclosed parking spaces as required by the Zoning Ordinance, instead of the two (2) enclosed spaces proposed, would require a significant reduction in available open space in the backyard of the Property; and

**WHEREAS**, at the public hearing, Petitioner and his architect also testified that the Property has three (3) additional unenclosed parking spaces on a concrete parking pad adjacent to the garage, and that Petitioner intended to keep the three (3) unenclosed parking spaces in place if the proposed two (2) car garage were allowed to be built; and

**WHEREAS**, five (5) members of the ZBA were present for the public hearing, which constituted a quorum of the entire ZBA that is required to convene a meeting of the ZBA, and allow for the public hearing to proceed; and

**WHEREAS**, after the close of public comment, the ZBA discussed and deliberated the application for this Variation; and

**WHEREAS**, following discussion, the ZBA, having considered the criteria set forth in Section 10-5-4 of the Zoning Ordinance, on November 12, 2020, voted five (5) to zero (0) to recommend approval of the Variation;

**NOW, THEREFORE**, the ZBA makes the following findings of fact and recommendations pursuant to Section 10-5-4(E)(2) of the Zoning Ordinance:

### **FINDINGS OF FACT**

1. **The physical surroundings, shape or topographical conditions of the Property constitute a specific hardship upon the owner as distinguished from an inconvenience if the strict letter of the regulations were to be carried out.** The ZBA finds that this standard has been met. The Property is used as a two (2) dwelling rental property and has a large backyard for tenants. Allowing the two (2) car garage to be rebuilt in generally the same location and generally the same size, as opposed to requiring a four (4) car garage to be built, will preserve open space on the Property.
2. **The aforesaid unique physical condition did not result from any action of any person having an interest in the property, but was created by natural forces or was the result of governmental action, other than the adoption of the Village's Zoning Regulations, for which no compensation was paid.** The ZBA finds that this standard has been met. The two (2) car garage previously on the Property was destroyed by fire.
3. **The conditions of the Property upon which the petition for Variation is based may not be applicable generally to other property within the same zoning classification.** The ZBA finds that this standard has been met. Other properties in the vicinity of the Property do not have the same circumstances presented here, that a garage burned down which an owner seeks to rebuild.
4. **The purpose of the Variation is not based predominately upon a desire for economic gain.** The ZBA finds that this standard has been met. The Petitioner indicated that he desires to rebuild the garage in generally the same location and size in order to preserve open space on the Property for its tenants' use, not for economic gain.
5. **The granting of the Variation is not detrimental to the public welfare or unduly injurious to the enjoyment, use, or development value of other property or improvements in the neighborhood in which the Property is located.** The ZBA finds this standard has been met, so long as the recommended condition of approval below is satisfied. There was no testimony or evidence that the garage previously on the Property was detrimental to the public welfare or injurious to neighboring properties. The Petitioner stated that if the Variation was granted, the Property would continue to have three (3) parking spaces adjacent to the rebuilt garage available for residents and guests of the

Property. The ZBA recommends that a condition of approval of the Variation include that these three (3) parking spaces remain on the Property and be striped, to indicate their availability for parking.

6. **The granting of the Variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.** The ZBA finds that this standard has been met. The Variation, if granted, would allow a garage to be built of generally the same size and in generally the same location as the garage previously on the Property. No evidence was presented that suggested the replacement garage would have any negative impact on neighboring properties or create a dangerous situation.

7. **The granting of the Variation will not unduly tax public utilities and facilities in the area of the Property.** The ZBA finds that this standard has been met, as a two (2) car garage will not put stress on any public utilities or facilities.

8. **There are no means other than the requested Variation by which the hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the Property.** The ZBA finds that this standard has been met. Applying the strict requirements of the Zoning Ordinance would require a four (4) car garage on the Property, which would eliminate most of the open space in the backyard. Allowing a two (2) car garage to be rebuilt on the Property is appropriate and would allow for a reasonable use of the Property.

### RECOMMENDATION

The ZBA, by a vote of five (5) to zero (0) found that the standards for granting of the Variation was met. Therefore, the ZBA recommends to the Village President and Board of Trustees that the Variation to allow the construction of a garage with two (2) enclosed parking spaces be **GRANTED** on the condition that three (3) additional unenclosed parking spaces be maintained and striped on the parking pad on the Property adjacent to the garage.

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Frank Martin  
Chairman

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Date



## MEMORANDUM

**DATE:** September 2, 2020

**TO:** Zoning Board of Appeals

**FROM:** Clifford E. Radatz *ceR*  
Building Official

**SUBJECT:** Variation Request – 346 Park Avenue

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Shaun and Julie Krueger, owners of the property at 346 Park Avenue, have submitted the attached application for variations to the side yard setback regulations (Section 10-9-7) of the Zoning Code. The applicants propose to construct a two story addition onto the existing residence, which includes a second story addition on top of the existing house. The addition on the existing house will increase the height of the north wall which maintains a non-complying side yard setback.

Section 10-9-7 of the Zoning Code requires a minimum 5'-0" side yard setback to the wall of a building (3'-0" minimum setback to the roof eaves), and prohibits the increase in the height of a wall which maintains a non-complying side yard setback. The existing setback of the north wall of the house is approximately 2.98 feet. The roof for the addition is proposed to have an overhang of 1'-6" (1.5 feet), so the setback to the roof eave will be 1.48 feet from the north property line.

If the Zoning Board wishes to recommend the approval of these variations to the Village Board of Trustees, the following motion should be made:

*Motion to recommend to the Village Board of Trustees the approval of the variations to Section 10-9-7 of the Zoning Code at 346 Park Avenue.*

If you have any questions regarding this application, please do not hesitate to call me.



**LEGAL NOTICE**  
**ZONING BOARD OF APPEALS**  
**RIVER FOREST, ILLINOIS**

Public Notice is hereby given that a public hearing will be held by the Zoning Board of Appeals (ZBA) of the Village of River Forest, County of Cook, State of Illinois, on Thursday, September 10, 2020 at 7:30 p.m. in the First Floor Community Room of the River Forest Village Hall, 400 Park Avenue, River Forest, Illinois on the following matter:

The ZBA will consider an application for a major zoning variation submitted by Shaun and Julie Krueger, owners of the property at 346 Park Avenue, who are proposing to construct a second story addition onto the existing home.

Section 4-8-5 of the Village Code provides the Zoning Board jurisdiction to hold public hearings and offer recommendations to the Village Board concerning variations to Zoning Ordinance.

The applicants are requesting a major variation to Section 10-9-7 that would allow the north wall of the home, which has a non-conforming side yard setback of 2.98 feet, to increase in height from one story to two stories. The applicants are also requesting a variation for a roof overhang of 1'-6" at the second floor level, resulting in a setback of only 1.48 feet to the roof edge.

The Zoning Ordinance prohibits any increase in height of a wall which maintains a non-conforming side yard setback. The Zoning Code requires the roof eave to have a minimum 3-foot side yard setback.

The legal description of the property at 346 Park Avenue is as follows:

LOT 25 IN RIVER FOREST PARK HOMES SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 14446645 IN THE VILLAGE OF RIVER FOREST, IN COOK COUNTY, ILLINOIS.

A copy of the application will be available to the public at Village Hall and on the Village's website at [www.vrf.us/zoningvariation](http://www.vrf.us/zoningvariation) no less than 15 days prior to the public hearing. The Zoning Board of Appeals meeting packet will also be available at [www.vrf.us/meetings](http://www.vrf.us/meetings) no less than 48 hours prior to the public hearing.

All interested persons will be given the opportunity to be heard at the public hearing. **For public comments to be considered by the Zoning Board of Appeals and Village Board of Trustees in their decision, they must be included as part of the public hearing record.** Interested persons can learn more about how to participate in the hearing by visiting [www.vrf.us/zoningvariation](http://www.vrf.us/zoningvariation).

Sincerely,  
Clifford Radatz  
Secretary, Zoning Board of Appeals



APPLICATION FOR ZONING VARIATION  
Village of River Forest Zoning Board of Appeals

Address of Subject Property: 346 Park Avenue Date of Application: 8/12/20

Applicant		Architect / Contractor	
Name: Shaun & Julie Krueger		Name: David Muriello	
Address: 346 Park Avenue		Address: 635 N. Lombard Avenue	
City/State/Zip: River Forest, IL 60305		City/State/Zip: Oak Park, IL	
Phone: (773) 988-3796	Fax:	Phone: (708) 386-8090	Fax:
Email: spkrueg@gmail.com		Email: davemuriello@gmail.com	

Relationship of Applicant to Property (owner, contract purchaser, legal counsel, etc.): owner

Zoning District of Property: ☐ R1 ☒ R2 ☐ R3 ☐ R4 ☐ C1 ☐ C2 ☐ C3 ☐ PRI ☐ ORIC

Please check the type(s) of variation(s) being requested:

☒ Zoning Code ☐ Building Code (fence variations only)

**Application requirements:** Attached you will find an outline of the other application requirements. Please read the attached carefully, the applicant will be responsible for submitting all of the required information.

Also attached for your information are the Zoning Board of Appeals "Rules of Procedure" for their public hearings.

**Application Deadline:** A complete variation application must be submitted no later than the 15<sup>th</sup> day of the month in order to be heard by the Zoning Board of Appeals in the following month. The Zoning Board of Appeals meets on the second Thursday of each month.

**SIGNATURES:**

The undersigned hereby represent for the purpose of inducing the Village of River Forest to take the action herein requested, that all statements herein and on all related attachments are true and that all work herein mentioned will be done in accordance with the ordinances of the Village of River Forest and the laws of the State of Illinois.

Owner:  Date: 14 Aug '20

Applicant (if other than Owner): \_\_\_\_\_ Date: \_\_\_\_\_

**Application Fee:** A non-refundable fee of \$750.00 must accompany every application for variation, which includes the cost of recording the variation with the County. Checks should be made out to the Village of River Forest.



**APPLICATION FOR ZONING VARIATION**

Address of Subject Property: 346 Park Avenue Date of Application: 8/12/20

**Summary of Requested Variation(s):**

<b>Applicable Code Section (Title, Chapter, Section)</b> <i>Example:</i> 10-8-5, lot coverage	<b>Code Requirement(s)</b> <i>Example:</i> no more than 30% of a lot	<b>Proposed Variation(s)</b> <i>Example:</i> 33.8% of the lot (detailed calculations on a separate sheet are required)
10-8-7-C-2-b	The height of a wall that maintains a conforming side yard setback may not be increased.	Increase the height of the north wall which maintains a nonconforming side yard setback, from a single story into the second story by adding a second floor to the existing footprint.
10-8-7-C-2-b	The eaves of a structure shall be required to maintain a minimum 3 foot side yard setback.	Allow the construction of eaves at the north wall of the building with a side yard setback of 1.44.

