



VILLAGE OF RIVER FOREST
MEETING OF THE HISTORIC PRESERVATION
COMMISSION

Thursday, May 29th, 2025 – 7:00 PM
Village Hall – 400 Park Avenue – River Forest, IL 60305
First Floor Community Room

AGENDA

Public comments sent in advance of [the meeting](#) are shared with the Commission. You may submit your written public comments via email in advance of the meeting to: lmaseila@vrf.us. This meeting will take place in the First Floor Community Room at Village Hall.

You may listen to the meeting via Zoom conference call as follows: Zoom Conference Call: Dial-in number: 312-626-6799 with meeting ID: 854 5693 2628. Zoom Link: <https://us02web.zoom.us/j/85456932628>

The agenda is as follows:

- I. Call to Order
- II. Public Comment
- III. Approval of Meeting Minutes – April 24th & May 22nd, 2025
- IV. Public Hearing – Review of Application for Certificate of Appropriateness – 147 Thatcher – Garage Demolition
- V. Public Hearing – Review of Application for Certificate of Appropriateness – 601 Bonnie Brae – Garage Demolition
- VI. Public Hearing – Review of Application for Certificate of Appropriateness – 715 Clinton – Garage Demolition
- VII. Discussion Regarding Promotion of River Forest Architecture and History
- VIII. Discussion of Additional Ways to Protect Significant Properties
- IX. Other Business
- X. Adjournment

ADA Compliance: Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the Village at least 24 hours in advance of the scheduled meeting in person at Village Hall by telephone at 708.366.8500 or by email: mwalsh@vrf.us. Every effort will be made to allow for meeting participation.

VILLAGE OF RIVER FOREST HISTORIC PRESERVATION COMMISSION MEETING MINUTES

April 24th, 2025

A meeting of the Historic Preservation Commission was held on April 24th, 2025, in the 1st Floor Community Room of the River Forest Village Hall, 400 Park Avenue.

I. CALL TO ORDER/ROLL CALL

The meeting was called to order at 7:02 p.m. Upon roll call, the following persons were:

Present: Commissioners Saeger, Krusinski, Graham-White, Muhr, and Raino-Ogden(7:05pm)

Absent: Chairman Franek, and Commissioner Forehand

Also Present: Management Analyst/Deputy Clerk Luke Masella

II. PUBLIC COMMENT

None.

III. APPROVAL OF MEETING MINUTES – March 27th, 2025

A MOTION was made by Commissioner Saeger and SECONDED by Commissioner Graham-White to approve the meeting minutes for the March 27th, 2025, meeting.

AYES: Commissioners Saeger, Krusinski, Graham-White, Muhr

NAYS: None

Motion Passes.

IV. REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS FOR COMPLETENESS – 147 THATCHER – GARAGE DEMOLITION

The applicant, Kim Smith, gave background information on the proposed application for a Certificate of Appropriateness.

Commissioner Raino-Ogden arrived at 7:05pm.

A MOTION was made by Commissioner Saeger and SECONDED by Commissioner Graham-White to deem the application for a Certificate of Appropriateness at 147 Thatcher as Complete.

AYES: Commissioners Saeger, Krusinski, Graham-White, Muhr, and Raino-Ogden

Historic Preservation Commission Meeting Minutes
April 24th, 2025

NAYS: None

Motion Passes.

V. REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS FOR COMPLETENESS – 601 BONNIE BRAE – GARAGE DEMOLITION

Commissioner Saeger mentioned walking past the garage and observing that it was in poor condition.

A MOTION was made by Commissioner Raino-Ogden and SECONDED by Commissioner Saeger to deem the application for a Certificate of Appropriateness at 601 Bonnie Brae as Complete.

AYES: Commissioners Saeger, Krusinski, Graham-White, Muhr, and Raino-Ogden

NAYS: None

Motion Passes.

VI. REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS FOR COMPLETENESS – 715 CLINTON – GARAGE DEMOLITION AND NEW ROOF

Commissioner Raino-Ogden noted the application had more than the necessary requirements.

A MOTION was made by Commissioner Raino-Ogden and SECONDED by Commissioner Muhr to deem the application for a Certificate of Appropriateness at 715 Clinton as Complete.

AYES: Commissioners Saeger, Krusinski, Graham-White, Muhr, and Raino-Ogden

NAYS: None

VII. CONTINUED DISCUSSION OF POTENTIAL MODIFICATIONS TO THE CERTIFICATE OF APPROPRIATENESS PROCESS

Deputy Clerk Masella gave an update on the current status of this agenda item.

Commissioner Saeger suggested that at the next discussion of this topic, staff provide a wipe board or some item to help visualize the process.

VIII. DISCUSSION OF ADDITIONAL WAYS TO PROTECT SIGNIFICANT PROPERTIES

None.

IX. DISCUSSION REGARDING PROMOTION OF RIVER FOREST ARCHITECTURE AND HISTORY

Historic Preservation Commission Meeting Minutes
April 24th, 2025

Commissioner Saeger reminded everyone that Police Chief James O'Shea will be retiring at the upcoming Village Board meeting.

X. OTHER BUSINESS

None.

XI. ADJOURNEMENT

A MOTION was made by Commissioner Krusinski and SECONDED by Commissioner Muhr to adjourn the April 24th, 2025, meeting of the Historic Preservation Commission.

AYES: Commissioners Saeger, Krusinski, Graham-White, Muhr, and Raino-Ogden

NAYS: None.

Motion Passes and the meeting ended at 7:15 PM.

Luke Masella
Deputy Clerk/Management Analyst

**VILLAGE OF RIVER FOREST HISTORIC PRESERVATION COMMISSION
MEETING MINUTES**

May 22nd, 2025

A meeting of the Historic Preservation Commission was held on May 22nd, 2025, in the 1st Floor Community Room of the River Forest Village Hall, 400 Park Avenue.

I. CALL TO ORDER/ROLL CALL

The meeting was called to order at 7:00 p.m. Upon roll call, the following persons were:

Present: Commissioners Saeger, Graham-White, and Raino-Ogden

Absent: Chairman Franek, Commissioners Forehand and Muhr

Also Present: Management Analyst/Deputy Clerk Luke Masella

Since there was no quorum, the Commission was unable to take any action.

II. PUBLIC COMMENT

None.

III. PUBLIC HEARING – REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS – 147 THATCHER – GARAGE DEMOLITION

None.

IV. PUBLIC HEARING – REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS – 601 BONNIE BRAE – GARAGE DEMOLITION

None.

V. PUBLIC HEARING – REVIEW OF APPLICATION FOR CERTIFICATE OF APPROPRIATENESS – 715 CLINTON – GARAGE DEMOLITION

None.

VI. NOTICE OF PUBLIC HEARING CONTINUATION

- A. Notice is hereby given to all interested parties that the historic preservation commission of river forest, cook county, Illinois, will continue the public hearing regarding the applications for certificates of appropriateness for the properties located at 715 Clinton, 601 Bonnie Brae, and 147 Thatcher. The hearing will take place on Thursday, May 29, 2025, at 7:00 p.m. in the community room

Commissioner Saeger read the above statement into the record.

Luke Masella
Deputy Clerk/Management Analyst

147 Thatcher COA Application

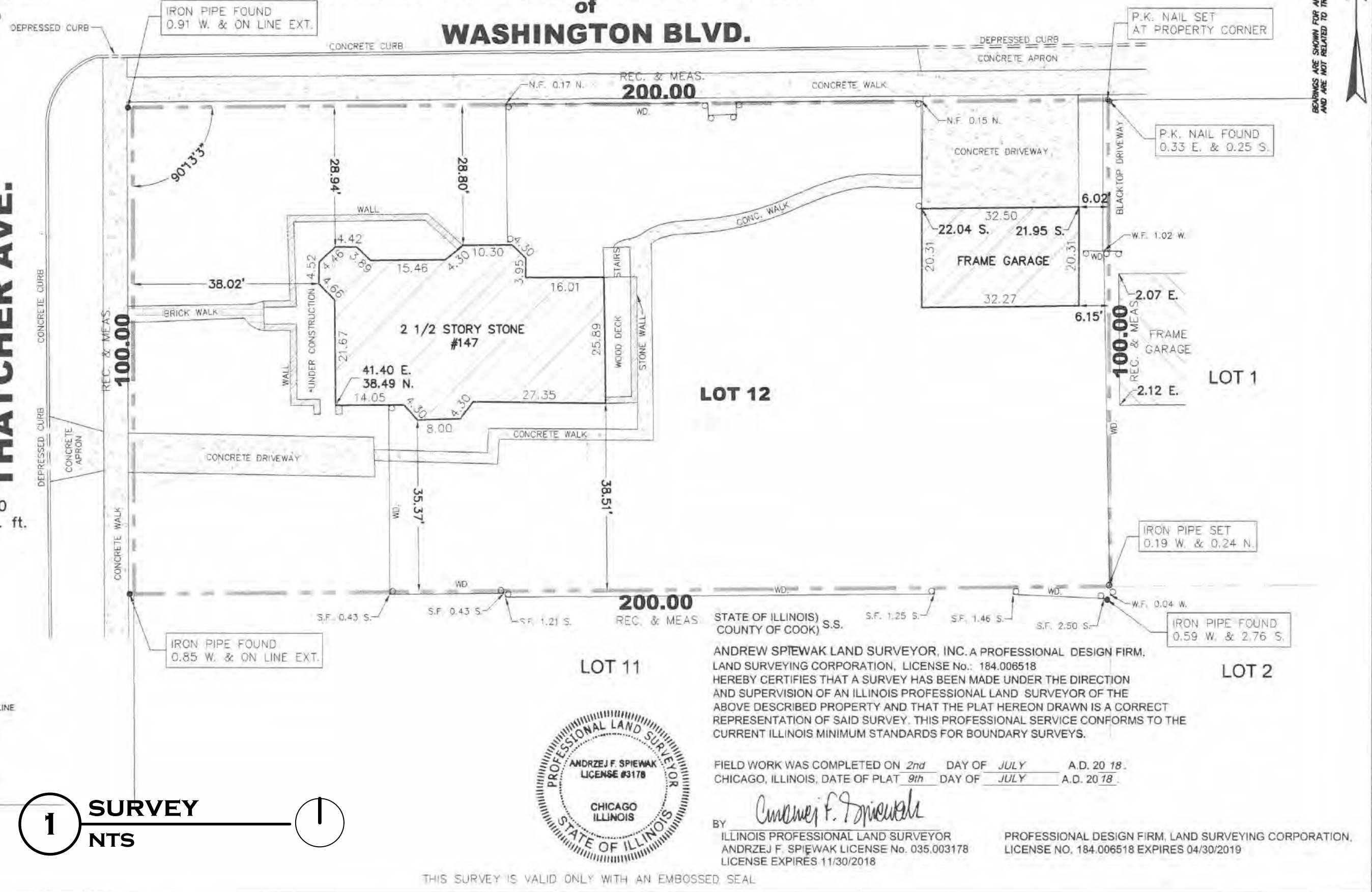
1. Kimberlee L. Smith, president Smith Architecture, Ltd.
2. John and Allison Kolozak
3. 147 Thatcher, River Forest, IL 60305. See plat of survey in drawing set.
4. The existing three car garage on the corner property is in a state of disrepair. There is no foundation, the wood is rotting, and the roof structure is failing.



5. It was our original intention to keep the existing structure, since it's taller than is actually allowed in the Village, but due to the lack of any real foundation, there is no real way to save the building. The proposed garage is similar in size, shape, detailing, but it is a little shorter.
6. Smith Architecture, Ltd. of Oak Park is the architectural firm working on the project.

ORDERED BY: JOHN KOLOZAK
COMPANY OR ORGANIZATION: _____
SURVEYED BY: JG, MS
DRAWN BY: AM
CHECKED BY: AFS
PROJECT No: **251-18**

THATCHER AVE.

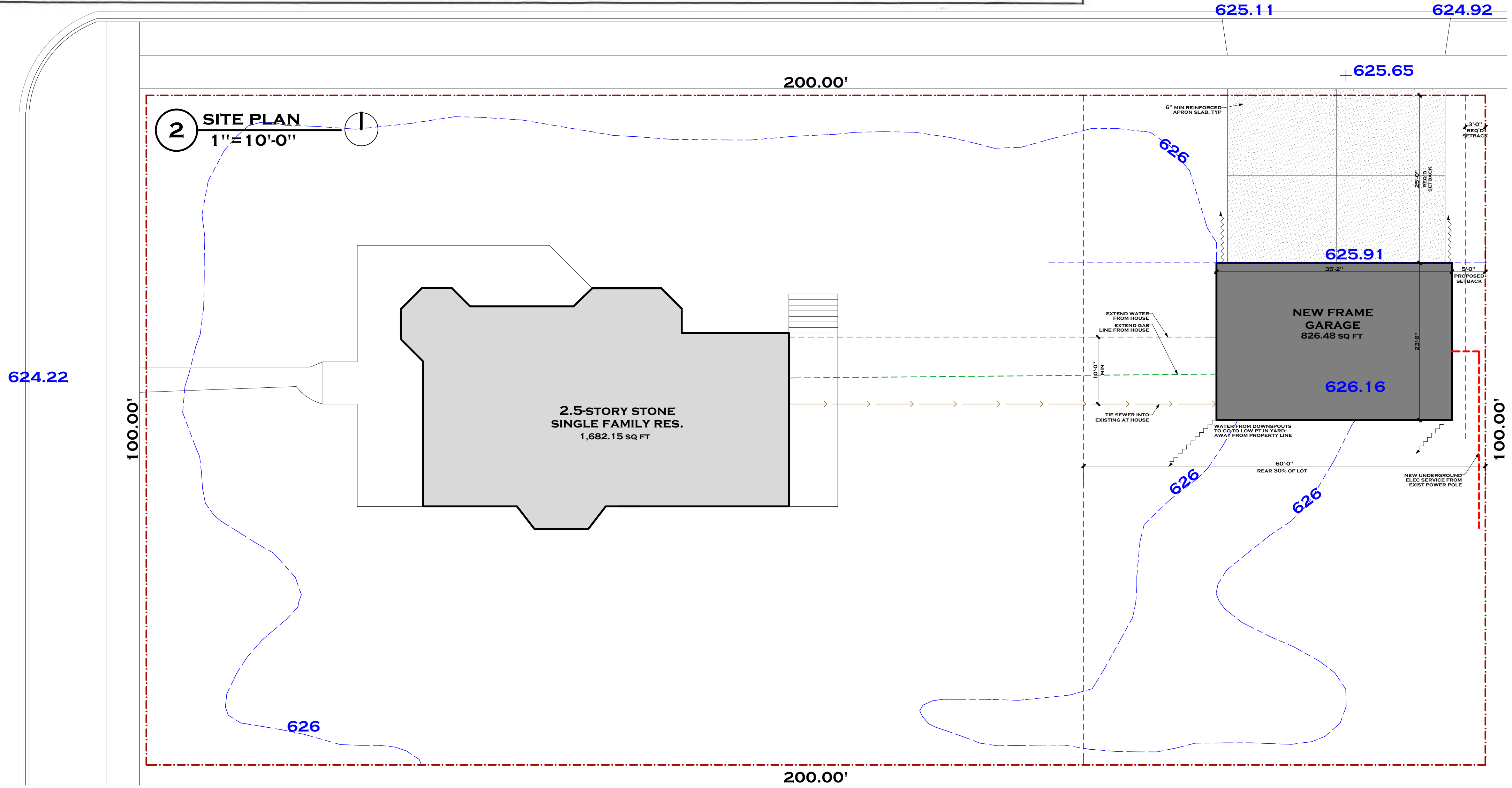
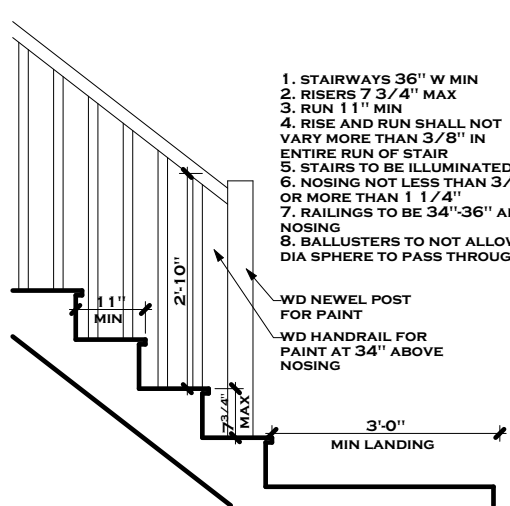
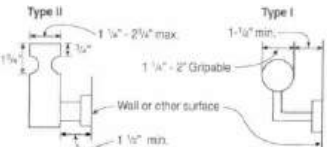


The contractor shall be responsible for the installation and maintenance of adequate signs, barricade, and warning devices to inform and protect the public. The cost of furnishing and maintaining signs, barricades, and warning devices shall be incidental to the contract and no additional compensation will be allowed.