**THE APPLICANT IS REQUIRED TO SUBMIT DETAILED LONG HAND CALCULATIONS AND MEASUREMENTS FOR ALL APPLICABLE ZONING PROVISIONS. APPLICATIONS WILL NOT BE CONSIDERED COMPLETE WITHOUT THESE CALCULATIONS AND MEASUREMENTS.**

September 2, 2020

Shaun & Julie Krueger  
346 Park Avenue  
River Forest, IL 60305

River Forest Zoning Board of Appeals  
Village of River Forest Trustees

### **Project Description**

Shaun and Julie Krueger are the parents of three young school age boys. The Kruegers, hereinafter the Applicants, have long desired to live in River Forest, where Julie Krueger grew up and attended school. The Applicants were very pleased when they purchased the single-story brick Cottage on the 300 block of Park Avenue. However, in its current state, the house does not meet the Applicant's current housing needs. The existing kitchen is undersized, there are only two bedrooms and one bathroom, and the existing stairs to the basement are very steep and lack proper head clearance. Overall, the house has been only minimally updated since it was built in 1954, and the existing layout is not a functional space for a family of five. The Applicants hired an architect, David Muriello of Oak Park to draw up plans for an addition to the back of the house as well as a second story to the existing building. This will add three additional bedrooms and one additional bathroom. The planned project also consists of remodeling the existing first floor area to provide a larger more functional kitchen, new breakfast area, a family room, and a larger living room. The project will also involve bringing all the plumbing, electrical, insulations and building envelope up to date and to current the building code specifications. Once complete, the applicant's new home will allow the applicants family to age and grow in place; see attached survey of applicant's lot.

The applicants have submitted a Plat of Survey for the property dated July 3, 2018, which reflects a 3' side yard setback on the north side of the property.

According to the River Forest Village Ordinance, Section 10-8-7-C, a 5 foot setback for the wall built on the north side of the second floor addition of the existing building is required. If the strict letter of the zoning ordinance were carried out, it would create unnecessary hardships as described.

### **Description of Requested Zoning Variation**

Applicants are respectfully requesting a zoning variance to allow the non-conforming, first floor, north wall of the home to increase from one story to two stories, with a side yard setback of 3 feet to match the existing home instead of the required 5 feet. The eave of the same wall also requires a variance to match the eaves of the conforming wall of the rest of the house. The eaves of this wall will project 18 inches into a required 3 foot side yard setback.

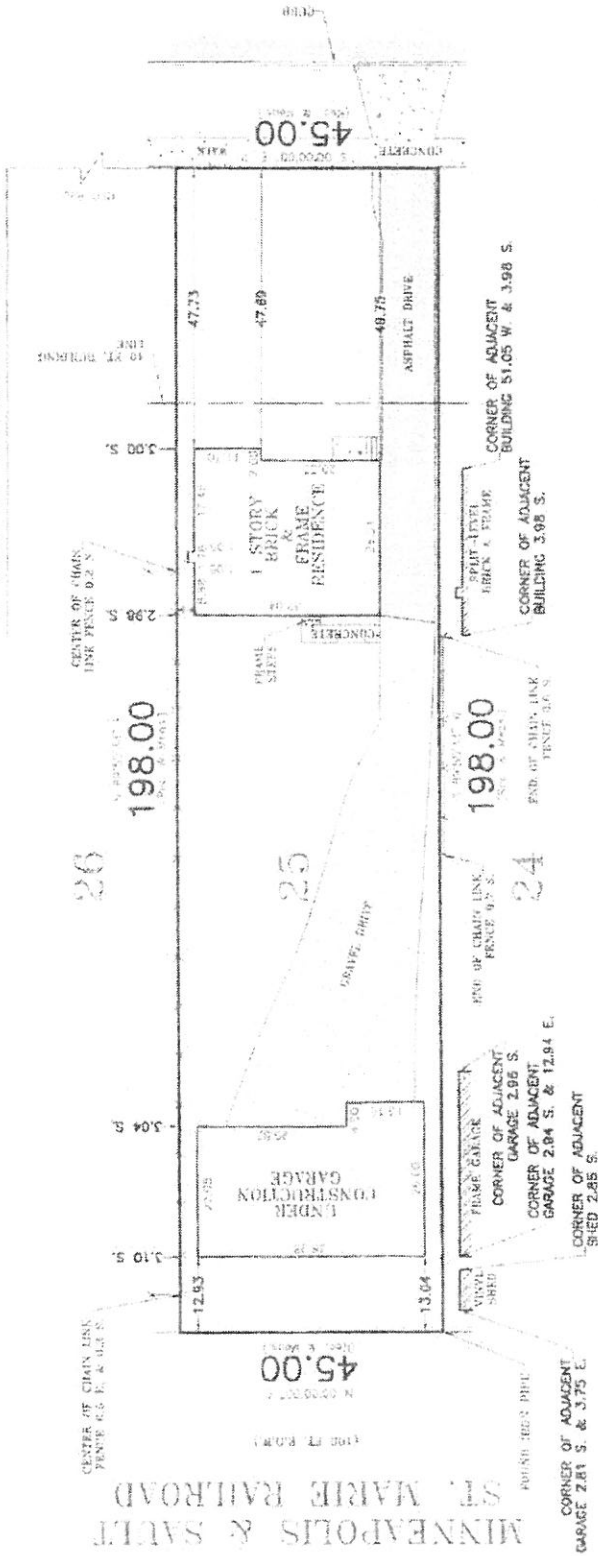
# PLAT OF SURVEY

LOT 25 IN RIVER FOREST PARK HOMES SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 30 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DEED NUMBER 1446645 IN THE VILLAGE OF RIVER FOREST, IN COOK COUNTY, ILLINOIS.

ADDRESS: 316 PARK AVENUE, RIVER FOREST, ILLINOIS  
P.L.N. 15-12-302-029



SCALE: 1"=20'



## GENERAL NOTES:

1. THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
2. THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE LEGAL DESCRIPTION AND THE FIELD NOTES. THE FIELD NOTES CONTAIN THE LEGAL DESCRIPTIONS AND THE FIELD NOTES. THE FIELD NOTES CONTAIN THE LEGAL DESCRIPTIONS AND THE FIELD NOTES.
3. DIMENSIONS WERE NOT SET FOR THIS SURVEY AS REQUESTED BY THE CLIENT.
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**Preferred**  
SURVEY, INC.  
7645 N. 70TH STREET, HOMERIDGE, IL 60131  
Phone: 708-416-7045 / Fax: 708-416-7045  
www.preferredinc.com

DATE THIS SURVEY WAS MADE	12/15/15
DATE THIS SURVEY WAS RECORDED	12/15/15
DATE THIS SURVEY WAS REVIEWED	12/15/15

REVIEWED BY: JAMES E. FROST  
MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY, INC. DO NOT HOLD HIMSELF OUT AS A PROFESSIONAL SURVEYOR. THE SURVEYOR'S PROFESSIONAL STANDARDS OF A PROFESSIONAL SURVEYOR HAVE BEEN SET BY THE ILLINOIS SURVEYING BOARD. THE SURVEYOR'S PROFESSIONAL STANDARDS OF A PROFESSIONAL SURVEYOR HAVE BEEN SET BY THE ILLINOIS SURVEYING BOARD. THE SURVEYOR'S PROFESSIONAL STANDARDS OF A PROFESSIONAL SURVEYOR HAVE BEEN SET BY THE ILLINOIS SURVEYING BOARD.



STATE OF ILLINOIS  
COUNTY OF COOK

DATE OF SURVEY: 12/15/15  
DATE OF RECORD: 12/15/15

1. The following information was obtained from the records of the Federal Bureau of Investigation, Bureau of Prisons, and the United States Department of Justice, Office of the Inspector General, regarding the activities of the following individuals:

2. [REDACTED]

3. [REDACTED]

4. [REDACTED]

5. [REDACTED]

6. [REDACTED]

7. [REDACTED]

8. [REDACTED]

9. [REDACTED]

10. [REDACTED]

11. [REDACTED]

12. [REDACTED]

13. [REDACTED]

14. [REDACTED]

15. [REDACTED]

16. [REDACTED]

17. [REDACTED]

18. [REDACTED]

19. [REDACTED]

20. [REDACTED]

21. [REDACTED]

22. [REDACTED]

23. [REDACTED]

24. [REDACTED]

25. [REDACTED]

26. [REDACTED]

27. [REDACTED]

28. [REDACTED]

29. [REDACTED]

30. [REDACTED]

31. [REDACTED]

32. [REDACTED]

33. [REDACTED]

34. [REDACTED]

35. [REDACTED]

36. [REDACTED]

37. [REDACTED]

38. [REDACTED]

39. [REDACTED]

40. [REDACTED]

41. [REDACTED]

42. [REDACTED]

43. [REDACTED]

44. [REDACTED]

45. [REDACTED]

46. [REDACTED]

47. [REDACTED]

48. [REDACTED]

49. [REDACTED]