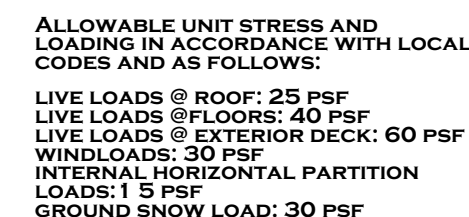
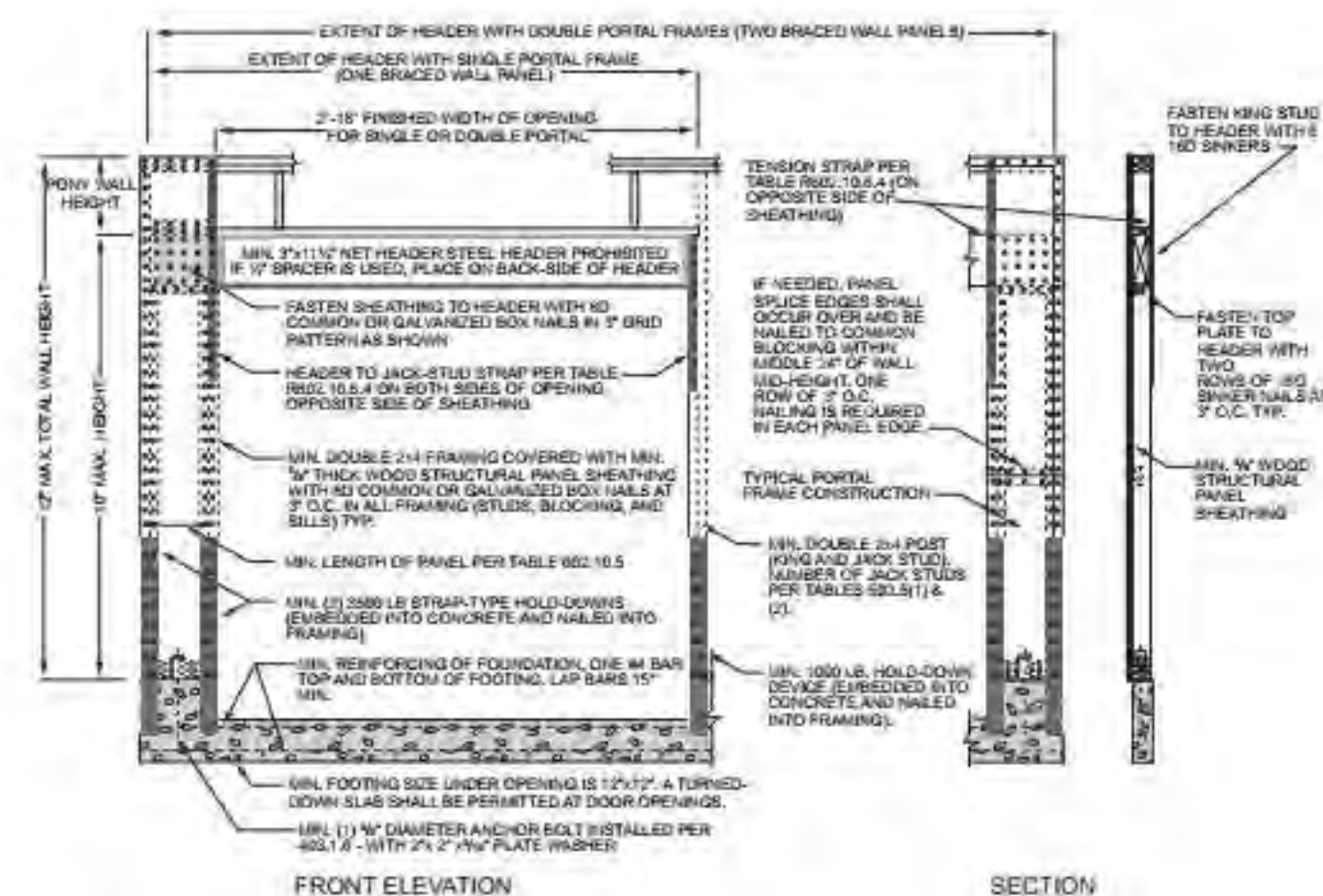
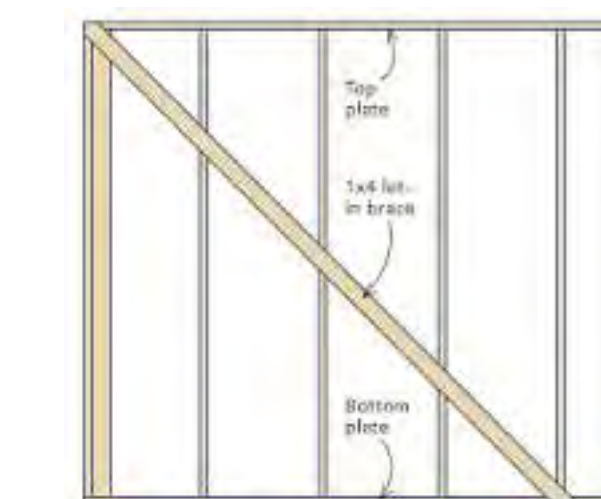
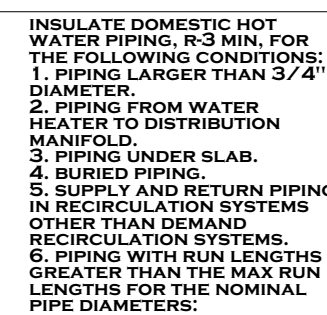
All outside corners of exposed concrete shall be finished with $\frac{1}{2}$ " radius.

Windows

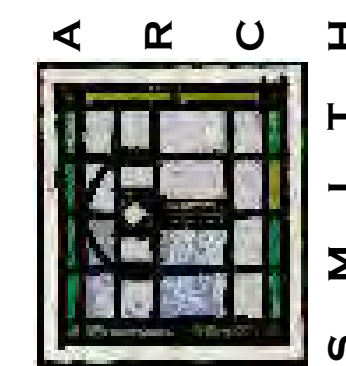
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
FOR ONE- AND TWO-FAMILY DWELLINGS AND
THEIR ACCESSORY STRUCTURES WITH LOCAL
AMENDMENTS
2017 NATIONAL ELECTRIC CODE (NEC) WITH
LOCAL AMENDMENTS
2021 INTERNATIONAL ENERGY CONSERVATION
CODE (IECC)
2014 ILLINOIS STATE PLUMBING



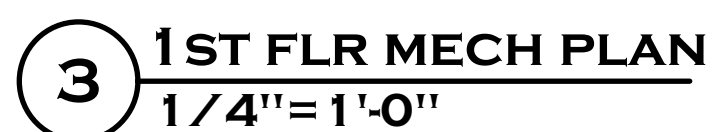
AO

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811 NORTH EAST AVENUE.

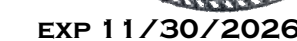


A1



Separate lighting circuits from receptacle circuits
Maximum permitted leads on circuits shall be as follows:
20a - 1,700 watts
15a - 1,200 watts

Minimum of 100% of all lights in permanently installed lighting fixtures shall be high-efficacy lights.



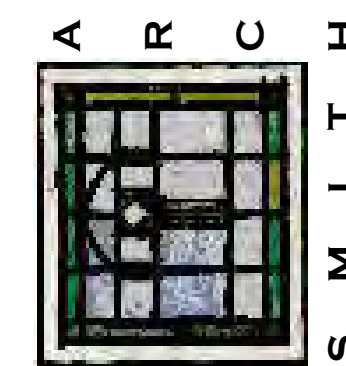
**KOLOZAK
RESIDENCE
147 THATCHER
RIVER FOREST, IL
60305**

SMITH ARCHITECTURE
 ARCHITECTURE HISTORIC PRESERVATION RENOVATION
 ADDITION NEW CONSTRUCTION GRAPHIC DESIGN

OAK PARK, IL 60302
KSMITH@SMITH-ARCH.COM

811 NORTH EAST AVENUE.

811 NORTH E
773.934.9124



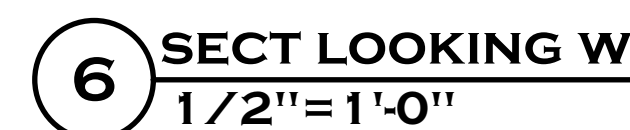
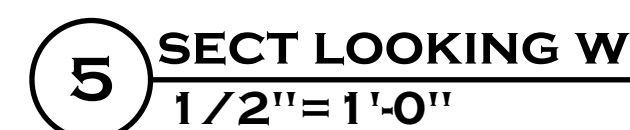
**ELEC/MECH
PLANS/
SECTIONS**

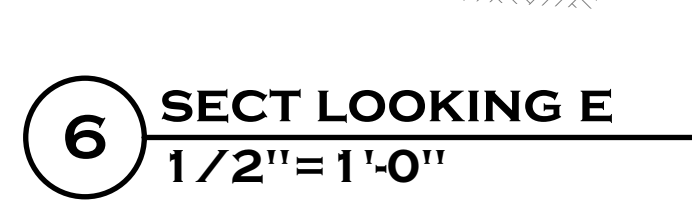
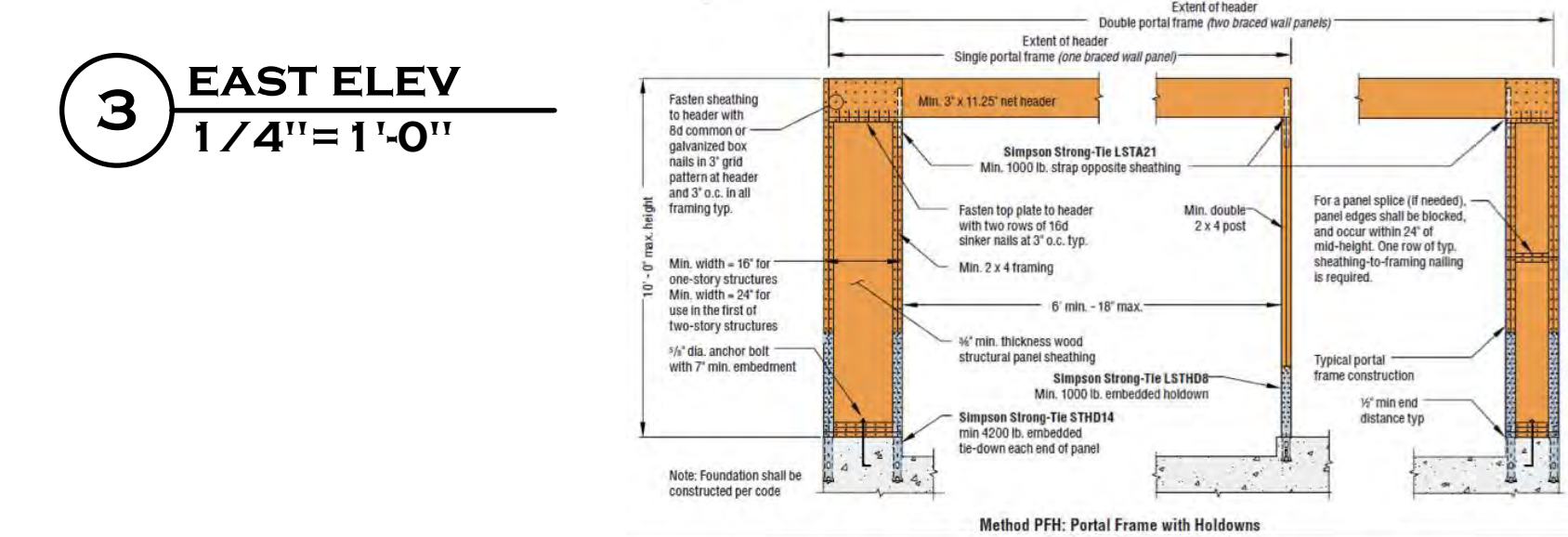
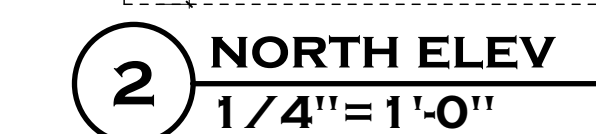
DATE
3.14.25

PROJECT
24144

SHEET NO.

A2



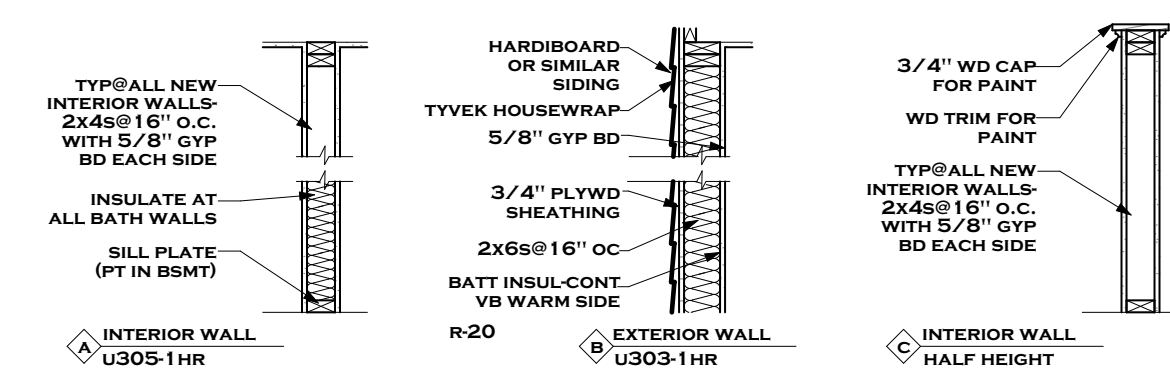


NOTES:

1. VERIFY ALL SWINGS ON PLANS.
2. ALL EXTERIOR DOORS WITH GLASS SHALL HAVE TEMPERED GLASS.

NOTES:

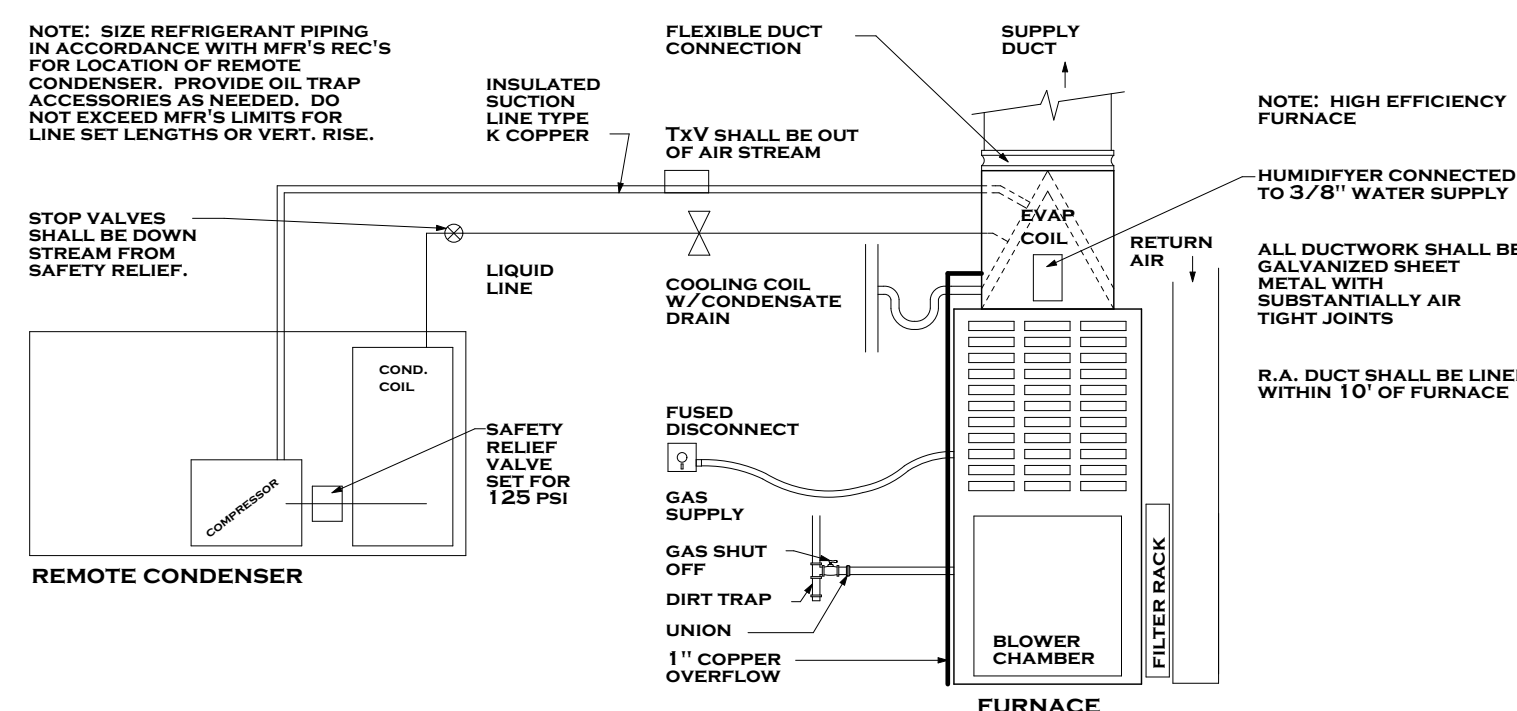
1. CONTRACTOR TO VERIFY ALL OPENING SIZES PER WINDOW AND DOOR MANUF. SELECTED.
2. WINDOW CONTRACTOR TO VERIFY ALL OPENINGS IN FIELD. SIZES GIVEN ARE APPROXIMATE.
3. SEE 1/4" ELEVATION SHEETS FOR NOTES REGARDING OPENED AND/OR TEMPERED GLASS
4. WINDOW HINGING - REFER TO 1/4" EXTERIOR ELEVATIONS.
5. ALL WINDOWS SHALL BE INSULATING GLASS WITH ARGON GAS AND LOW E II.
6. ALL INT. HARDWARE TO BE WHITE, CRANK HANDLE.
7. CONTRACTOR SHALL ORDER AND PROVIDE JAMB EXTENSIONS AS REQUIRED.
8. CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, ETC. FOR SKYLIGHTS. (MIN U .55)
9. ALL WINDOWS SHALL HAVE MIN. U VALUE OF .30



(1) We stiffenances are required at intermediate supports of continuous-span joists when the intermediate bearing length is less than 54" and the span on either side of the intermediate bearing is greater than the following spans:

T/J#	40 PSF Live Load / 20 PSF Dead Load				40 PSF Live Load / 20 PSF Dead Load			
	12° e.c.	16° e.c.	18.2° e.c.	24° e.c.	12° e.c.	16° e.c.	18.2° e.c.	24° e.c.
110			19'-2"	15'-4"			19'-2"	15'-4"
210			21'-4"	17'-0"			21'-4"	17'-0"
360	Not Req.	Not Req.	Not Req.	19'-2"	Not Req.	Not Req.	19'-1"	15'-11"
			24'-5"	19'-5"			24'-5"	16'-3"
560			29'-10"	23'-10"			29'-10"	19'-10"

* Long-term deflection under dead load, which includes the effect of creep, has not been considered. Bold italic spans reflect initial dead load deflection exceeding 0.33".



FURNACE DIAGRAM


LIGHT AND VENT SCHEDULE				LIGHTING		VENTILATION				HEAT LOSS			
	ROOM	REQ'D	PROPOSED	REQ'D	PROPOSED	C.F.M.							
101	GARAGE	733 S.F.	-	-	-	-	-	24189	244.31	300	F-1		
201	STUDY	374 S.F.	29.92 S.F.	25.29 S.F.	14.96 S.F.	17.48 S.F.	-	16875	170.44	300	F-1		
202	BATH	40 S.F.	-	6.42 S.F.	-	3.66 S.F.	60 CFM 100 CFM	1320	50.00	50	F-1		
TOTAL LOSS/CFM								45775	464.44	650			
FURNACE F-1								42384	464.75	650	F-1		
CARRIER: LOSS+18%								45775					
60MTB-100 UNIT OUTPUT								60000					
TOTAL GAIN								60000					

[illegible]

**KOLOZAK
RESIDENCE
147 THATCHER
RIVER FOREST, IL
60305**

A S M I T H A R C H I T E C T U R E

ARCHITECTURE ADDITION	HISTORIC PRESERVATION NEW CONSTRUCTION	RENOVATION GRAPHIC DESIGN
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S M I T H 811 NORTH EAST AVENUE. OAK PARK, IL 60302
773.934.9124 KSMITH@SMITH-ARCH.COM

EXT ELEVS/ SECTIONS

DATE
3.14.25

PROJECT
24144

SHEET NO.
A3

601 Bonnie Brae

Certificate of Appropriateness Application

Demolition of existing garage and construction of a new garage

January 13, 2025

601 Bonnie Brae Certificate of Appropriateness Application – Alteration to Significant Property. In order to apply for a Certificate of Appropriateness (COA) per Section 13-1-7-A of the Village Historic Preservation Ordinance, the Village requires the following information:

1. Applicant's name:

Frank Heitzman, AIA, Heitzman Architects, 213 South Euclid Avenue, Oak Park, Illinois 60302

Telephone: (708) 267-1352

Email: frank@heitzman.org

2. Owner's name, if different:

Katharine Christmas

3. Submit a complete building permit application, architectural elevations including a description of materials as well as floor plans and site plan:

The site plan, floor plans and exterior elevation drawings of the proposed addition are attached for your use and review.

4. Description of Materials:

The new garage will be clad in stained cedar board siding and stucco to match the existing house. Siding will have the same exposure and texture as the existing house. All trim details and roof material are to match existing house. Windows will match the existing windows in type, materials and proportions.

5. Identification of any architect or developer involved in the project:

Frank Heitzman, AIA, Heitzman Architects.

6. Any information as requested by the Village Administrator or HPC:

Applicant will provide supplementary information as requested by the HPC.

A. GENERAL INFORMATION

Work under this contract will include demolition of existing garage and concrete slab, construction of new garage, concrete foundations and floor slab, concrete apron, doors and hardware, windows, underground electrical wiring in PVC conduit from house to garage, 100A electrical panel in garage, receptacles, lighting fixtures, electrical ground rod, and rough site grading.

- General Conditions AIA A201-2017 shall form a part of this contract.
- Payment will be made on a monthly basis after completion of work based on submittal of Application and Certificate for Payment on forms G702 and G703, submittal of waivers, inspection and certification by Architect. Submit draft pay request to Architect for preliminary review. 10% retainage on each certificate will be held by Owner until final certificate for payment is approved. Final payment will be made after certification by Architect that all work is complete and final waivers of lien have been submitted to Owner for labor and materials. No advance payment will be made to contractor for materials or equipment. However, when materials or equipment have been delivered and are secured on the job, pay request for such may be submitted for approval on forms G702 and G703.
- Change Orders will be prepared by Architect on form G701 after approval by Owner.
- Contractor shall carry min \$1,000,000 in general liability insurance and \$1,000,000 in auto insurance on owned or leased vehicles. Submit certificate of insurance prior to beginning work.
- When the term "Contractor" is used in the drawings and specifications, it is intended to mean the "General Contractor."
- The Contractor is responsible for the intermeshing the various parts of the work so that no part of the work is left in an unfinished or incomplete condition owing to any disagreement between the subcontractors and himself or between the subcontractors as to where the work of one begins and ends with relation to the work of the other.
- Dimensions of the Work shall not be determined by scale or rule from the Drawings. Figured dimensions on the Drawings shall be followed at all times. If figured dimensions are lacking in the Drawings, the Architect will supply them on request of the Contractor.
- Unless noted otherwise, dimensions are shown to the face of wall finish.
- Wherever typical parts or sections of the Work are completely detailed on the Drawings, and other parts or sections which are essentially the same construction are shown in outline only, the complete details shall apply to the work which is shown in outline.
- Contractor shall be responsible for complying with all applicable codes, ordinances, rules, and other governmental regulations, including the 2018 International Residential Code with River Forest amendments, 2021 International Energy Compliance Code.
- Contractor shall obtain all permits, inspections and approvals by governmental and utility agencies having jurisdiction. Contractor and its subcontractors shall be licensed to work in the Village of River Forst. Owner will apply for Village of River Forest building permit. Do not include cost of permits and inspections in bid. Cost of permits and inspection fees, if any, will be reimbursed to Contractor by Owner through Change Order.
- The term "furnish" means "supply and deliver to the Project site, ready for unloading, unpacking, assembly, installation, and similar operations."
- The term "provide" means "to furnish and install, complete and ready for the intended use."
- No construction plans shall be used for construction unless specifically marked "For Construction."
- Commonwealth Edison, AT&T Telephone, Ameritech and Nicor Gas have underground and/or overhead service facilities in the vicinity of the proposed work. Contractor shall be responsible for having the utility companies locate their facilities in the field prior to construction. Contractor shall be responsible for maintenance and preservation of these facilities. Contractor shall call JULIE at (800) 892-0123 for utility locations.

B. SITE WORK

- Provide power line and electric switch line for garage lights from house to garage in 2" underground PVC conduit from house to Garage.
- Provide concrete apron and drive as shown. All concrete exposed to exterior shall be air entrained.
- Rough grade site after construction.

C. FOUNDATIONS

- Verify bearing soils have minimum net allowable bearing capacity of 1500 pounds per square foot.
- Do not excavate for footings below a line inclined down 30 degrees from nearby footings unless the evacuation is adequately braced or approved by the Architect.
- Finish footing excavations with hand tools.
- Prevent soils supporting foundations from freezing. Remove any frozen soil and replace with concrete if under footings or with compacted granular fill if under slabs-on-grade.
- Backfill under slabs-on-grade and against foundation walls, both sides, with a granular fill (gravel, sand-gravel mixture, coarse or medium sand, or crushed stone containing not more than 5% by weight passing a no. 200 mesh sieve) placed in 6 inch thick layers. Do not use foundry sand. Compact each layer to 95% maximum density at optimum water content with at least 4 passes of a vibratory roller or other approved compaction equipment.

C. CONCRETE

- Comply with the current edition of the *Standard Specification for Structural Concrete in Buildings* ACI 301, and the *Building Code Requirements for Reinforced Concrete*, ACI 318. Center footings and piers under supported members unless shown otherwise. Provide concrete with 28 day compressive strengths: 3000 psi:
 - Provide 6% air entrained concrete exposed to earth or weather.
 - Maximum aggregate size shall be ¾" to 1 ½" for footings and ¾" to 1" for slabs on grade.
 - All concrete shall be proportioned to have a slump of 2" to 4". Tolerance in slump shall not exceed ACI recommendations.
- Reinforce slabs placed on ground with a minimum of 6" x 6" - W1.4 x W1.4 welded wire fabric, lapped 12" on sides and ends.
- Reinforcing shall conform to the *Manual of Standard Practice for Detailing Reinforced Concrete Structures*, ACI 315; the *Standard Specification for Structural Concrete in Buildings* ACI 301; and the *Building Code Requirements for Reinforced Concrete*, ACI 318.
 - Provide reinforcing steel meeting the standards of ASTM A615 Grade 60.
 - Clearance of main reinforcing bars from adjacent concrete surfaces shall be:

Condition	Minimum Cover (inches)
Concrete cast against and permanently exposed to earth:	3
Concrete exposed to earth or weather:	1 1/2
- Provide dowels and keyways at all construction joints.

D. CARPENTRY

- Comply with the 2001 edition of the AFPA *National Design Specification for Wood Construction*, and the American Institute of Timber Construction *Timber Construction Manual*, fourth edition.
- Provide new lumber and plywood with grade which indicates species, mill number, moisture content when surfaced, and grade or stress rating stamps from the associations having jurisdiction.
- Framing: Provide Southern Pine No. 2 grade lumber for all framing except columns which shall be Southern Pine No. 1 grade unless noted otherwise.
- Pressure Treated Lumber shall be re-dried after treatment and maintained at a moisture content of less than 19% until installation (KDAT).
- Roof Sheathing: Provide 15/32" APA 32/16 Rated Plywood Sheathing, Exposure 1.
- Wall Sheathing: Provide 15/32" APA 32/16 Rated Plywood Sheathing, Exposure 1. Exterior walls shall be Continuously Sheathed in accordance with IRC R602.10.4.1.
- Provide Tyvek Home Wrap on exterior face of sheathing. Flash around windows and doors.
- Seal all exterior joints between horizontal and vertical surfaces and elsewhere as shown. Sealant shall be Tremco Dymeric 2-part polyurethane. Provide sealant backer and filler for all joints.

- Fastening: Follow the Fastener Schedule for Structural Members in the 2018 International Residential Code.
 - All nails shall be common unless otherwise noted.
 - When using power driven fasteners to secure sheathing to framing, Contractor must ensure that no more than 10% of the fasteners are overdriven (defined as head of fastener being driven below the surface of the sheathing). If more than 10% of fasteners are overdriven, fastener values required by the Fastening Schedule or as otherwise specified on the drawings shall be increased by 50%.
 - Wall sheathing to rim board (Face-nails): Face-nail into wide face of rim in accordance with the code. 8d-, 10d-, 12d-, 16d-box or common nails may be spaced at a minimum of 2 inches on center (stagger nails for spacing 3 inches on center or less by at least 1/2 inch).
- Floor and roof construction:
 - All exterior exposed framing and framing in contact with concrete shall be pressure treated for exterior exposure using ACQ-D or CA-B preservative. ACZA preservative is prohibited. Connect multiple piles of framing members with two rows of 12d common nails spaced 12" on center unless otherwise noted.
 - Connect multiple piles of LVL beams with two rows of ½" diameter bolts spaced 12" on center.
 - Locate rows 3" from top and bottom faces of beam.
 - Offset top and bottom rows 6".
 - Notches in joists shall not exceed 1/6 the joist depth and shall not in the middle third of the span. Bored holes shall not be within 2" of joist edges and not exceed 1/3 the depth of the joist. Specified metal connectors are manufactured by Simpson Strong-Tie Co. Substitute connectors of equal or greater capacity than the referenced connectors may be used. All connector hardware and fasteners embedded in pressure treated lumber shall have a minimum G185 galvanized coating.
 - All laminate veneer lumber (LVL) shall have a minimum allowable bending stress, F_b, of 2950 psi (single use, normal duration), a minimum allowable shear stress, F_v, of 285 psi, and a minimum modulus of elasticity, E, of 2,000,000 psi unless noted otherwise.
 - Provide LP Solidstart LVL as manufactured by Louisiana Pacific Engineered Wood Products Division.
 - Install per manufacturer's specifications.
 - Provide galvanized anchors securing pressure treated plates to foundations or connecting pressure treated joists and columns, G185 coating minimum.