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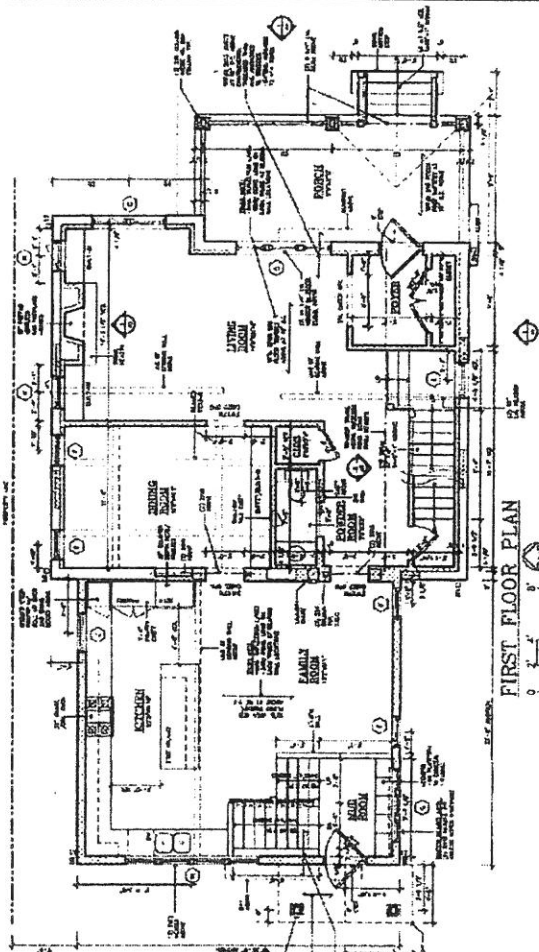
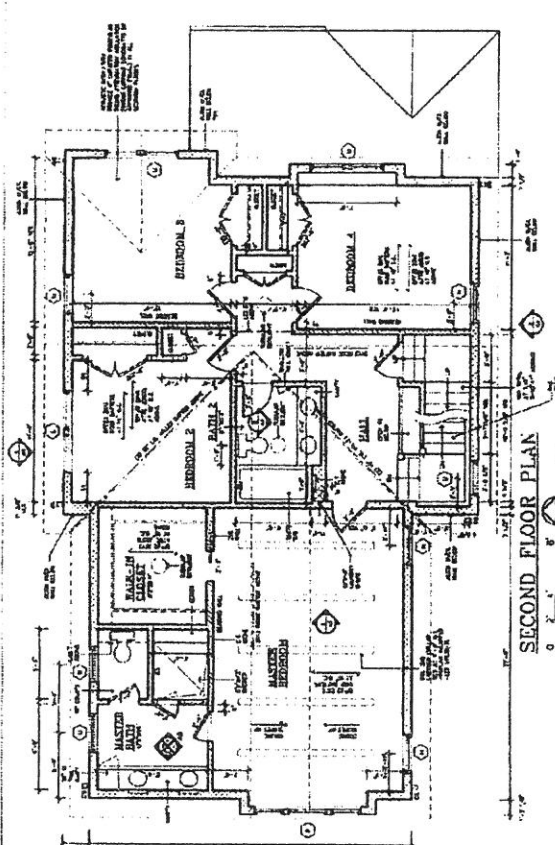
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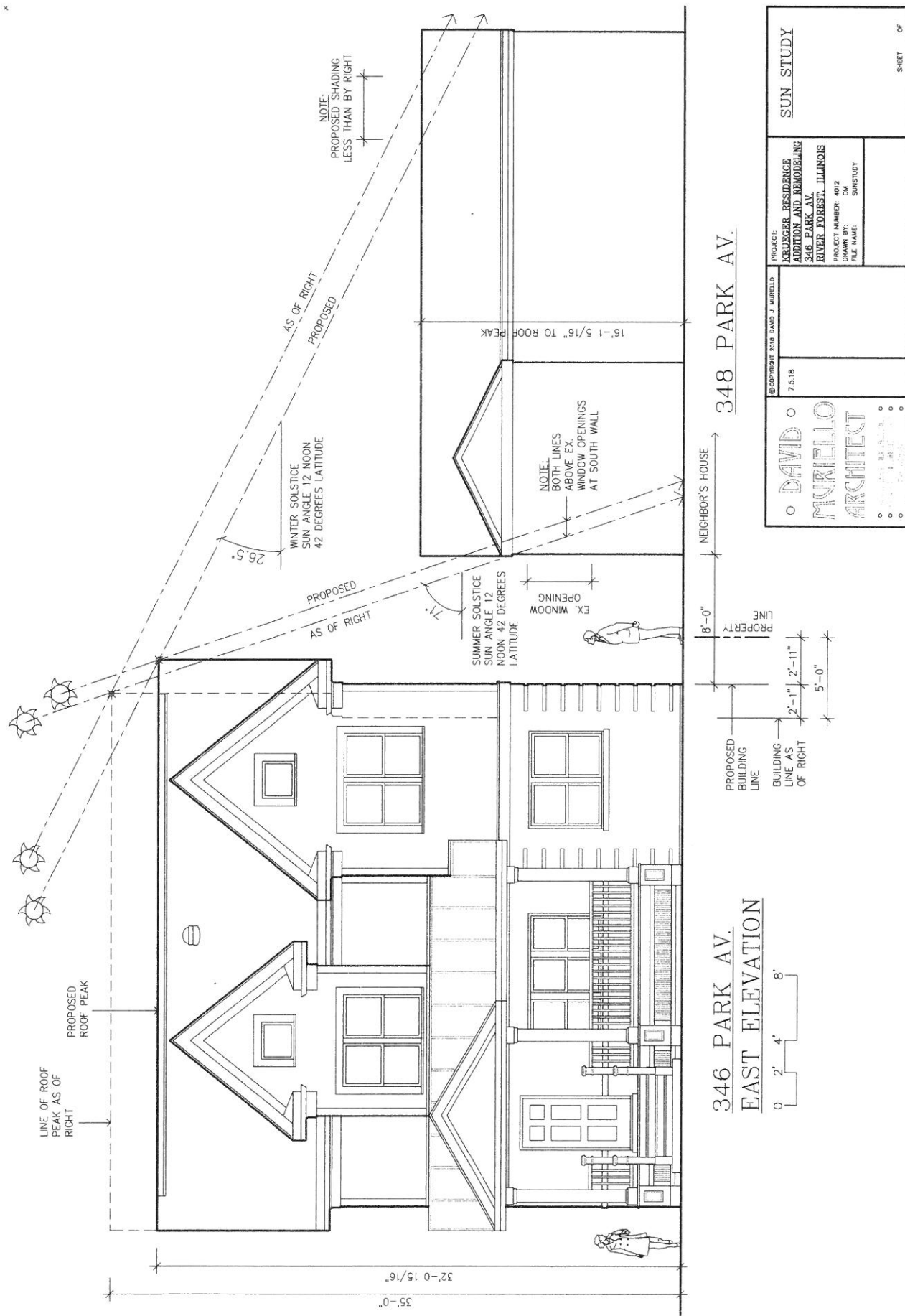


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FLOOR PLANS

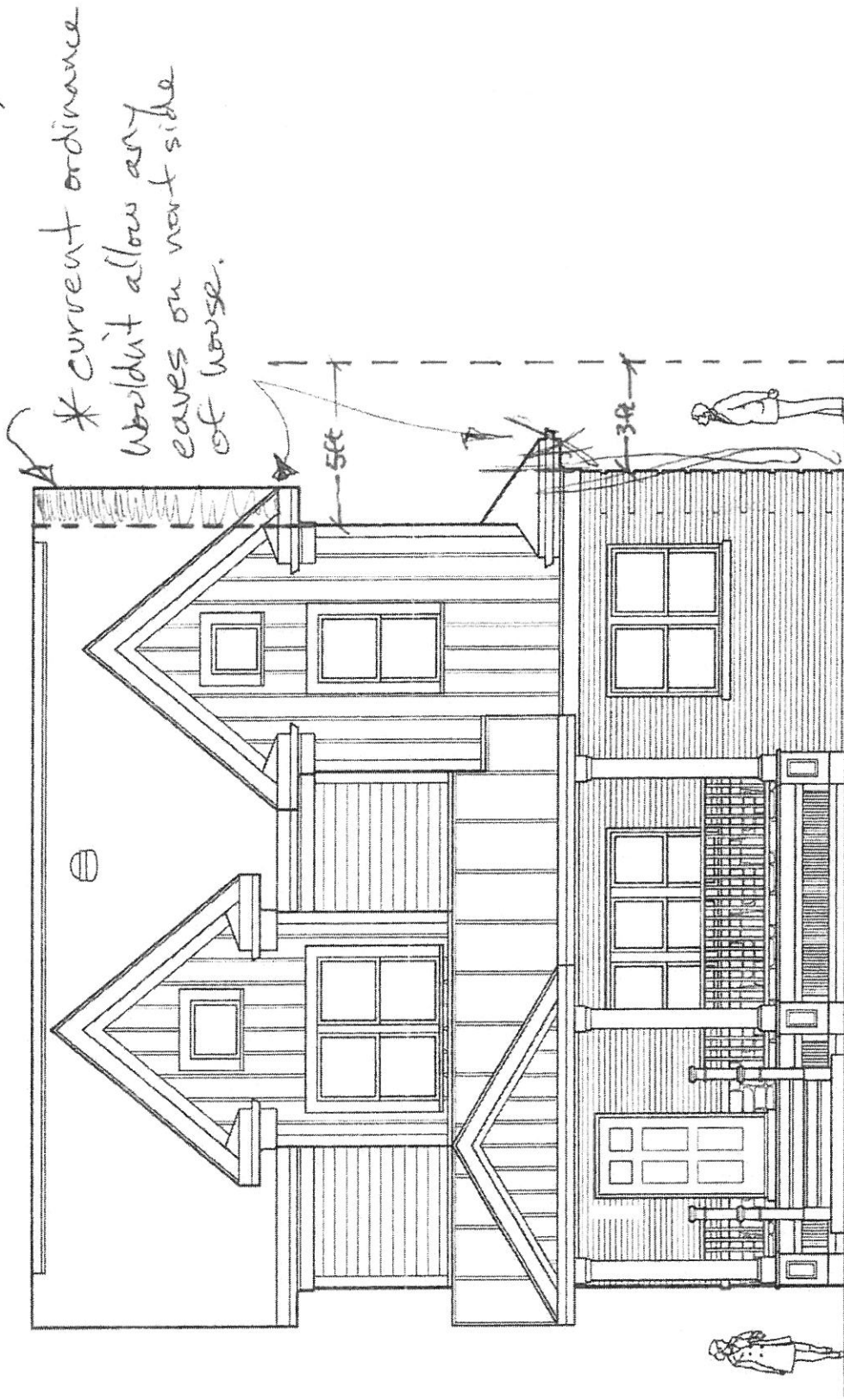
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B. Alternative Elevation following current ordinance to the letter.



B 346 PARK AV. EAST ELEVATION  
- ALT. B

0 2' 4' 8'



# Zoning Review Checklist

Address: 346 Park Avenue  
 Date of Review: 5/23/2018      Date of Submission: 5/15/2018  
 Contact:      Telephone #:

Zoning District: R2

**Use:** Addition to a Single Family Residence  
**Permitted Use**

<b>Lot Area</b>	Lot Width	Lot Depth	Lot Area
	<span style="border: 1px solid black; padding: 2px 10px;">45.00</span>	<span style="border: 1px solid black; padding: 2px 10px;">198.00</span>	<span style="border: 1px solid black; padding: 2px 10px;">8910.00</span>

<b>Lot Coverage</b>	Allowed	Existing	Proposed	
30% allowed for the R2 District	<span style="border: 1px solid black; padding: 2px 10px;">2673.00</span>	<span style="border: 1px solid black; padding: 2px 10px;">1766.30</span> 19.82%	<span style="border: 1px solid black; padding: 2px 10px;">2519.94</span> 28.28%	<input checked="" type="checkbox"/>

<b>Floor Area Ratio</b>	Allowed	Existing	Proposed	
40% allowed for the R2 District	<span style="border: 1px solid black; padding: 2px 10px;">3564.00</span>	<span style="border: 1px solid black; padding: 2px 10px;">1266.30</span> 14.21%	<span style="border: 1px solid black; padding: 2px 10px;">3492.44</span> 39.20%	<input checked="" type="checkbox"/>

<b>Setbacks</b>	Required	Existing	Proposed	
<b>Frontyard</b>				
<b>East</b>				
Eave Length		<span style="border: 1px solid black; padding: 2px 10px;">47.7600</span> 0.0000	<span style="border: 1px solid black; padding: 2px 10px;">47.7600</span> 1.5000	
Setback to Eave	<span style="border: 1px solid black; padding: 2px 10px;">45.6500</span>	<span style="border: 1px solid black; padding: 2px 10px;">47.7600</span>	<span style="border: 1px solid black; padding: 2px 10px;">46.2600</span>	<input checked="" type="checkbox"/>

<b>Sideyard</b>	Required	Existing	Proposed	
<b>North</b>				
10% of Lot Width for the R2 District	<span style="border: 1px solid black; padding: 2px 10px;">5.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">2.9400</span>	<span style="border: 1px solid black; padding: 2px 10px;">2.9400</span>	<input checked="" type="checkbox"/>
Eave Length		<span style="border: 1px solid black; padding: 2px 10px;">0.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">1.5000</span>	
Setback to Eave	<span style="border: 1px solid black; padding: 2px 10px;">3.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">2.9400</span>	<span style="border: 1px solid black; padding: 2px 10px;">1.4400</span>	<input checked="" type="checkbox"/>

NC SYSB  
☒

<b>Sideyard</b>	Required	Existing	Proposed	
<b>South</b>				
10% of Lot Width for the R2 District	<span style="border: 1px solid black; padding: 2px 10px;">5.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">9.9100</span>	<span style="border: 1px solid black; padding: 2px 10px;">9.9100</span>	<input checked="" type="checkbox"/>
Eave Length		<span style="border: 1px solid black; padding: 2px 10px;">0.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">1.5000</span>	
Setback to Eave	<span style="border: 1px solid black; padding: 2px 10px;">3.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">9.9100</span>	<span style="border: 1px solid black; padding: 2px 10px;">8.4100</span>	<input checked="" type="checkbox"/>

<b>Combined Sideyard</b>	Required	Existing	Proposed	
25% of Lot Width for the R2 District	<span style="border: 1px solid black; padding: 2px 10px;">11.2500</span>	<span style="border: 1px solid black; padding: 2px 10px;">12.8500</span>	<span style="border: 1px solid black; padding: 2px 10px;">12.8500</span>	<input checked="" type="checkbox"/>

<b>Rearyard</b>	Required	Existing	Proposed	
<b>West</b>				
15% of Lot Depth or 26'-2" minimum		<span style="border: 1px solid black; padding: 2px 10px;">122.2400</span>	<span style="border: 1px solid black; padding: 2px 10px;">100.2400</span>	
Eave Length		<span style="border: 1px solid black; padding: 2px 10px;">0.0000</span>	<span style="border: 1px solid black; padding: 2px 10px;">1.5000</span>	
Setback to Eave	<span style="border: 1px solid black; padding: 2px 10px;">29.7000</span>	<span style="border: 1px solid black; padding: 2px 10px;">122.2400</span>	<span style="border: 1px solid black; padding: 2px 10px;">98.7400</span>	<input checked="" type="checkbox"/>

Addition



## Zoning Review Checklist

### Building Height Ridge

Height above grade in feet

Allowed

35'

Existing

17.75'

Proposed Ht.  
at addition

33.08'



Story Height

2.5

1

2.5



### Off-Street Parking

Garage spaces

Required

2

Existing

3

Existing +  
Proposed

3



**346 Park Avenue****5/23/2018**

Area Calculations

Date of Submission **5/15/2018**

Lot Area	45.0000	198.0000	<b>8910.0000</b>
----------	---------	----------	------------------

Allowed Coverage	0.3000		<b>2673.0000</b>
------------------	--------	--	------------------

Allowed FAR	0.4000		<b>3564.0000</b>
-------------	--------	--	------------------

**Lot Coverage - Existing**

First Floor Area	Existing	855.6375
------------------	----------	----------

Detached Garage	Existing	910.6667
-----------------	----------	----------

Open Porch	Existing	0.0000
------------	----------	--------

		0.0000
--	--	--------

Total		<b>1766.3042</b>
-------	--	------------------

**Lot Coverage - New**

First Floor Area	Proposed	1405.6375
------------------	----------	-----------

Detached Garage	Existing	910.6667
-----------------	----------	----------

Open Porch	Proposed	203.6329
------------	----------	----------

		0.0000
--	--	--------

Total		<b>2519.9370</b>
-------	--	------------------

**Floor Area - Existing**

Floor Area - existing	1st floor	855.6375
-----------------------	-----------	----------

	2nd floor	0.0000
--	-----------	--------

	Attic	0.0000
--	-------	--------

Detached Garage	Existing	910.6667
-----------------	----------	----------

garage allowance (up to 500 s.f)		-500.0000
----------------------------------	--	-----------

		<b>1266.3042</b>
--	--	------------------

**Floor Area - Proposed**

Floor Area - Proposed	1st floor	1405.6375
-----------------------	-----------	-----------

	2nd floor	1425.3042
--	-----------	-----------

	Attic	250.8275
--	-------	----------

Detached Garage	Existing	910.6667
-----------------	----------	----------

garage allowance		-500.0000
------------------	--	-----------

		<b>3492.4358</b>
--	--	------------------

House - 1st floor - **Existing to remain**

A	2.0000	11.8000	23.6000
B	25.9000	32.1250	832.0375
C	1.7500	1.0500	1.8375
			0.0000
"- C"	-1.7500	1.0500	-1.8375
			<b>855.6375</b>

House - 1st floor - **Proposed  
Existing to remain**

			855.6375
e	22.0000	25.0000	550.0000
			0.0000
			<b>1405.6375</b>

House - 2nd floor - **Existing**

0.0000  
**0.0000**

House - 2nd floor - **Proposed  
Existing to remain**

			0.0000
j	22.0000	25.0000	550.0000
k	2.0000	11.8000	23.6000
l	25.9000	32.1250	832.0375
rear bay m	10.6667	1.0000	10.6667
front bay n	9.0000	1.0000	9.0000
			<b>1425.3042</b>

House - Attic half story - **Proposed  
Existing to remain**

			0.0000
o	3.8500	32.1250	123.6813
p	33.0250	3.8500	127.1463
			<b>250.8275</b>

Detached Garage - **Existing**

q	4.0000	13.1667	52.6667
r	22.0000	39.0000	858.0000
			<b>910.6667</b>

Open Front Porch - **Proposed**

u	7.7500	21.0365	163.0329
v	2.0000	20.3000	40.6000
			<b>203.6329</b>

### Responses to Standards

1. **The physical surroundings, shape or typographical conditions of the specific property involved will bring a specific hardship upon the owner as distinguished from an inconvenience if the strict letter of the regulations were to be carried out;**

**Response:**

#### **346 Park Avenue (lot 25) is substandard due to lot width-"A"**

Section 10-9-4 of the River Forest Village Code requires a minimum lot width of 50 feet in an R-2 District. This provision in the River Forest Zoning Code describes a topographical condition which brings a specific hardship upon petitioners as distinguished from an inconvenience. The Krueger's lot is 45 feet wide. The Krueger's property, lot 25, is substandard by definition with the specific zoning district, and is specifically related to lot width. See following response "B" below concerning the impact of the loss of five feet in lot width relating to this hardship.

#### **346 Park Ave (lot 25) is substandard due to the location of the house built on lot 26-"B"**

Petitioner's Lot 25 suffers a hardship in its relation to Lot 26. Lot 26 does not contain a driveway on its southern boundary. The remaining eleven lots south of lot 25 on the western side of the block, 14-24, each has driveways running on their southern border and their houses are all built on its north side of the lots. Lot 26 has no driveway and is built in the center of the lot.

Moreover, each of these houses built on lots 14-25, consecutively, are built on the allowable northern portion of its respective lot. The house built on lot 26 is built in the maximum allowable central portion of the lot. The result is the house on lot 25 is nearly ten feet closer to the house built on lot 26 than all the houses to its south, 14-24. See attached exhibit 1.

2. **The aforesaid unique physical condition did not result from an action of any person having an interest in the property, but was created by natural forces or was the result of governmental action, rather than the adoption of this Zoning Ordinance, for which no compensation was paid;**

Petitioners were not a party to the decision made many decades ago concerning the subdivision of all the lots on the 300 block of Park Ave. Specifically, Petitioners were not party to the decisions made decades ago when all the houses built on Lots 14-25 of Park Avenue were located on the north side of each lot. Also, Petitioners were not a party to any aspect of the house built on Lot 26 including the absence of front driveways and its middle of the lot house location. Accordingly, the origin of Petitioner's hardship was not created by petitioner's actions or by the adoption of the River Forest Zoning Ordinance.

3. **The conditions upon which the petition for variation is based may not be applicable generally to other property within the same zoning classification;**

Response: The hardships and conditions upon which this variation is based are exclusive and unique in its causal relation between Lots 25 and 26 and no other. See also response to #1.

**4. The purpose of the variation is not based predominately upon a desire for economic gain;**

Response: Petitioners have owned but not lived at 346 Park for nearly five years. To date, the Krueger's experience with this property has resulted in an economic loss caused primarily to their not living at 346 Park. The Petitioners' motive is not economic gain as evidenced by the Kruegers' continued interest in the improvement of 346 Park after nearly five years.

Petitioners plan to live and raise their young family for many years to come in River Forest mindful of the access to excellent schools and to the stable property values of River Forest.

The variation would provide for an attractive updated family home with adequate living space for a family of five.

**5. The granting of the variation shall not be detrimental to the public welfare or unduly injurious to the enjoyment, use, or development value of other property or improvements in the neighborhood in which the property is located;**

Response: This variation would result in the construction of a modestly sized second story addition in a residential neighborhood. The very limited scope of the requested variance coupled with the traditional nature and size of the project demonstrates the variance will not be detrimental to the public welfare or unduly injurious to the enjoyment use or development value of other property or improvements in the neighborhood in which the property is located.

The primary effect of this variation would be the addition of an attractive newly updated and enlarged family residence to the neighborhood. The planned residence matches and blends in with both the size and character of existing homes in this area.

**6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood;**

Response: The sun study submitted by Petitioners shows the roof line (the focus point of the study) is to be built three feet under what is already allowed as a matter of right *currently* and is fully compliant with currently applicable zoning law. Applicants respectfully note that *any* second floor home addition at 346 Park would with have an impact of light. A showing of substantial diminishment or impairment of property is required. Applicants are unaware of any evidence or suggestion of substantial diminishment. Applicants regret any loss of light to its neighbors but a second story addition is an allowable and reasonable use.