E. EXTERIOR FINISHES

- Exterior walls shall be finished with clear cedar board siding exposed width and thickness to match siding on house, stained, over water resistant barrier (Tyvek) over 1/2" CDX plywood sheathing.
- Upper wall finish shall be three-coat stucco to match "honeycomb" texture of stucco on house, painted, over water resistant barrier (Tyvek) over 1/2" CDX plywood sheathing. Provide clear cedar trim over stucco, pattern as shown. Contractor shall retain Joe Zerbinski, Forest Park Stucco (708) 366-3686.
- Exterior fascia, soffits and trim shall be shall be cedar to match trim on house, stained & sealed.
- Soffits shall be Douglas fir tongue & groove beadboard, stained & sealed.
- Use stainless steel ring shank siding nails at siding.

F. ROOFING

- Provide 240 lb asphalt shingle roofing, two piece laminated fiberglass based shingles. Provide 20 year Sure Start Plus warranty on 100% replacement material and labor costs.
- Provide ice-and-water shield underlayment over plywood roof deck from eaves to a point 6'-0" in from the lowest edge of roof and at valleys. Provide 15# asphalt saturated roof felts over the remainder of roof deck.
- Provide aluminum drip edge at all eaves.
- Provide 5" K-style dark anodized aluminum gutters and 3" x 4" dark anodized aluminum downspouts. Extend downspouts to precast concrete splashlocks at grade.

G. DOORS AND WINDOWS

- Exterior service door shall be TruStyle, PL244 panel lite series, Douglas fir door, square stick, painted, glazed panel shall be clear tempered glass with true muntins as shown. Stain & seal all exposed faces of door and frame.
- Windows shall be carpenter built wood single thickness glass with true divided lites. Exterior casings shall be clear cedar, painted. Contractor shall retain John Vitekis, Just Sashes (773) 205-1429 for fabrication of glazed wood sash. Paint sash and frame, color to match house sash and frame.
- Garage doors shall be Clopay Canyon Ridge Carriage House, cedar wood, stained & sealed, Design 1.. Provide 5" wide clear cedar casings, stained.
- Provide garage door with operator, Liftmaster 8550W belt drive ¾ HP with battery backup.

H. STAINING & PAINTING

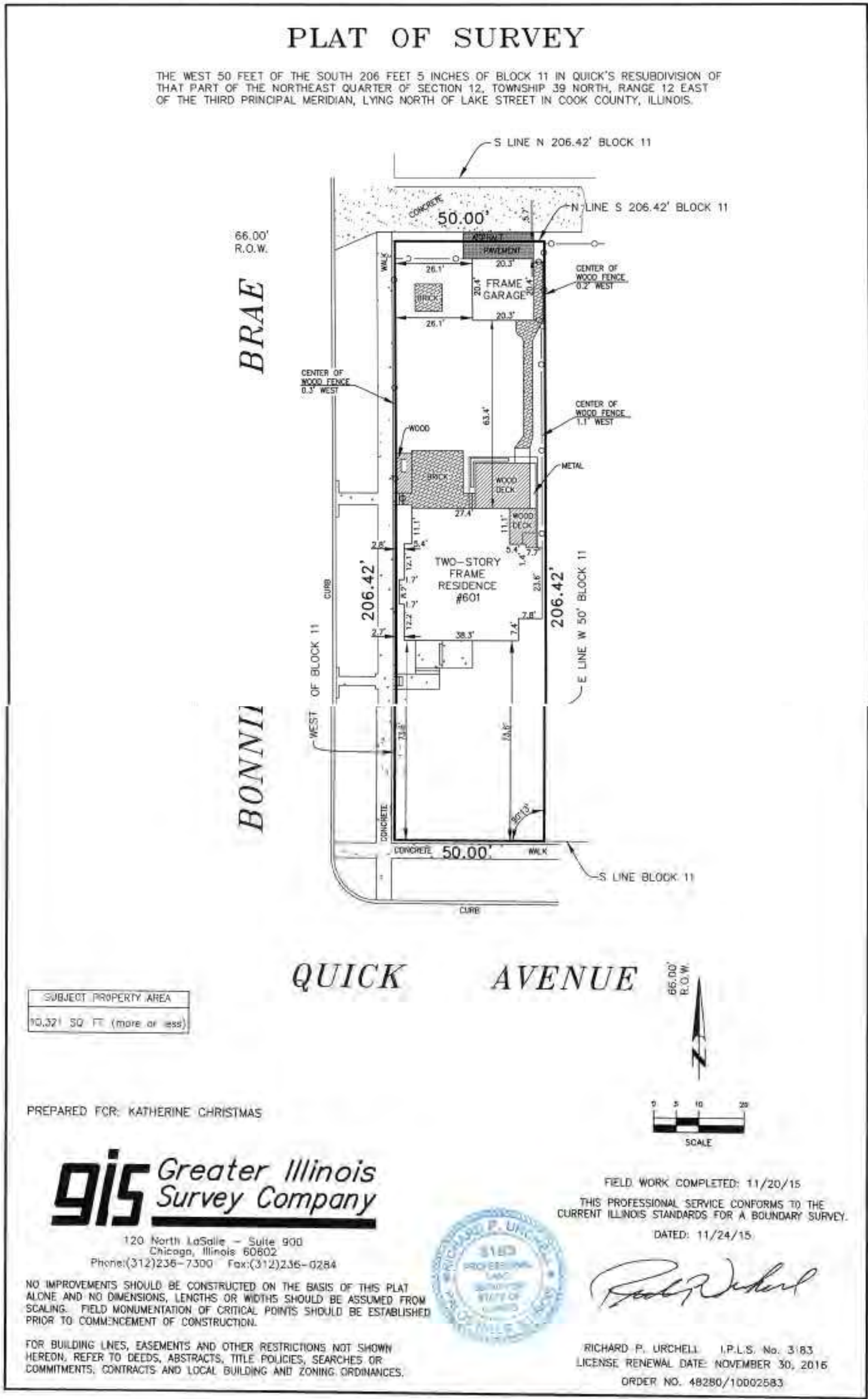
- Stain all exposed siding and trim surfaces with Cabot alkyd based stain color to match stain on house.
- Paint all exterior surfaces shown to be painted minimum of a compatible alkyd primer coat and two coats of Benjamin Moore Regal Select alkyd exterior paint, soft gloss finish, colors to be selected by Architect.

I. ELECTRICAL

- Provide 100A panelboard fed from house panel. Provide buried conduit from existing house electrical panel for panel garage and pull wires of sufficient wire gage to provide a future 50A 240V outlet for electric vehicle charging. Provide ground rods for new garage panel.
- Provide ground fault circuit interrupter (GFCI) receptacles or breakers for all receptacles, and elsewhere where required by code and electrical inspector.
- Receptacles shall be tamper-proof.
- Provide Leviton Decora rocker light switches and matching receptacles, surface mounted galvanized boxes and covers.
- Provide minimum 12 ga. copper wiring in conduit for all receptacle wiring.
- Provide light fixtures at ceiling with LED lamps.
- Provide exterior light fixtures where shown. Provide 3-way switch for exterior garage lights inside garage and at a location inside back door of house.

J. CLEAN UP

- Clean site and work areas at the conclusion of each work day and at the conclusion of the Work.
- Prior to final acceptance, all construction equipment and debris shall be removed, spaces thoroughly vacuum cleaned, interior surfaces damp wiped, windows washed on all glass surfaces, all outlets tested and functioning, all lamps installed in fixtures and working, all equipment and appliances tested and adjusted, all guarantees, and equipment instructions turned over to the Owner, and all painted or stained & sealed surfaces which have been marred by construction activities touched up to the satisfaction of the Owner.



DESIGN LOADS

Dead Loads:	Roof	10 psf
	Floor	15 psf/20 psf
	Exterior Walls	18 psf
Live Loads:	Floors	40 psf
Snow Loads:	Ground Snow (pg)	25 psf
	Sloped Roof (ps)	23 psf
	Unbalanced	30 psf

REFERENCED CODES AND ACTS:

2018 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH RIVER FOREST AMENDMENTS
2018 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE WITH RIVER FORESTAMENDMENTS
2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH ILLINOIS AMENDMENTS
2014 STATE OF ILLINOIS PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS

DRAWING INDEX

NUMBER	NAME
A-101	GENERAL NOTES, SURVEY & DRAWING INDEX
A-102	PLANS & ELEVATIONS
A-103	3D VIEWS & WALL SECTION

HEITZMAN ARCHITECTS

213 SOUTH EUCLID AVENUE, OAK PARK, ILLINOIS 60302
PHONE: (708) 267-1352
E-mail: frank@heitzman.org

GARAGE

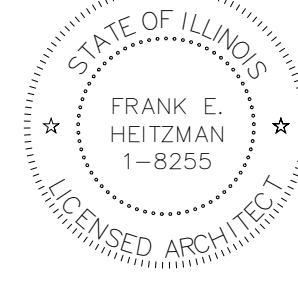
601 BONNIE BRAE PLACE
RIVER FOREST, ILLINOIS

GENERAL NOTES, SURVEY & DRAWING INDEX

I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION AND IN OUR OFFICES, AND COMPLY WITH ALL THE RULES AND REGULATIONS OF THE BUILDING DEPARTMENT OF THE VILLAGE OF RIVER FOREST, ILLINOIS

SIGNED:

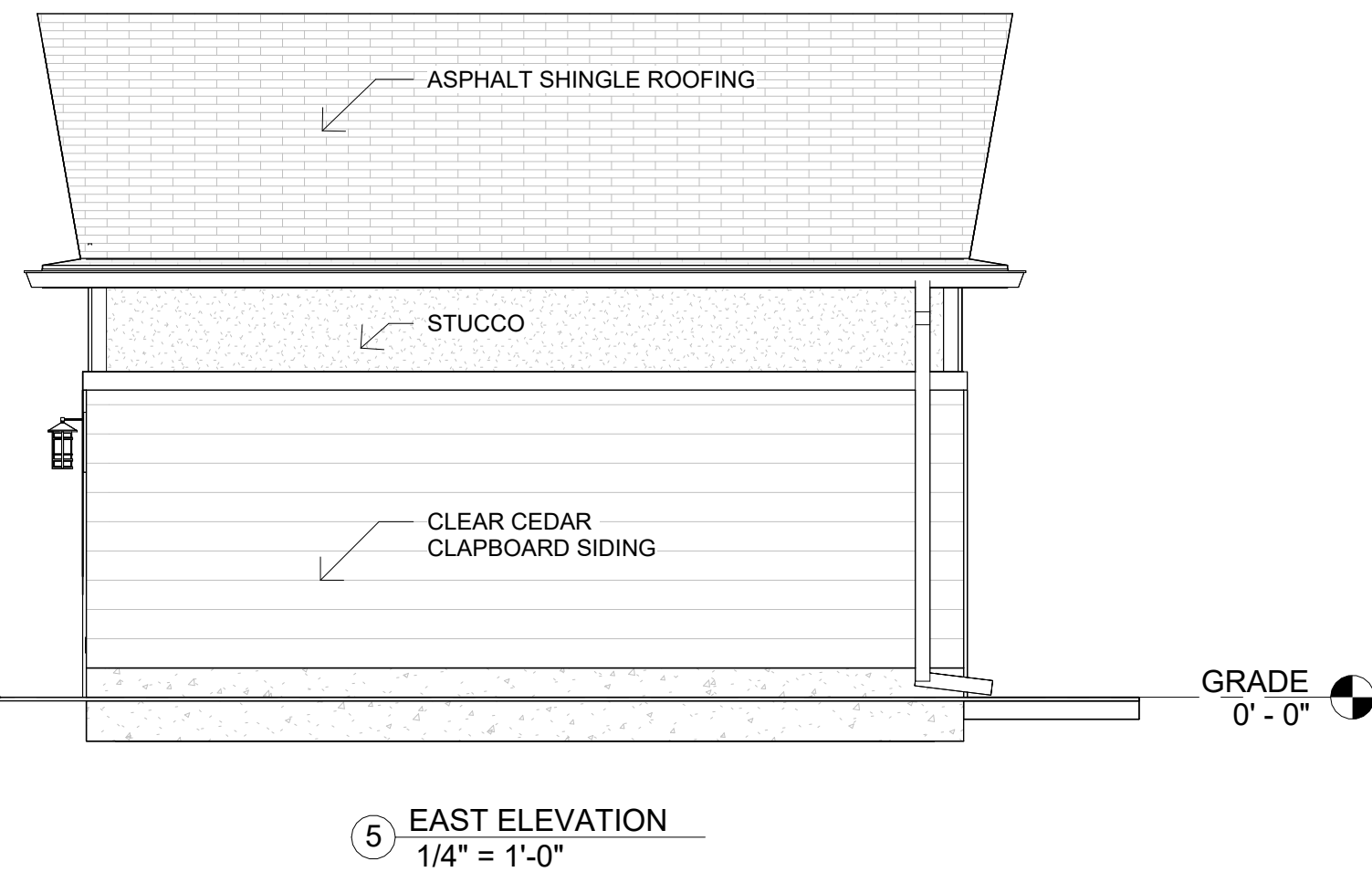
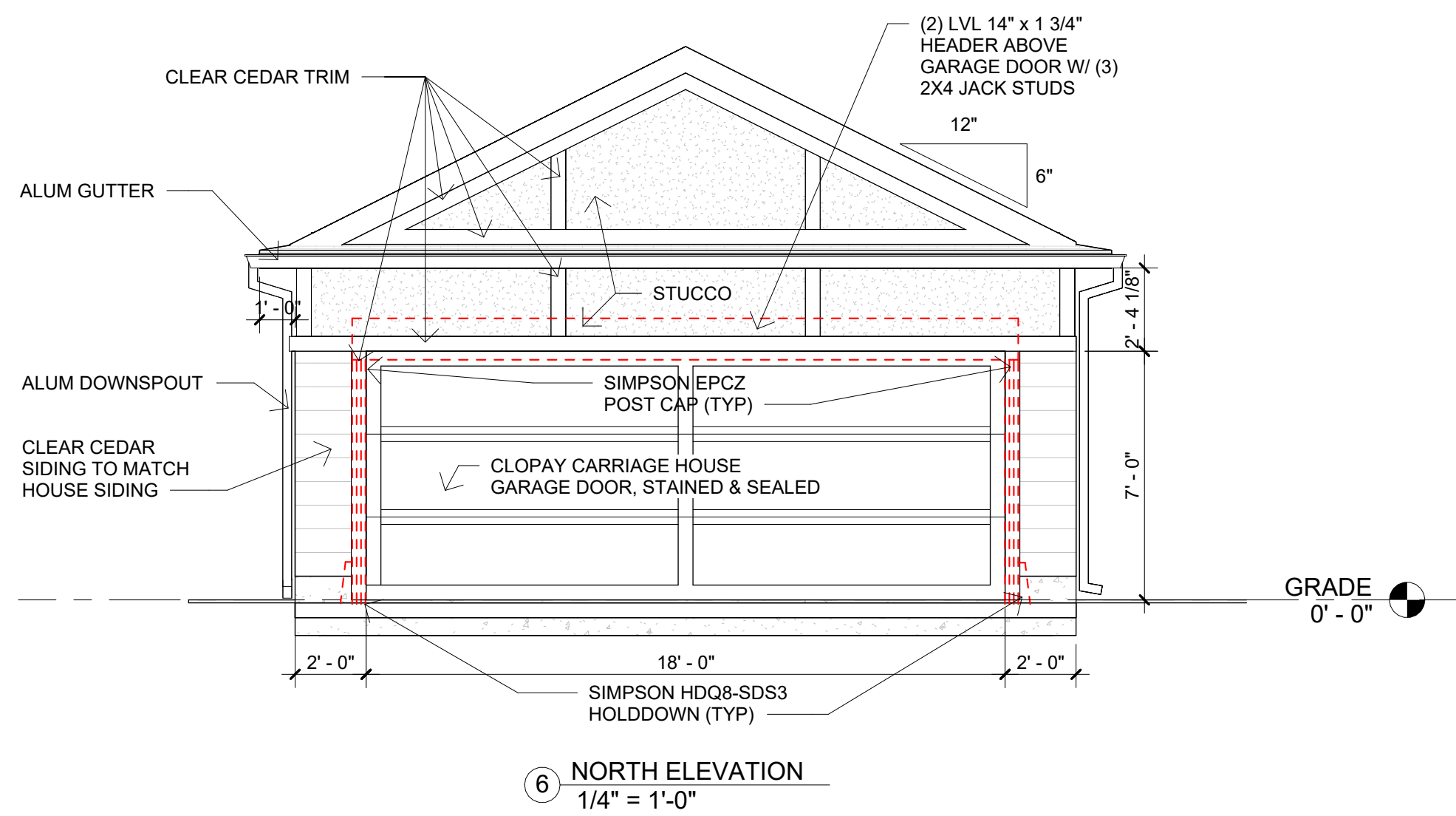
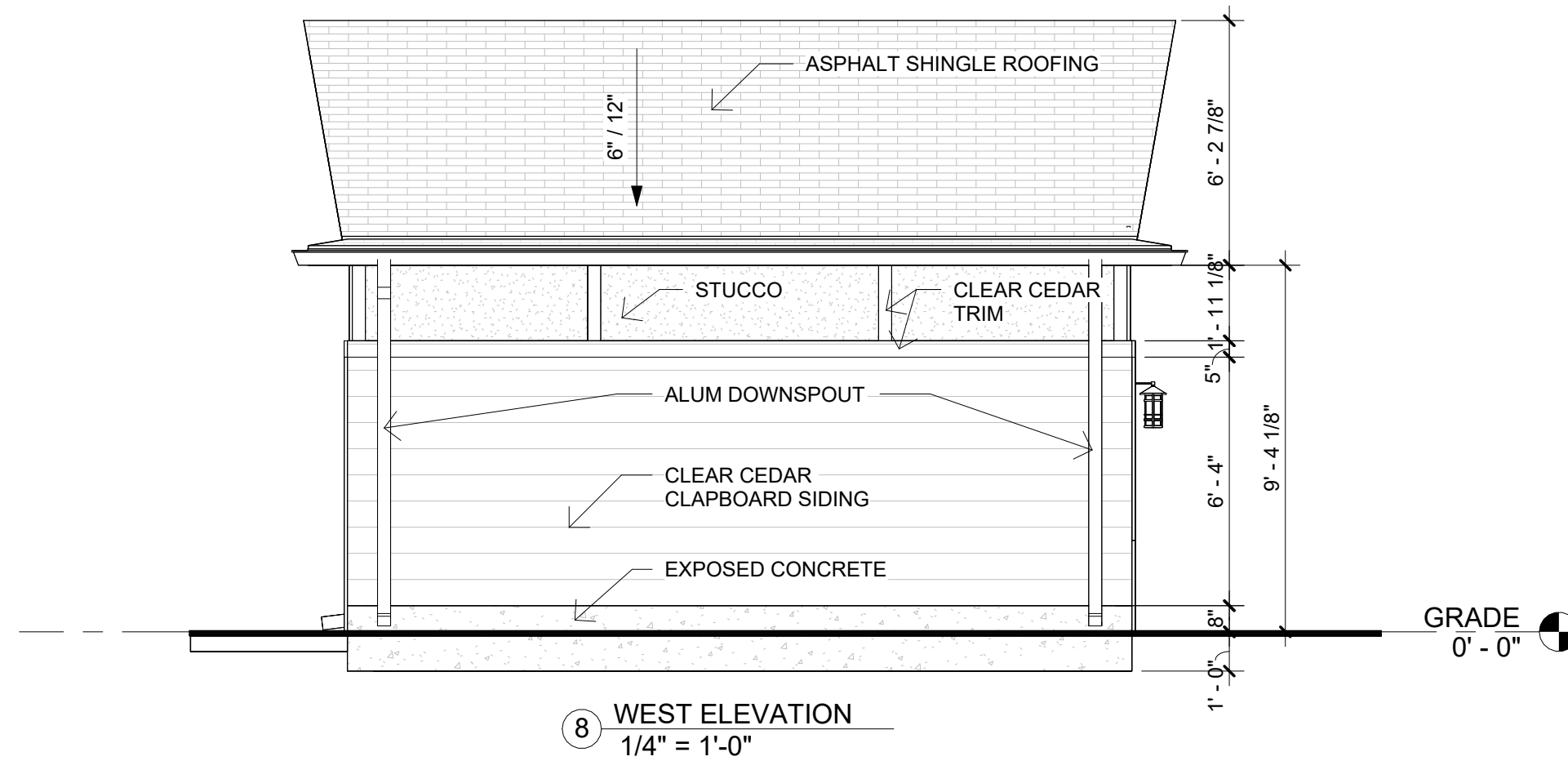
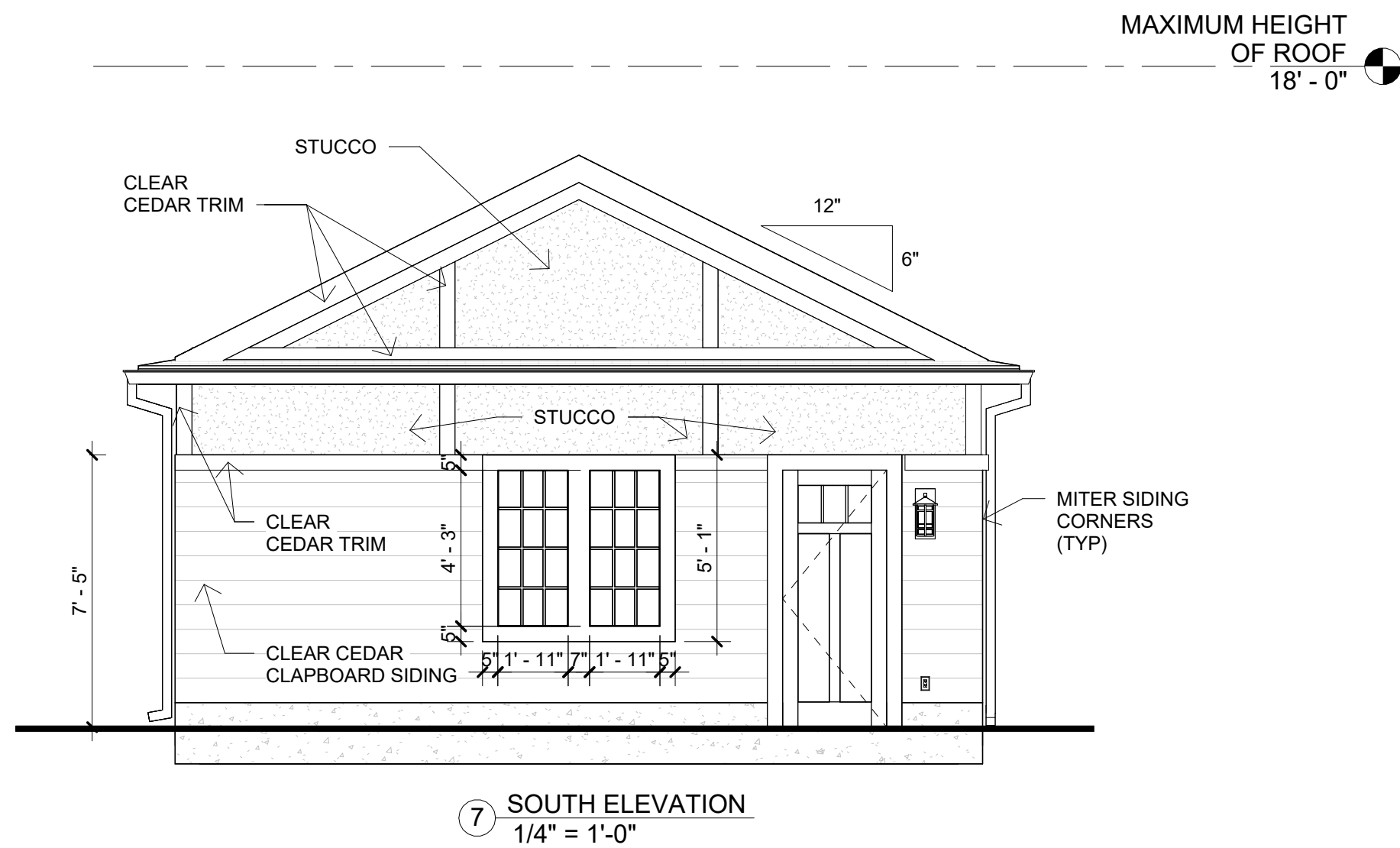
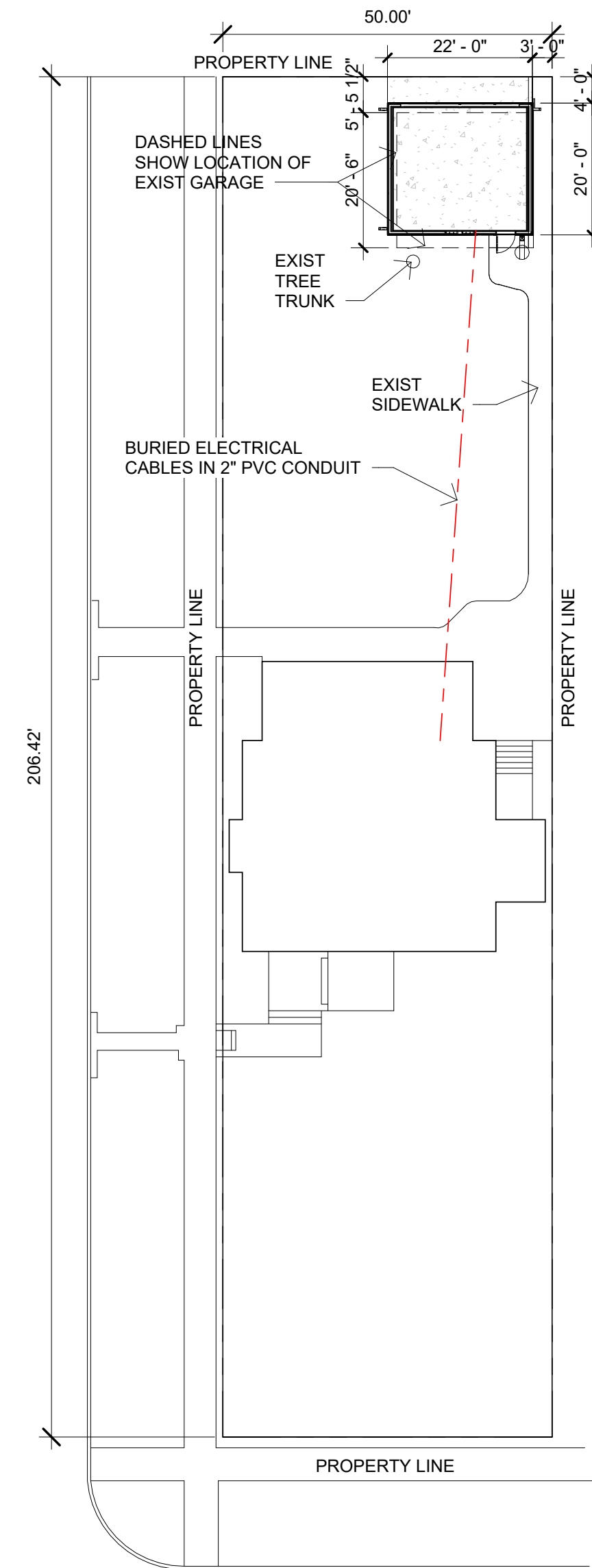
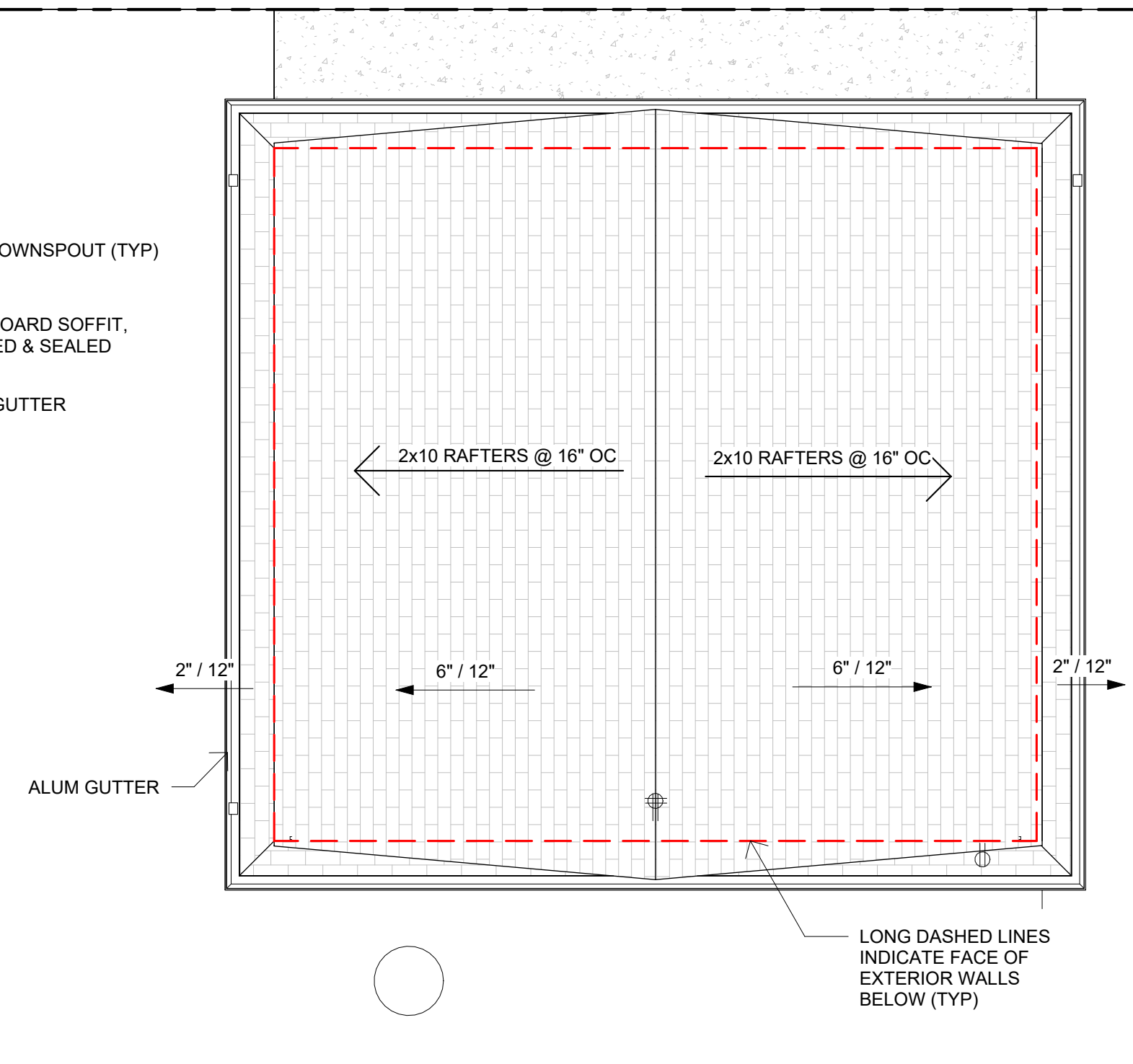
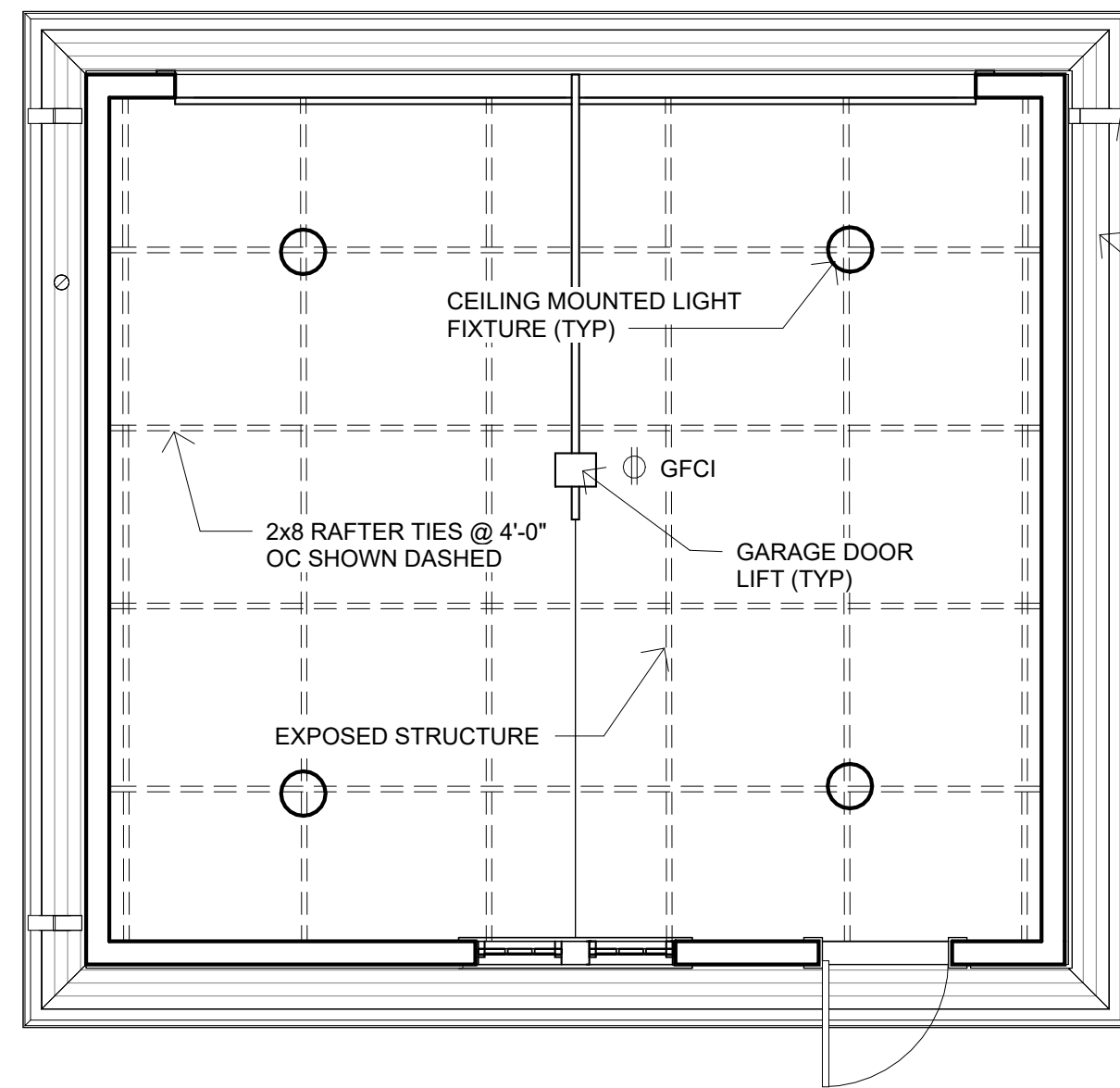
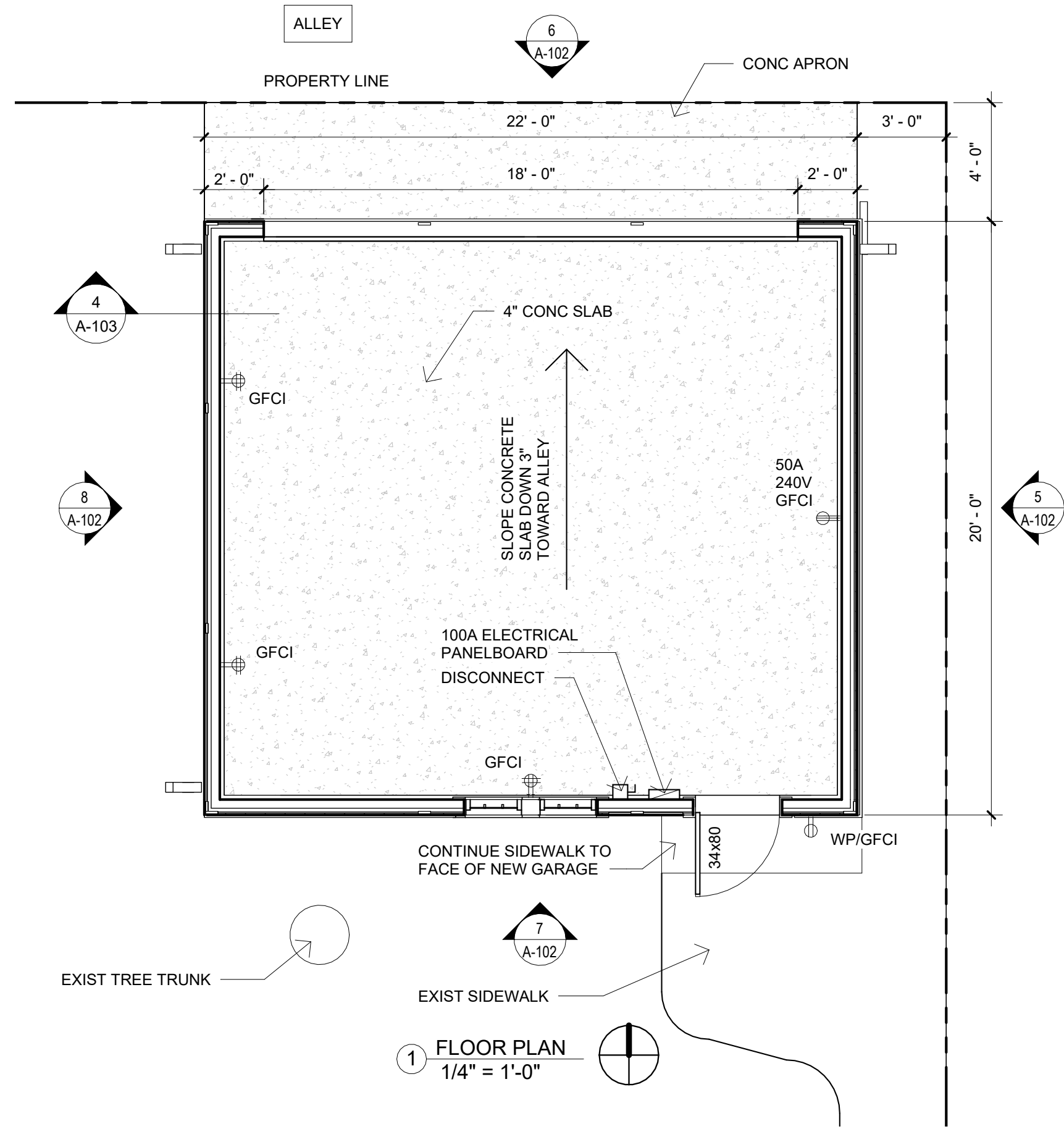
FRANK E. HEITZMAN
ARCHITECT
ILLINOIS REGISTRATION
NUMBER: 01-8255