The zoning ordinance does not prohibit variances that have *any* impact on light. The impact of the other proposed variation does not substantially diminish or impair property values. The loss of light is triggered by an unavoidable elevated roof as would any second floor home addition and not by a side yard setback. This is a limited increase which according to the sun study submitted currently complies with applicable ordinances.

**7. That the granting or the variation would not unduly tax public utilities and facilities in area;**

Response: The utilities and facilities required would not be above normal usage. The amount of square footage proposed by this project is well below the permissible floor area ratio, which has been established by the Village of River Forest zoning ordinance and building code provision, as the level that will be supported by public utilities. By granting the requested variance there would be no undue burden placed on schools, the fire department, the police department, streets and sanitation, etc.

**8. That there is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject –**

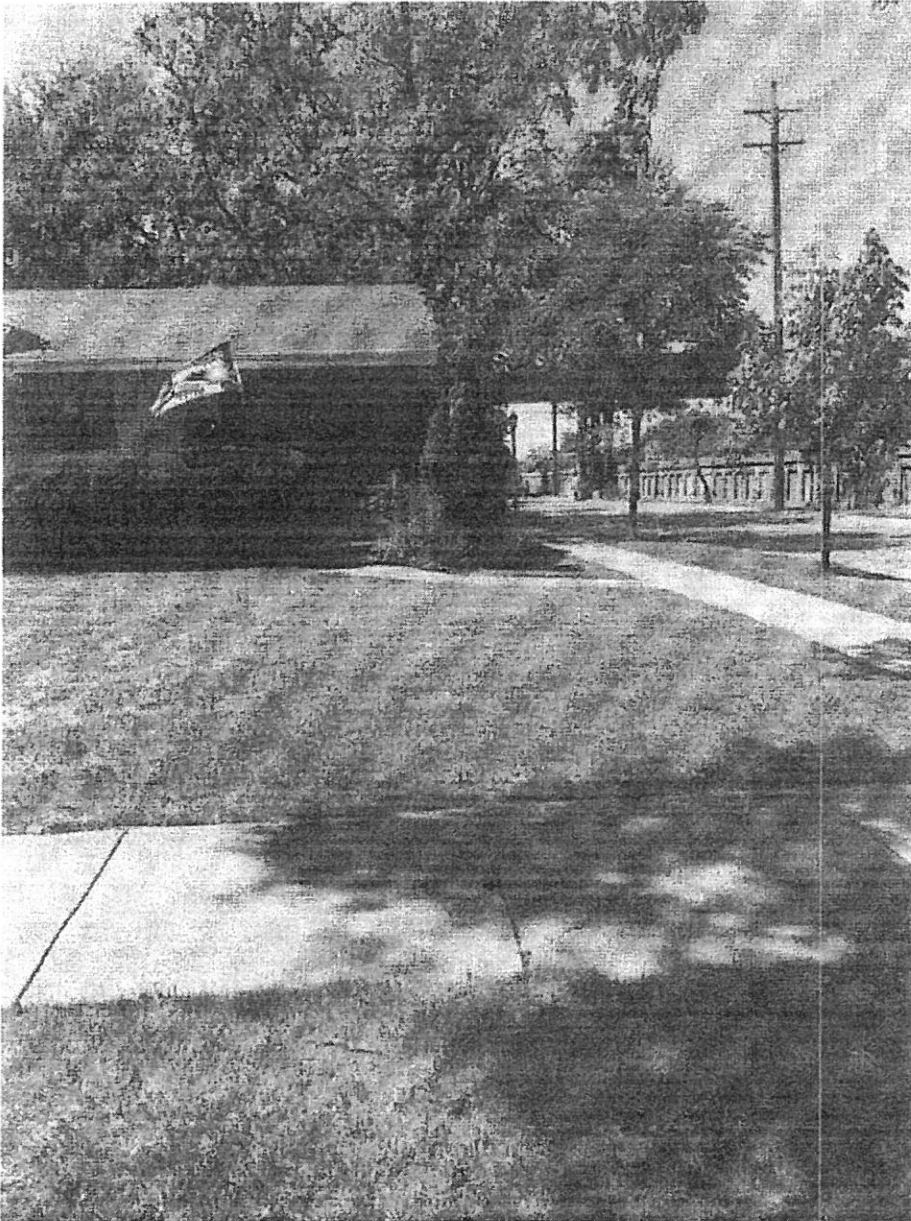
Response: The Applicant's house in its current state does not meet the applicant's current housing needs. The existing kitchen is undersized, there are only two bedrooms and one bathroom, and the existing stairs to the basement are very steep and lack proper height.

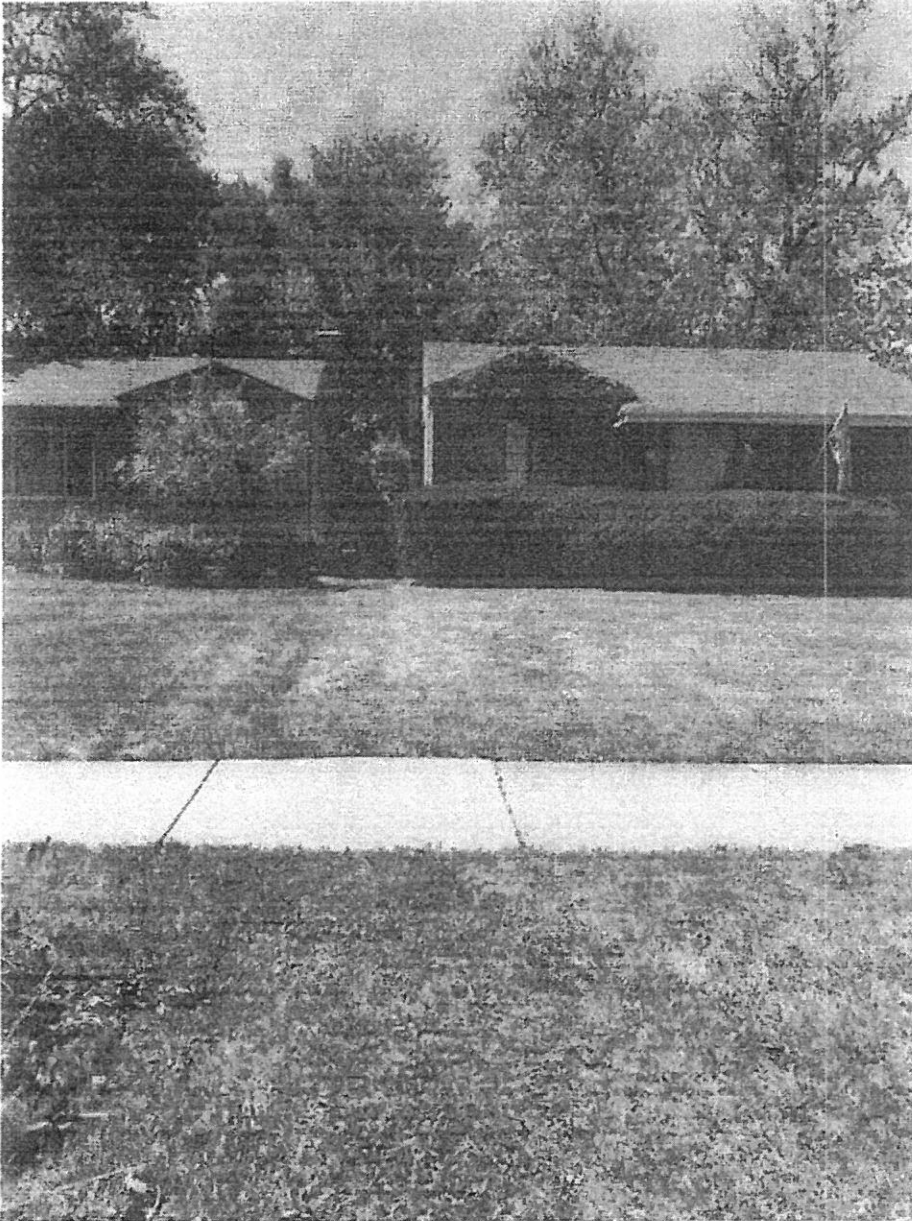
The construction of a second floor load-bearing wall which is not is not bearing on the floor below it, but rather offset by 2 feet from the wall below it, adds significantly to the degree of difficulty of construction.

The addition built without the requested variance would lose 18-20% of critically needed and habitable floor space in the north bedrooms of the proposed second floor.

There is not an alternative location for the addition to this house as an addition on the south end of the house is precluded by the now existing and required side driveway providing the sole means of ingress and egress.

**End of Responses**



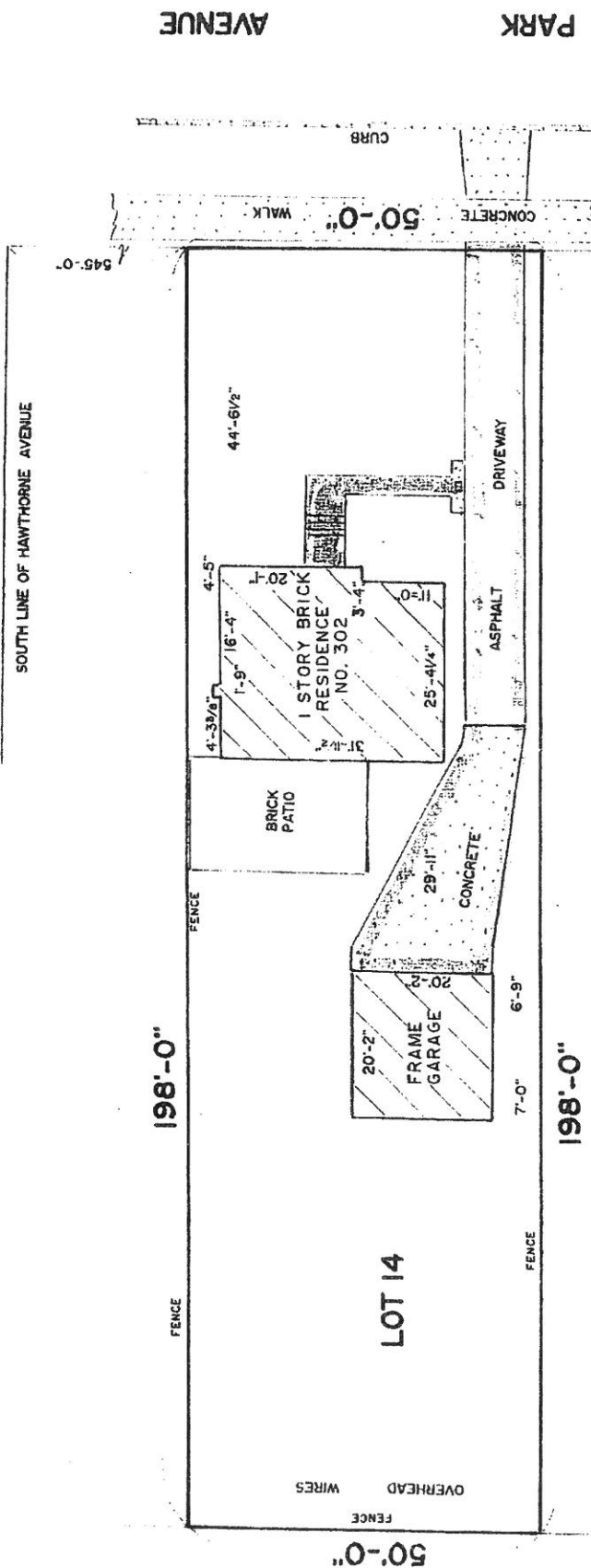






552 W. 10th STREET - UNIT 7  
DAX -AWN, IL-INOIS 60453  
PHONE 708-423-8202  
FAX 708-423-8212

LOT 14 IN THE RIVERFOREST PARK HOMES SUBDIVISION, PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 19, 1948 AS DOCUMENT NUMBER 14446645 IN COOK COUNTY, ILLINOIS.



SCALE: 1"=15'

STATE OF ILLINOIS ) ss.  
COUNTY OF COOK }

UNDER THE REQUEST OF THE CLIENT, NO DOCUMENTATION  
WAS RESET BEFORE ESTABLISHING FENCE LINES OR  
CONSTRUCTION. A "STAKED" SURVEY SHOULD BE  
PERFORMED TO VERIFY CORNERS.

DAY OF \_\_\_\_\_ JUNE 2002

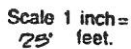
CENCED PROFESSIONAL LAND SURVEYOR No. 1925  
 TO INSURE AN AUTHENTIC COPY SURVEYOR'S SEAL  
 MUST BE IMPRESSED. CENSE EXPIRES 11/13



**685-4077**  
**685-4078**

Lot 18 in River Forest Park Homes, a Subdivision of part of the West half of the Southwest quarter of Section 12, Township 39 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof Recorded November 19, 1948 as Document 1446645, in Cook County, Illinois.

1997 Property  
Transfer

[illegible]

State of Illinois }  
County of Cook }

I, John A. Vex, a Prof. M. Land Surveyor  
do hereby certify that I have resurveyed the above  
described property.

October 30, 1996

Prof. M. Land Surveyor

Order No. 95899

Date September 26, 1995

Ordered By H. Dubaik attorney at law  
 Recertified for Polleggrini & Cristiane



State of Illinois }  
County of Cook } ss

I, John A. May a Prof.  
II. Land Surveyor do hereby certify that a survey of  
the above described property has been made under  
my supervision and that the plat hereon drawn is a  
correct representation of said survey corrected to a  
temperature of 62° Fahrenheit.

John A. Wey  
PROF. ILL. LAND SURVEYOR

Compare all points before building and at once report any difference.

# PLAT OF SURVEY

## NORTHWEST SURVEY SERVICE

685-4077

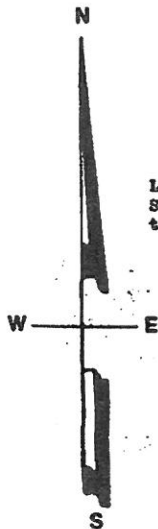
685-4078

4425 W. IRVING PARK RD.  
CHICAGO, ILLINOIS 60641

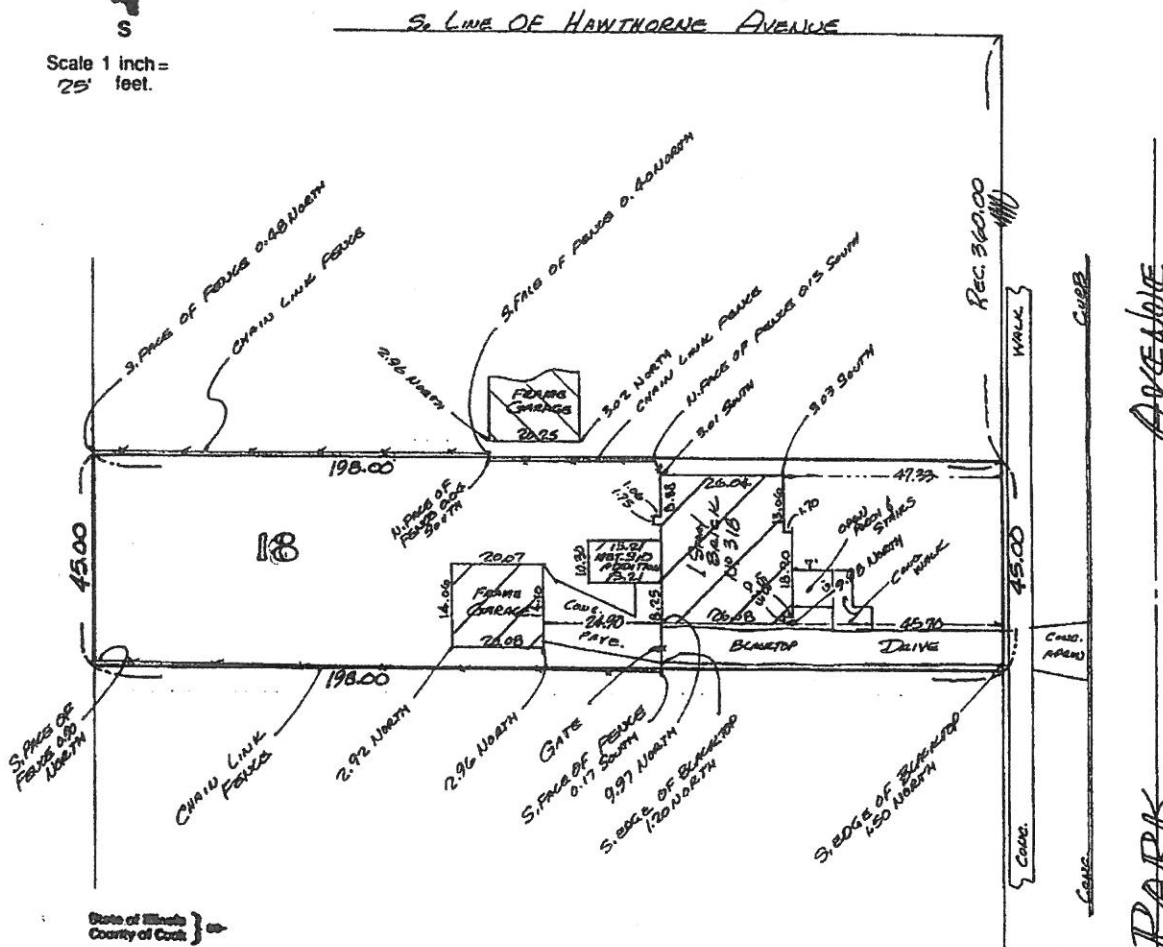
Lot 18 in River Forest Park Homes, a Subdivision of part of the West half of the Southwest quarter of Section 12, Township 39 North, Range 12, East of the Third Principal Meridian, according to the Plat thereof Recorded November 19, 1948 as Document 14446645, in Cook County, Illinois.

318 Park Ave

Property Transfer  
1998



Scale 1 inch =  
25' feet.



State of Illinois }  
County of Cook }

I, John A. Way, a Prof. Ill. Land Surveyor  
do hereby certify that I have resurveyed the above  
described property.

October 30, 1996

John A. Way  
Prof. Ill. Land Surveyor

Order No. 95899

Date September 26, 1995

Ordered By H. Dubnik attorney at law  
Resurveyed for Pellegrini & Cristiane



State of Illinois }  
County of Cook }

I, John A. Way, a Prof.  
Ill. Land Surveyor do hereby certify that a survey of  
the above described property has been made under  
my supervision and that the plat hereon drawn is a  
correct representation of said survey corrected to a  
temperature of 62° Fahrenheit.

John A. Way  
PROF. ILL. LAND SURVEYOR

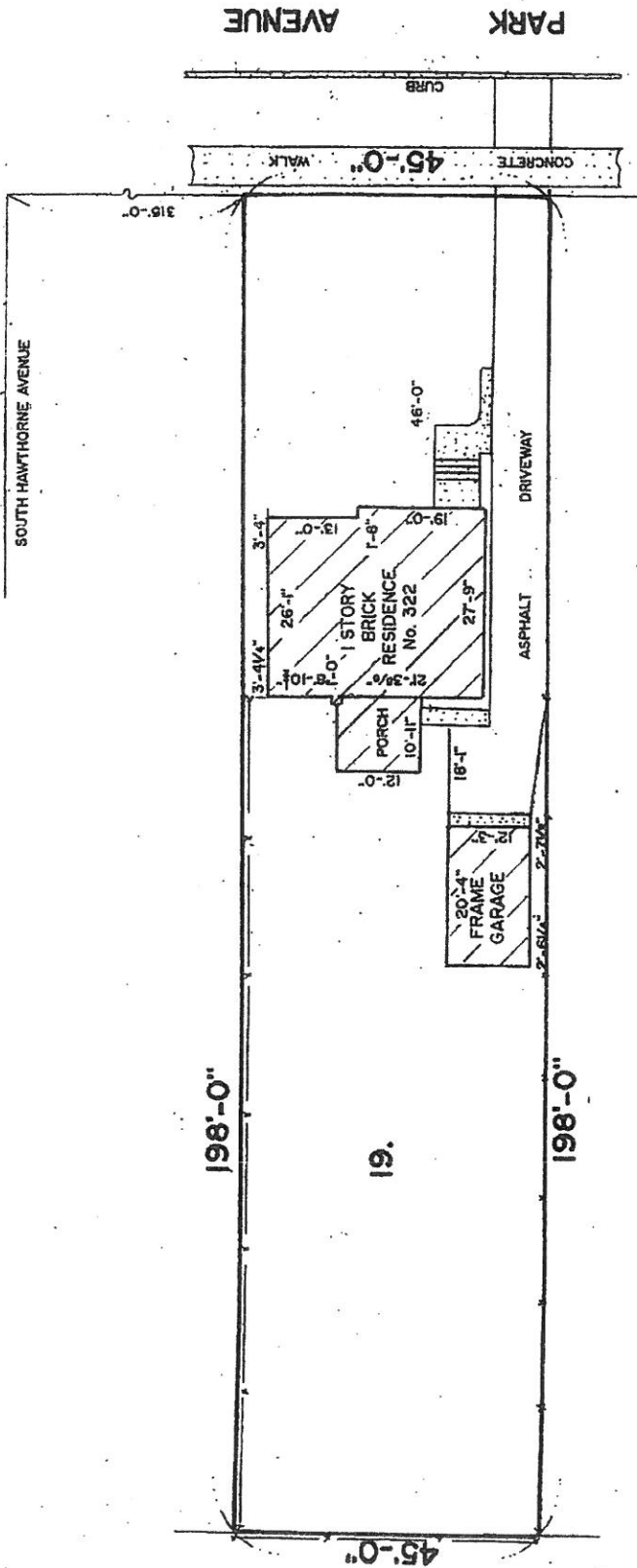
Compare all points before building and at once report any difference.