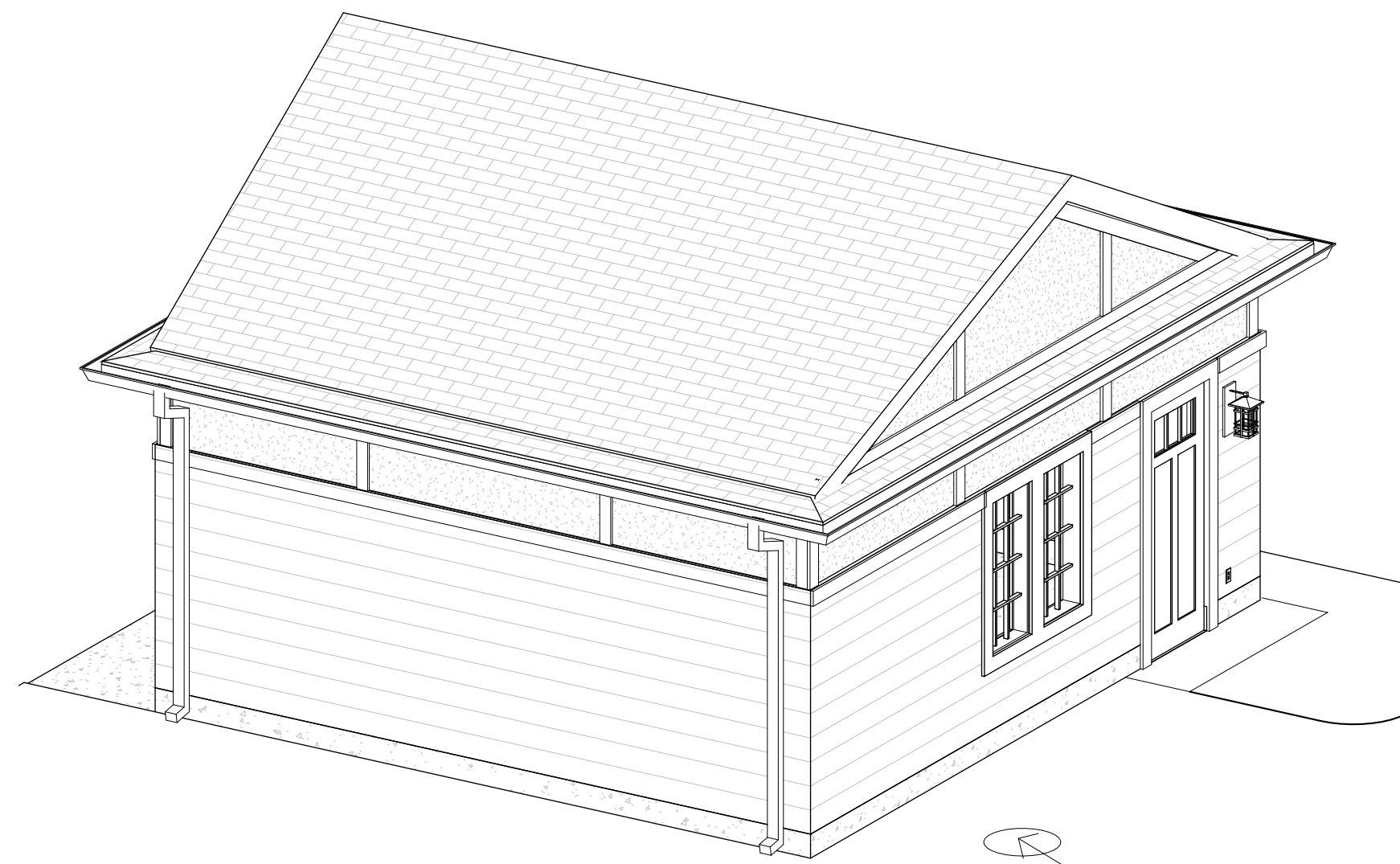


EXPIRES 11/30/2026

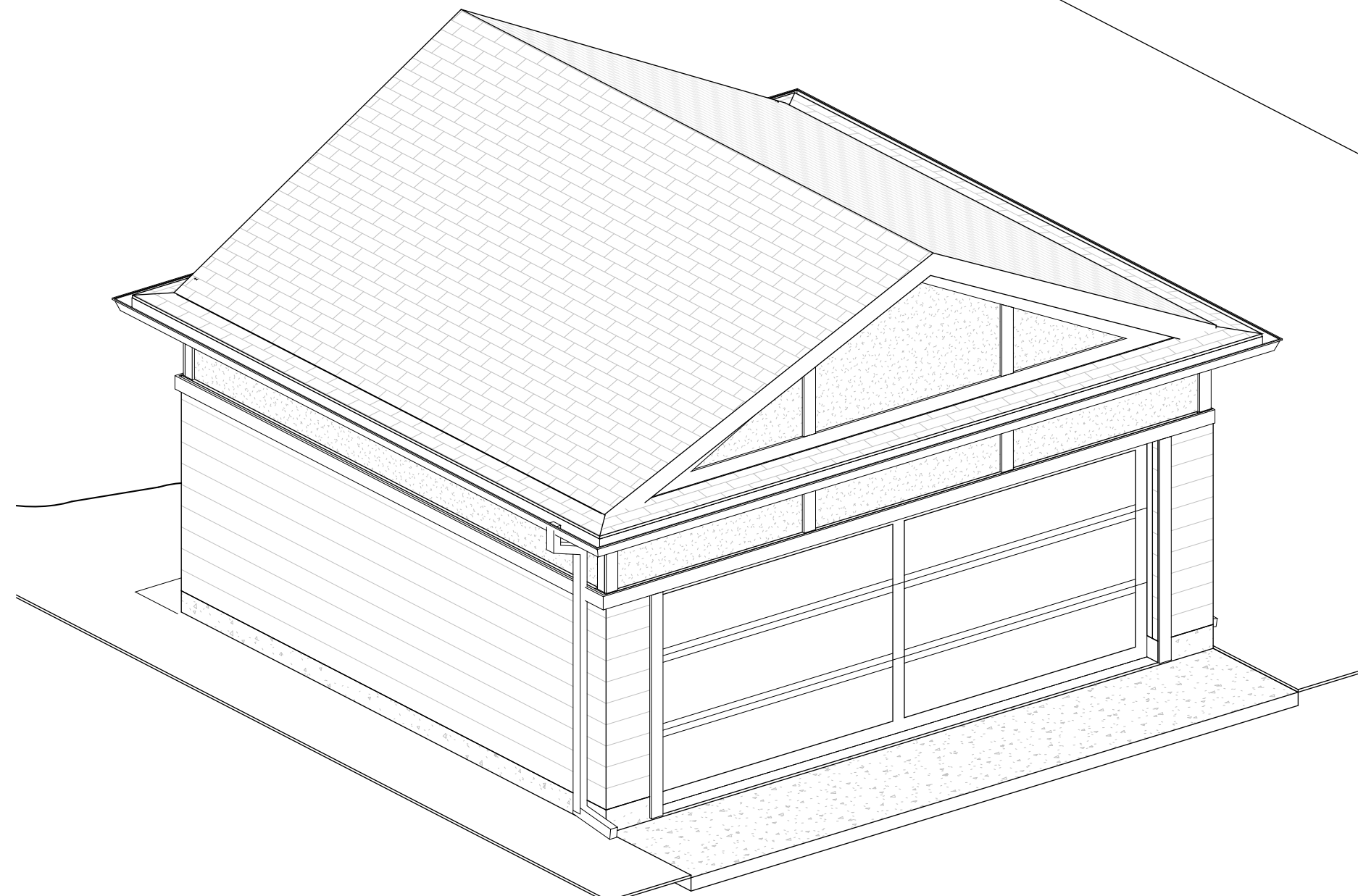
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A-101