12543 S. 73rd AVE.  
PALOS HEIGHTS, ILL. 60463-1419  
PHONE (708) 361-1161  
FAX (708) 361-7818

# Plat of Survey

Lot 19 in the River Forest Park Homes Subdivision of part of the West 1/2 of the Southwest 1/4 of Section 12, Township 39 North, Range 12 East of the Third Principal Meridian, according to the Plat thereof recorded November 19, 1948 as Document 14446645 in Cook County, Illinois.



STATE OF ILLINOIS } 35.  
COUNTY OF COOK }

WE, VANDERWALKER LAND SURVEYORS, LICENSED ILLINOIS PROFESSIONAL LAND SURVEYORS, DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY ON THE HEREON DRAWN PLAT.

GIVEN UNDER MY HAND AND SEAL THIS 26th DAY OF MAY 1999

LICENSED PROFESSIONAL LAND SURVEYOR No. 1925 TO INQUIRE AN AUTHENTIC COPY SURVEYOR'S SEAL MUST BE IMPRESSED.

SCALE: 1" = 161'

NOTES: CHECK RECORDS FOR BUILDING LINES, EASEMENTS AND OTHER RESTRUCTIONS & ANY NOT SHOWN.

DO NOT ASSUME THAT PROPERTY STAKES ARE AT PROPERTY CORNERS UNLESS SHOWN HEREON. ALSO DO NOT ASSUME THAT PROPERTY STAKES REMAIN IN PLACE.

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE.

ORDERED BY:

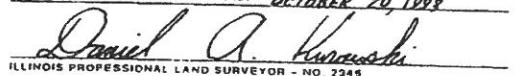
PELLEGRINI AND CRISTIANO, ATTYS

ORDER No. 995-61V

THIS PLAT WAS PREPARED FOR REAL ESTATE SALE AND ON FINANCING PURPOSES, NO MONUMENTATION WAS REPT. "STAKED" SURVEY SHOULD BE PERFORMED TO VERIFY CORNERS.

## of

RAILROAD R.O.W.



685-4077  
685-4078

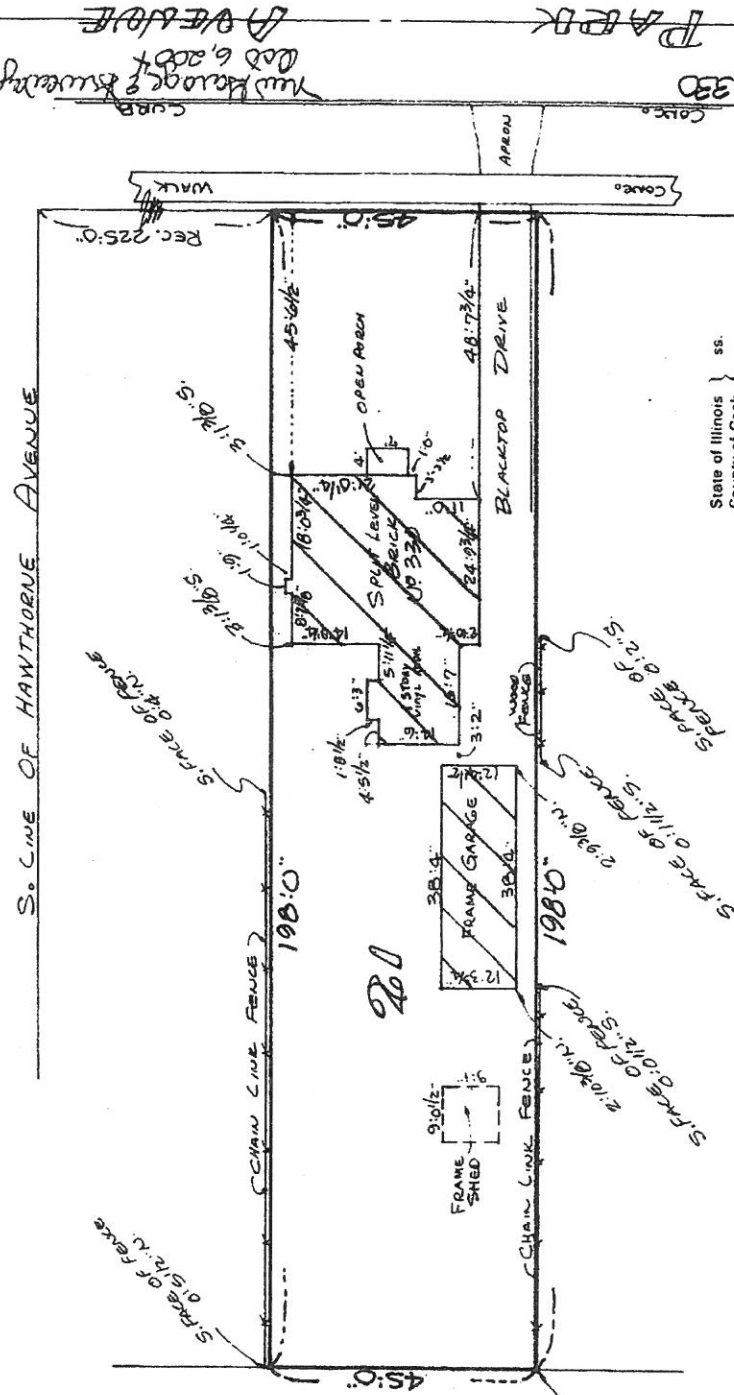
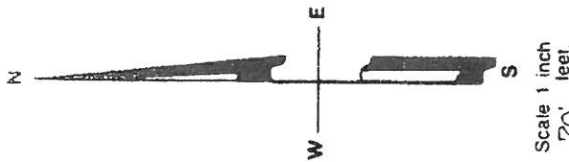
# PLAT OF SURVEY

## NORTHWEST SURVEY SERVICE

4425 W. IRVING PARK ROAD • CHICAGO, ILLINOIS 60641

Lot 21 in River Forest Park Harbor Subdivision of part of the West half of the Southwest quarter of Section 12, Township 39 North, Range 12, East of the Third Principal Meridian, in Cook County, Illinois.

M. St. P. & S. Ste. M. R.R. R.O.W.



Order No. 891152

Date July 13, 1989

Ordered By Albert S. Georges, Jr., Atty.

State of Illinois }  
County of Cook }

John A. Way

hereby certify that the Building on the above property has been located under my supervision.

State of Illinois }  
County of Cook }

John A. Way

hereby certify that a survey of the above described property has been made under my supervision and that the plat hereon drawn is a correct representation of said survey corrected to a temperature of 62° Fahrenheit.

July 13, 1989

Compare all points before building and at once report any difference

REG. ILL. LAND SURVEYOR

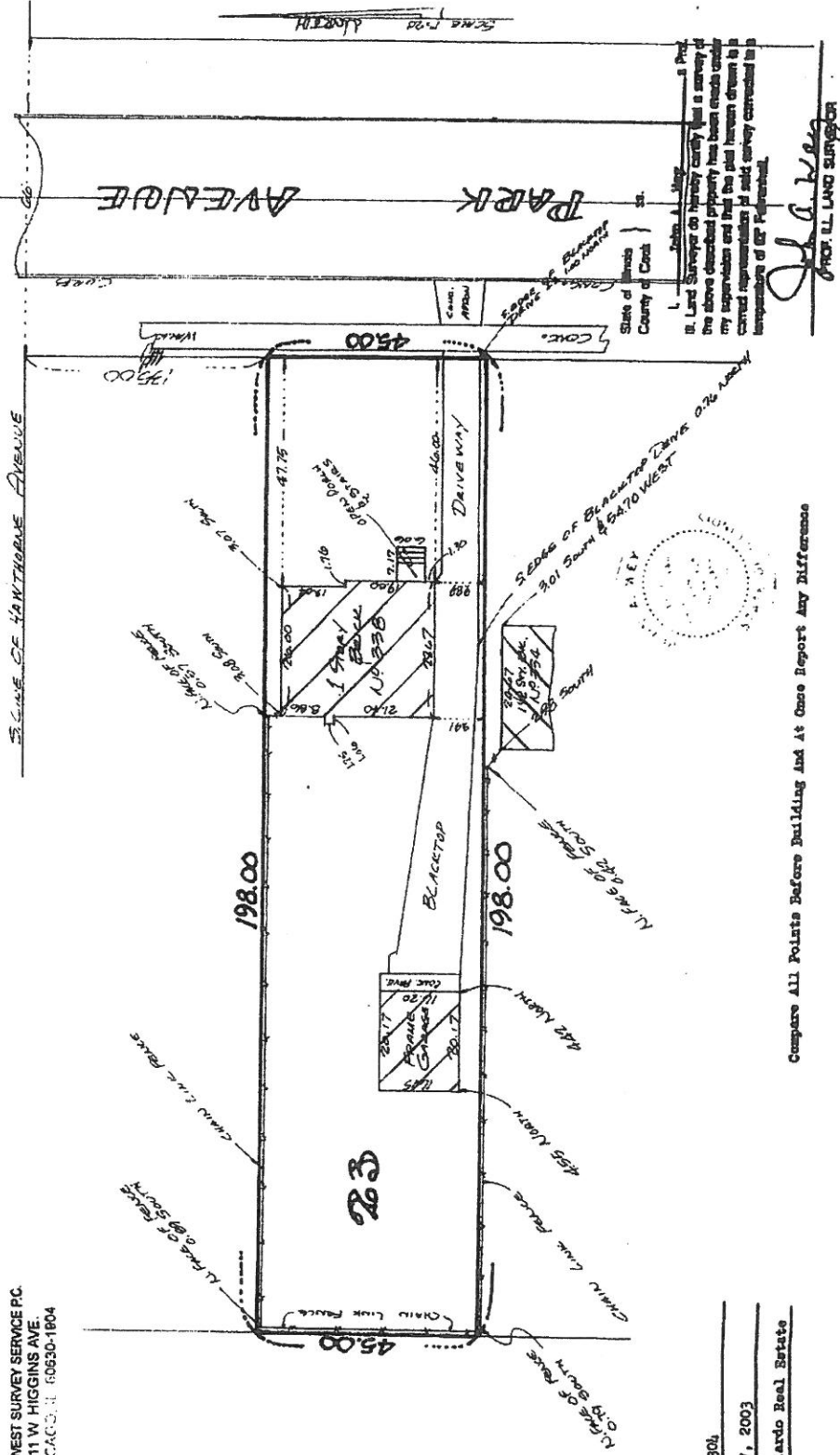
REG. ILL. LAND SURVEYOR

# PLAT OF SURVEY NORTHWEST SURVEY SERVICE

685-4077  
70-685-4078

Lot 23 In River Forest Homes Subdivision Of Part Of The West Half Of The South West Quarter Of Section 12, Township 39 North, Range 12 East Of The Third Principal Meridian, According To The Plat Thereof Recorded November 19, 1948 As Document 1444645. In Cook County, Illinois.