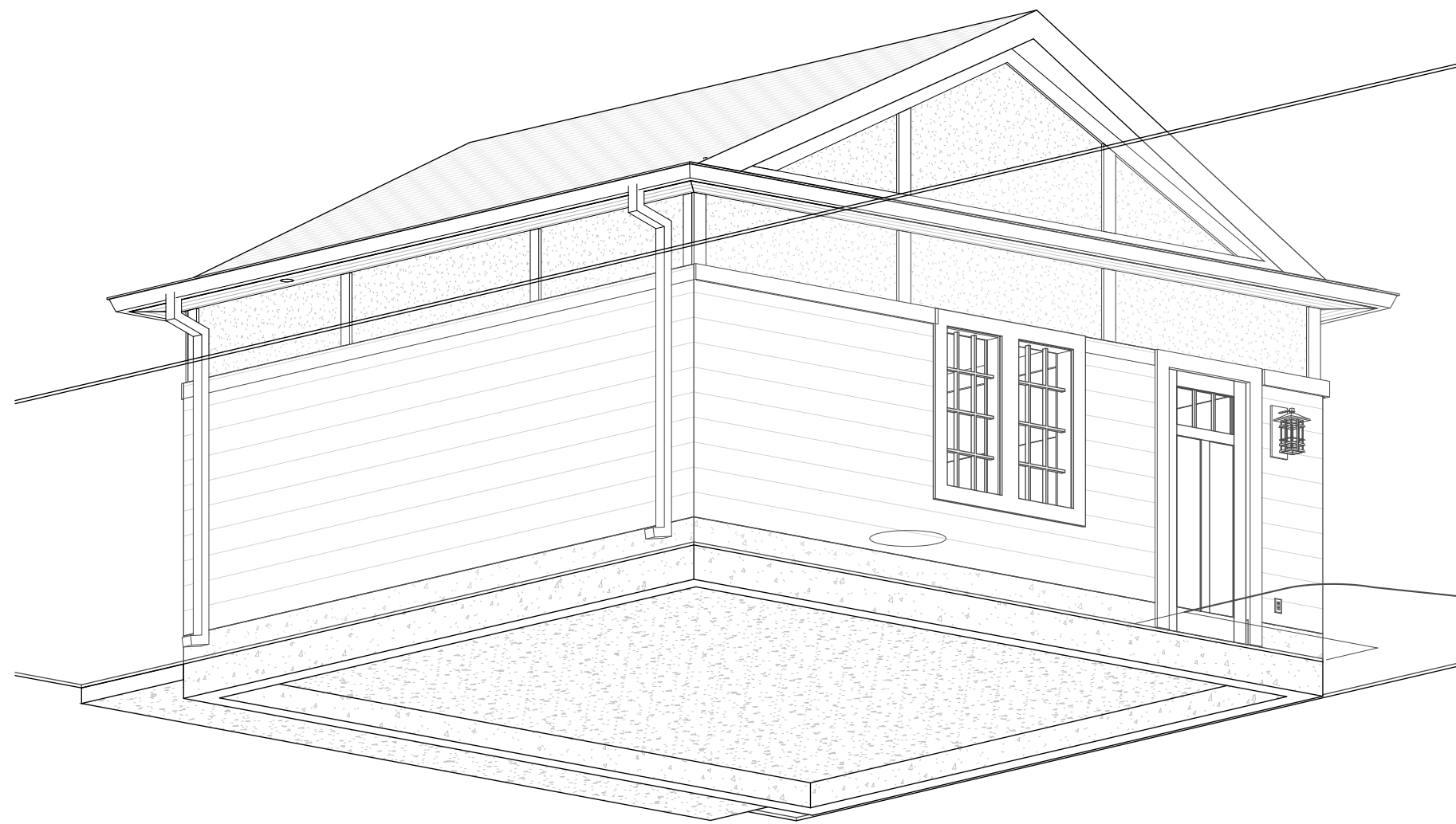




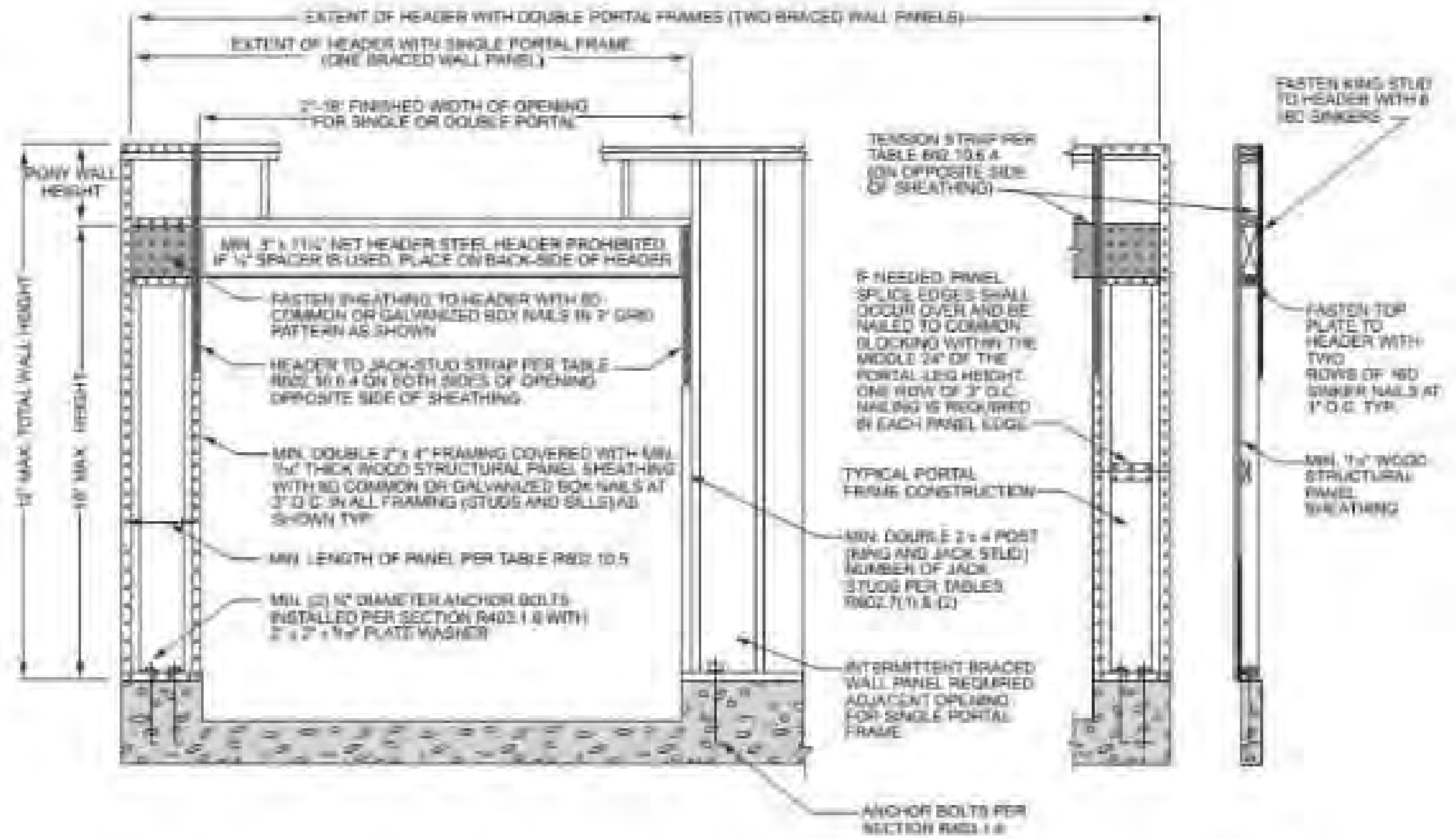
1 VIEW FROM SOUTH EAST



2 VIEW FROM NORTH EAST

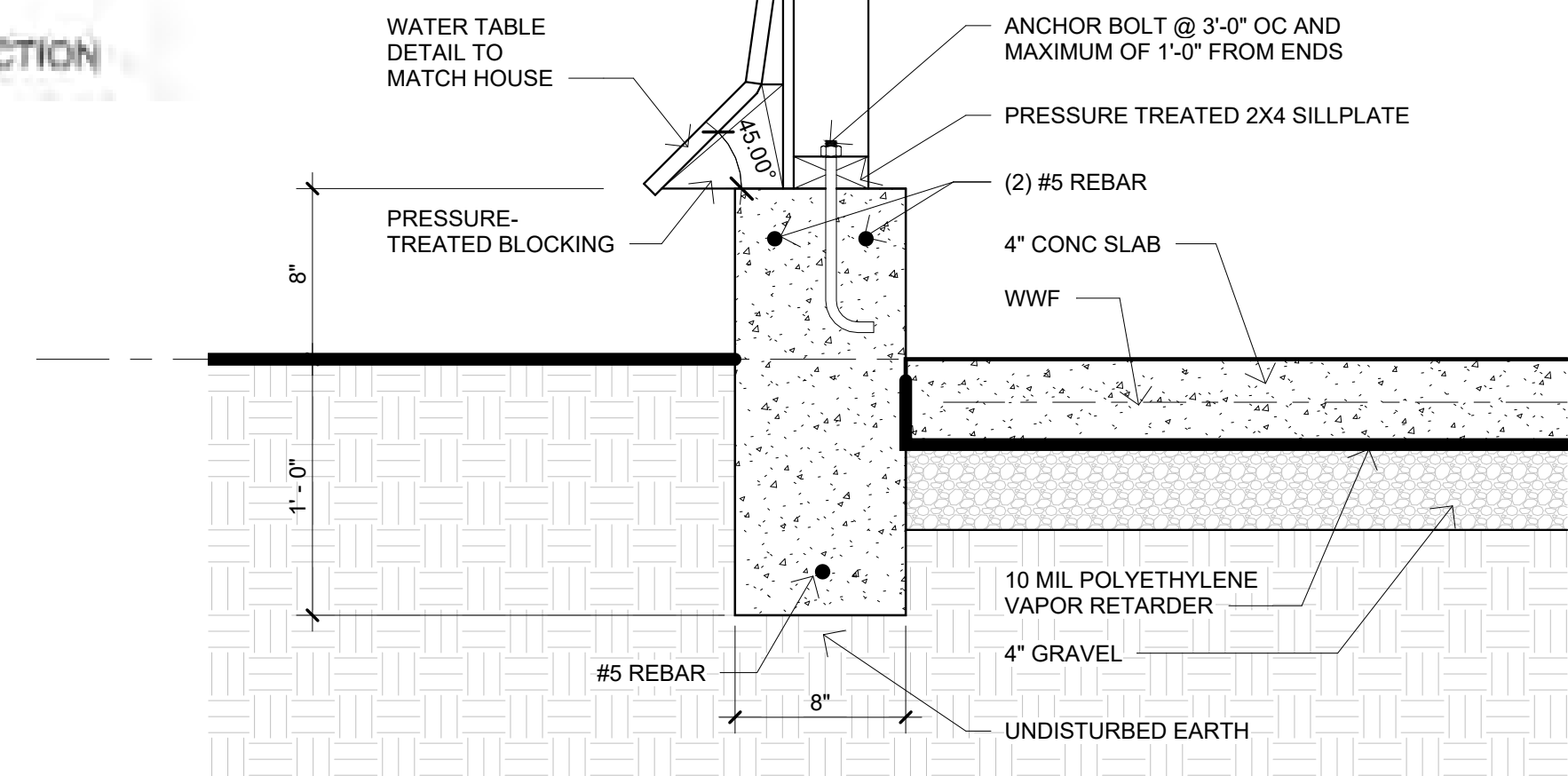


3 WORMS EYE VIEW



FRONT ELEVATION

SECTION



4 WALL SECTION
1 1/2" = 1'-0"

HEITZMAN ARCHITECTS

213 SOUTH EUCLID AVENUE, OAK PARK, ILLINOIS 60302
PHONE: (708) 267-1352
E-mail: frank@heitzman.org

GARAGE

601 BONNIE BRAE PLACE
RIVER FOREST, ILLINOIS

3D VIEWS & WALL SECTION

I CERTIFY THAT THESE DRAWINGS WERE MADE UNDER OUR DIRECT SUPERVISION AND IN OUR OFFICES, AND COMPLY WITH ALL THE RULES AND REGULATIONS OF THE BUILDING DEPARTMENT OF THE VILLAGE OF RIVER FOREST, ILLINOIS

SIGNED:

FRANK E. HEITZMAN
ARCHITECT
ILLINOIS REGISTRATION
NUMBER: 01-8255



EXPIRES 11/30/2026

12/20/2024 4:14:52 PM

A-103



SPEED
LIMIT
10









715 Clinton Place COA Application

1. Applicants Name:
Grzegorz Lepkowski
2. Owners Name:
Grzegorz Lepkowski, Joanna Lepkowski
3. Street address and plat if available:
715 Clinton Place, Plat of survey submitted with permit application in the Village files.
4. A brief description and photos of the structure:
The rear addition to the house with similar style, sizes, materials and texture. Current garage not matching the style of the house, replaced with a garage with the same style and finishes with the house.





5. A detailed description of the proposed demolition, together with pictorial renditions indicating how the proposed changes will affect the property: The site plan, floor plans and exterior elevation drawings of the proposed addition and garage are attached for your use and review.

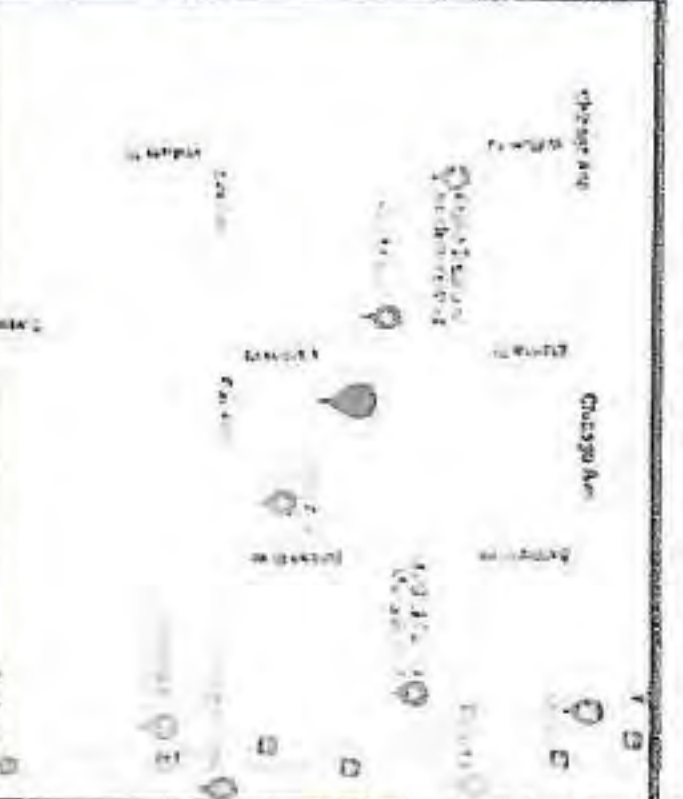
6. Identification of any architect or developer involved in the project:
Rafal Kaczowski, rafalkaczowski@gmail.com , 312-498-8307
Maciej Bojarski bojarski@comcast.net
7. Any information as requested by the Village Administrator or HPC(as of right now this is not applicable)

PONTICELLI & VITO

ATTORNEYS

1480 Renaissance Drive, Suite 209
Park Ridge, Illinois 60068

Phone (847) 803 9911
Fax (847) 803 9915



PROPERTY ADDRESS:

715 CLINTON PLACE, RIVER FOREST, ILLINOIS 60305

SURVEY NUMBER: IL2205.6560

DATE SIGNED: 05/31/22

FIELD WORK DATE: 5/31/2022

REVISION DATE(S):

(REV 1 5/31/2022)

POINTS OF INTEREST

NONE VISIBLE

STATE OF ILLINOIS
COUNTY OF GRUNDY } SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO
THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY
SURVEY, GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Kenneth Kennedy