NORTHWEST SURVEY SERVICE P.C.  
5911 W HIGGINS AVE.  
CHICAGO, ILL 60630-1804



Order No. 0304

Date January 7, 2003

Ordered By Gagliardo Real Estate

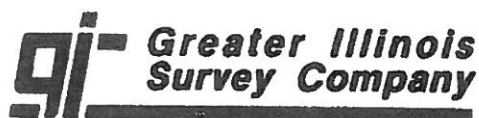
Compare All Points Before Building and At Once Report Any Difference

M. St. P. & S. St. M. R.R. R.O.W.

(338 BULL)



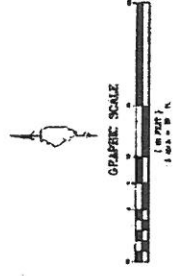
LOT 24 IN RIVER FOREST PARK HOMES SUBDIVISION, PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 19, 1949 AS DOCUMENT 14446645, IN COOK COUNTY, ILLINOIS.



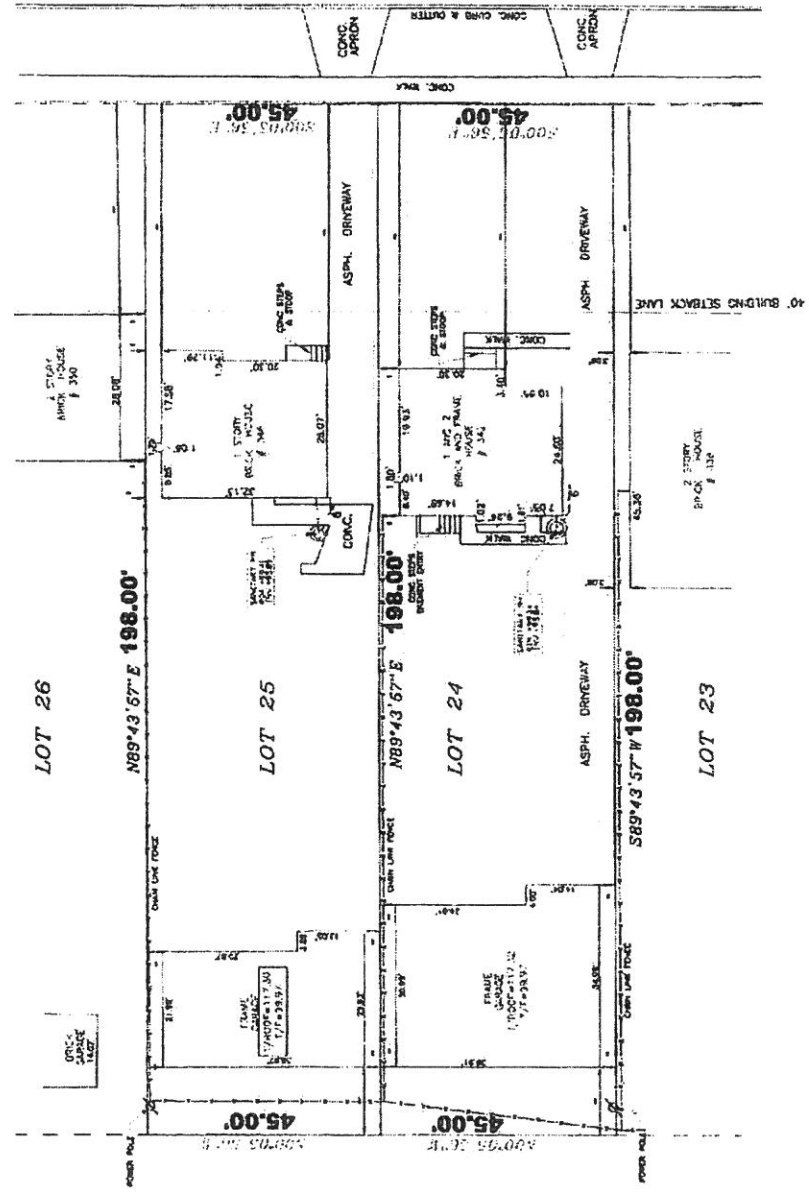
ORDER NO. 12925/4179052

IRLS No. 2625

SITE BENCHMARK  
+ PLANE BOLT ON FIRE HYDRANT  
ELEV. = 100.00



MINNEAPOLIS AND SAULT ST. MARIE RAILROAD



PARK AVENUE



<b>PROPOSED GARAGE</b> <b>346 AND 342 PARK AVE RIVER</b> <b>FOREST, IL. 60305</b>		<b>ROOF ELEVATION 346 PARK AVE</b>		Sheet No. <b>AB-1</b>													
Designer Danza Consulting Group 8825 Wisconsin Downers Grove, IL 60516 PH 630-991-3339 FAX 630-941-2382		Revisions <table border="1"> <thead> <tr> <th>DATE</th> <th>BY</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	BY	REVISION										Project Information Project No. 25-1123 Date 12/31/2020 Drawn J.A.L. Checked J.A.L. Approved J.A.L.	Title 25-1123
DATE	BY	REVISION															

# PLAT OF SURVEY

of

LOT 25 IN RIVER FOREST PARK HOMES SUBDIVISION OF PART OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 30 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER 1440646 IN THE VILLAGE OF RIVER FOREST, IN COOK COUNTY, ILLINOIS

ADDRESS: 346 PARK AVENUE, RIVER FOREST, ILLINOIS  
P.L.N. 35-12-302-829



SCALE: 1"=20'

S. LINE OF HAWTHORNE AVENUE

MINNEAPOLIS & SALT  
ST. MARIE RAILROAD

CENTER OF CHAIN LINK  
FENCE 6.0 E. & 0.3 S.

45.00

(100 FT. R.O.M.)

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8/1/2018

Clifford Radatz  
Secretary, Zoning Board of Appeals  
400 Park Avenue  
River Forest, IL 60305

Dear Cliff,

My name is Christine and my husband Jayme and I live at 334 Park. We are close neighbors of Shaun and Julie Krueger and are writing in regard to the zoning variation application for their addition. We have seen the plans and have no issue with their expansion plans. Both the new garage and this addition will be a nice improvement for our block and feel fortunate that our neighbors continue to invest in the expansion and beautification of their home.

Sincerely,

Christine and Jayme Barnard

334 Park

*Christine Barnard*  
*Jayme Barnard*

August 1, 2018

Shaun and Julie Krueger  
346 Park Ave.  
River Forest, IL 60305

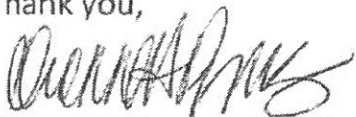
Dear Shaun and Julie,

I understand your proposed plan to add a second story to your existing home, and that the Village is requiring a variance from the side yard setback requirement to do so.

As a Realtor who specializes in River Forest my opinion is that adding a second story above the existing first floor plan will not harm neighboring homes. A house with a second story that is offset 2' from the existing wall will have a negative impact on the neighborhood because of its odd appearance. The second story that you are proposing to build will benefit the neighborhood by mirroring the houses with second stories that already exist in your neighborhood. This will also add value to the homes in area.

Please feel free to contact me with any questions.

Thank you,



Dionna H Plywacz | Broker  
@properties

1011 South Boulevard  
Oak Park, IL 60302  
708.848.0200 office  
708.848.0400 fax  
773.297.2160 cell  
[dplywacz@atproperties.com](mailto:dplywacz@atproperties.com)

Stop looking, start finding®  
[atproperties.com](http://atproperties.com)

Village of River Forest  
Zoning Board  
400 Park Ave.  
River Forest, IL 60305

July 31, 2018

Dear Members,

I have been neighbors with Shaun and Julie Krueger for three years. I am writing this letter to express my support for their plans to add a two-story addition to their existing home. I am also in support of their request for a zoning variance. I think the house will look lopsided without the requested variance.

I have seen their plans and feel that what they are proposing is a reasonable size for the lot. This addition will be a significant improvement to their home as well as our neighborhood.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Mark Nunn', with a stylized, flowing script.

Mark Nunn  
342 Park Ave.

July 25, 2018

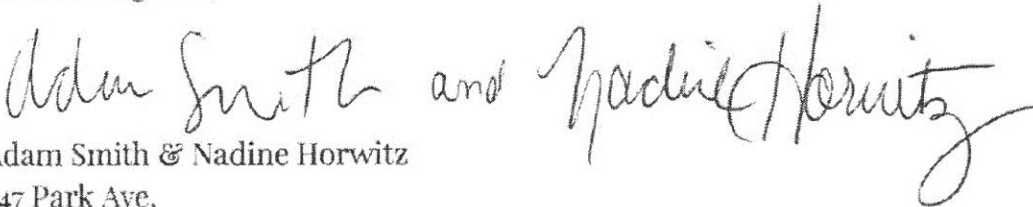
Dear Zoning Board Members,

We reside across the street from Shaun and Julie Krueger. We were delighted when they shared their plans with us for expanding their home. Their current home is quite cramped for a family of five; we are fully supportive of their plans to add a second floor and addition onto their home.

Our block is comprised of bungalows, split-levels, and two-story homes. The Kruegers' plans for enlarging their home are aesthetically pleasing to the eye and will enhance the character of our neighborhood. We are in full support of the variation they asking for to extend the second floor straight up instead of bumping in two feet

Please feel to contact us if you have any questions.

Kindest Regards,

Handwritten signature of Adam Smith and Nadine Horwitz in cursive script.

Adam Smith & Nadine Horwitz  
347 Park Ave.

630-675-6366