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

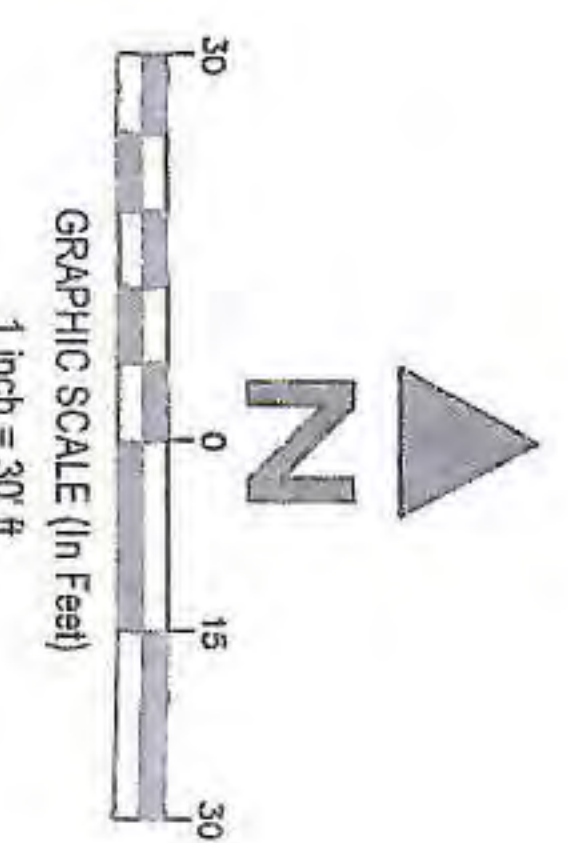
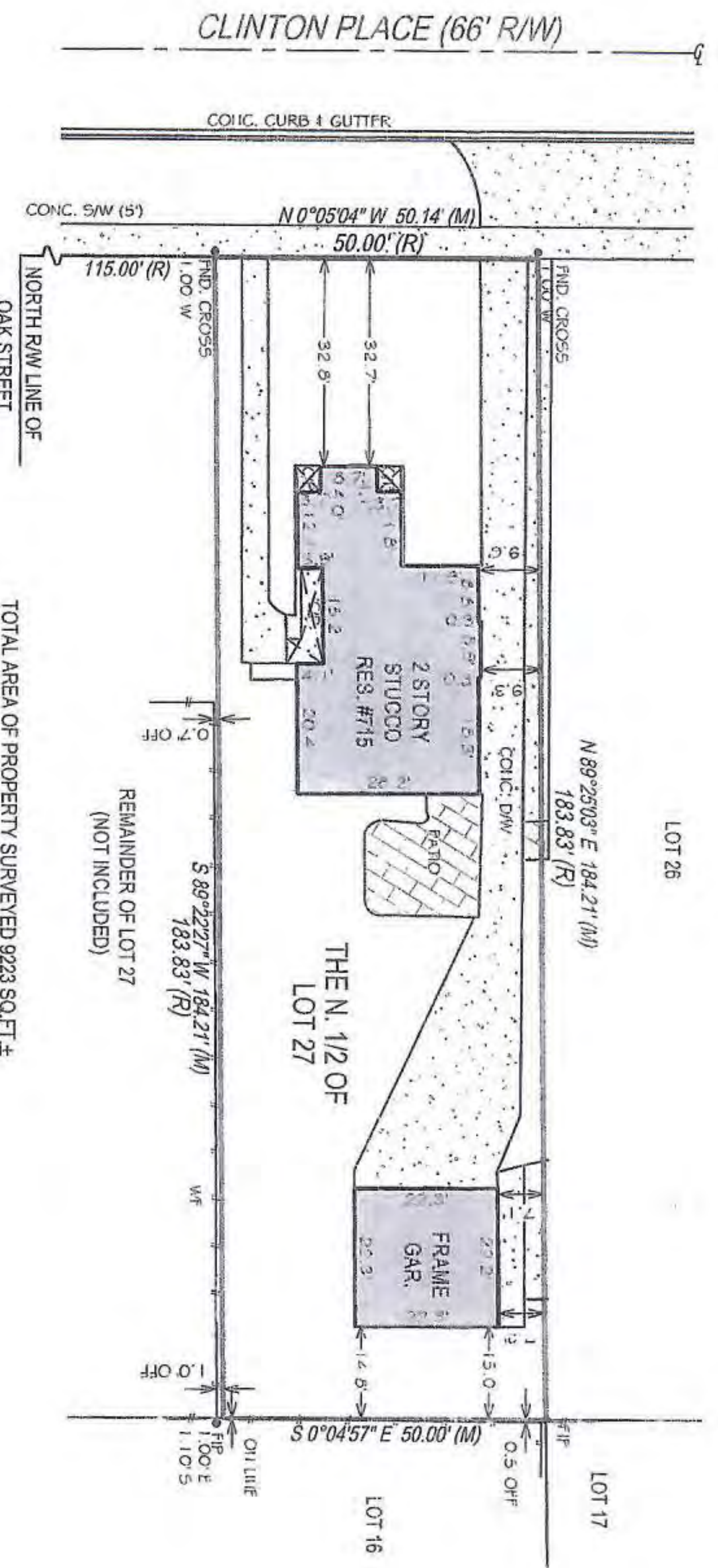


Land Surveyors, LLC

Exacta Land Surveyors, LLC
PLS# 184008059
o. 773.305.4011
316 East Jackson Street | Morris, IL 60450



IL2205.6560
BOUNDARY SURVEY
COOK COUNTY



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

Reviewed for Code Compliance

This review is limited to the submitted scope of work, is based upon the supposition that the plan accurately depicts the intended construction and end-use, that the necessary legal authority has been obtained to construct the project and work is subject to code compliance and field inspection during construction.

By: *Kevin Kamerud* Type of Construction: Not Applicable
Date: 1/30/2025 Occupancy Classification: R-3
Permit #: 24RIV-PRBP-25-0592 Code Edition: 2018 IRC

NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND DETACHED 3 CAR GARAGE

NOTICE TO CONTRACTOR:

1. THE ARCHITECT OF RECORD IS PROVIDING PLANS ONLY. NO OTHER TYPE OF ARCHITECTURAL SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
2. ADMINISTRATION OF THE CONTRACT WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
3. THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT - THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
4. DECISIONS OF THE ARCHITECT REGARDING THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THIS DOCUMENT WILL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
5. THE CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS TO DETERMINE THE SCOPE AND THE INTENT OF THESE DOCUMENTS AND DRAWINGS. THE CONTRACTOR MUST VISIT THE SITE AND BECOME INFORMED OF ALL EXISTING CONDITIONS, DIMENSIONS AND LIMITATIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF ANY DISCREPANCIES OR OMISSIONS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATIONS BEFORE SUBMITTING HIS BID. FAILURE TO GIVE NOTICE OR OBTAIN CLARIFICATION WILL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
6. THE CONTRACTOR MUST FURNISH SKILLED LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES, AND PERFORM ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN A SAFE AND WORKMANLIKE MANNER WITHIN THE OWNER'S SCHEDULE.
7. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS.
8. ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR CONCRETE.
9. ALL MATERIALS AND EQUIPMENT MUST BE INSTALLED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS, AND TO THE BEST INDUSTRY STANDARDS.
10. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS GENERATED BY THE WORK. CLEAN UP IS REQUIRED ON DAILY BASIS.
11. PLUMBER/ELECTRICIAN AND MECHANICAL CONTRACTOR MUST BE REGISTERED WITH THE CITY.
12. COPY OF THE ILLINOIS PLUMBER'S LICENSE SHALL BE PROVIDED TO THE CITY.
13. A LETTER OF INTENT SHALL BE TO THE CITY FROM THE ILLINOIS LICENSED PLUMBER SIGNED AND NOTARIZED WITH A CORPORATE SEAL IF INCORPORATED.
14. COPY OF THE ILLINOIS PLUMBING CONTRACTOR REGISTRATION SHALL BE PROVIDED TO THE CITY.

APPLICABLE CODES:

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2014 ILLINOIS PLUMBING CODE (IPC)
2017 NEC ELECTRICAL CODE
2018 SOLAR ENERGY PROVISIONS
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE

ENERGY CONSERVATION STATEMENT

I CERTIFY THAT I AM REGISTERED ENERGY PROFESSIONAL (REP.) AND I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR

ADDRESS
715 CLINTON PL RIVER FOREST, IL 60305

(x) FULLY COMPLY () NEED NOT COMPLY

WITH THE REQUIREMENTS OF 2018 INTERNATIONAL ENERGY CONSERVATION CODE

SIGNED: *Maciej Bojarski* DATE: 1/28/2025
(Arch. S.E. or P.E.) Illinois License Number: 001-022685
LICENSE EXPIRATION: NOV. 2026

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF CONFORM TO THE CURRENT EDITION OF THE VILLAGE OF RIVER FOREST BUILDING AND ZONING CODE.

SIGNED: *Maciej Bojarski* DATE: 1/28/2025
(Arch. S.E. or P.E.) Illinois License Number: 001-022685
LICENSE EXPIRATION: NOV. 2026

DRAWING INDEX

SHEET NAME	Sheet Number
COVER	A100
DEMO PLAN	A101
DEMO PLAN	A102
BSMT/ CRAWL SPACE & 1ST FLOOR PLAN	A103
2ND FLOOR PLAN & ROOF RAFTER	A104
ELEVATION	A201
ELEVATION	A202
SECTION	A301
DETAILS	A302
TJI DETAILS	A303
GARAGE	A401
GARAGE	A402
ELECTRICAL	E101
ELECTRICAL	E102
MECHANICAL	M101
MECHANICAL	M102
PLUMBING	P101

MACIEJ BOJARSKI
ARCHITECT OF RECORD
ILLINOIS REG. NO. 001-022685
EXP. 11/30/2026
TEL: 312-498-8307
bojarski@comcast.net

NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND DETACHED 3 CAR GARAGE

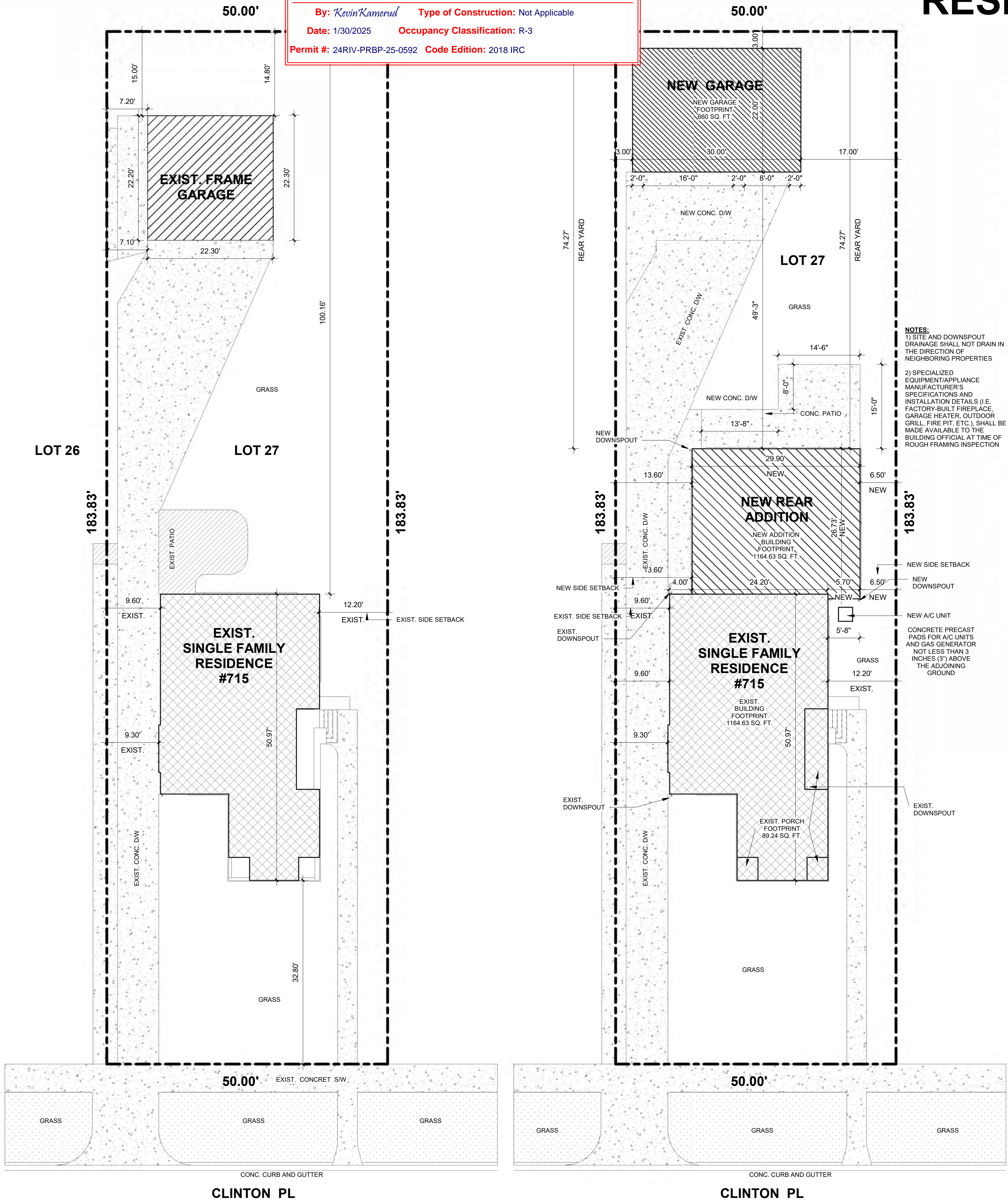
715 Clinton Pl,
River Forest, IL 60305

DATE	REMARKS
1/28/2025	REV.1

MACIEJ BOJARSKI
ARCHITECT
ILLINOIS REG. NO. 001-022685
EXP. NOV. 2026

SHEET No.

A100



EXIST. SITE PLAN
1" = 10'-0"

NEW SITE PLAN
1" = 10'-0"

GENERAL DEMOLITION NOTES

PRIOR TO DEMOLITIONS OF WALLS, COLUMNS, FLOORS AND ROOFS.THE CONTRACTOR MUST VERIFY EXISTING STRUCTURAL CONDITIONS AND LOCATION OF ALL BEARING WALLS. NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS THAT ARE CONTRARY TO THESE DRAWINGS. PROPERLY SHORE EXISTING STUCTURE WHEN REMOVING COLUMNS, WALLS, FLOORS AND ROOF.

THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR OF OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS SHOWN ON THE REMAINING CONTRACT DOCUMENTS, INCLUDING PLUMBING, HVAC AND ELECTRICAL WORK. PROTECT ALL EXISTING CONSTRUCTION SHOWN TO REMAIN FROM DAMAGE DURING CONSTRUCTION, FOR THE EXTENT OF THE DEMOLITION AND MODIFICATION.

THE CONTRACTOR WILL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, (UNLESS A SEQUENCE IS SPECIFIED BY THE OWNER OR CONTRACT DOCUMENTS) AND PROCEDURES, AND FOR OR CONTRACT DOCUMENTS) AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.

ALL LABOR, MATERIALS AND CONSTRUCTION MEANS AND METHODS SHALL COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA)

THE CONTRACTOR WILL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIAL AND RUBBISH. AT THE COMPLETION OF THE WORK UNDER EACH PHASE HE MUST REMOVE FROM THE PREMISES ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS AND LEAVE THE AREAS BROOM CLEAN. SITE BURNING WILL NOT BE ALLOWED

THE CONTRACTOR WILLLL PERFORM DEMOLITION IN A MANNER THAT WILL PROTECT EXISTING CONSTRUCTION, INCLUDING MECHANICAL, ELECTRICAL, PLUMBING WORK, ETC. THAT IS TO REMAIN AND/ OR BE REUSED. ALL ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED. SALVAGED SHALL BE CAREFULLY REMOVED.

INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BASED ON EARLIER DOCUMENTATION AND FIELD VERIFICATION OF APPARENT ITEMS.THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE PLANS AND INFORMATION CONTAINED HEREIN. THE ARCHITECT MUST BE NOTIFIED OF ANY LATENT AND UNFORESEEN CONDITIONS THAT MAY ADVERSELY AFFECT THE PROGRESS OF WORK. SECURE ANY DAMAGED AREAS AS REQUIRED TO MAINTAIN A SAFE OCCUR. ENVIRONMENT FOR ADDITIONAL EVALUATION AND REMEDIAL WORK TO DEMOLITION DESCRIBED FOR THE EXISTING FACILITY AND SYSTEMS CANNOT POSSIBLY CONVEY ALL THE ELEMENTS OF THE DEMOLITION WORK. THE INTENT OF THE DEMOLITION NOTES CONTAINED HEREIN IS TO CONVEY THE MAJOR ITEMS TO BE REMOVED. THE NOTES ALSO IMPLY THAT ALL MINOR ITEMS COINCIDENT WITH A MAJOR ITEM BE REMOVED. THUS, THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE MINIMUM LIMITS AND NOT THE ENTIRE SCOPE OF WORK.

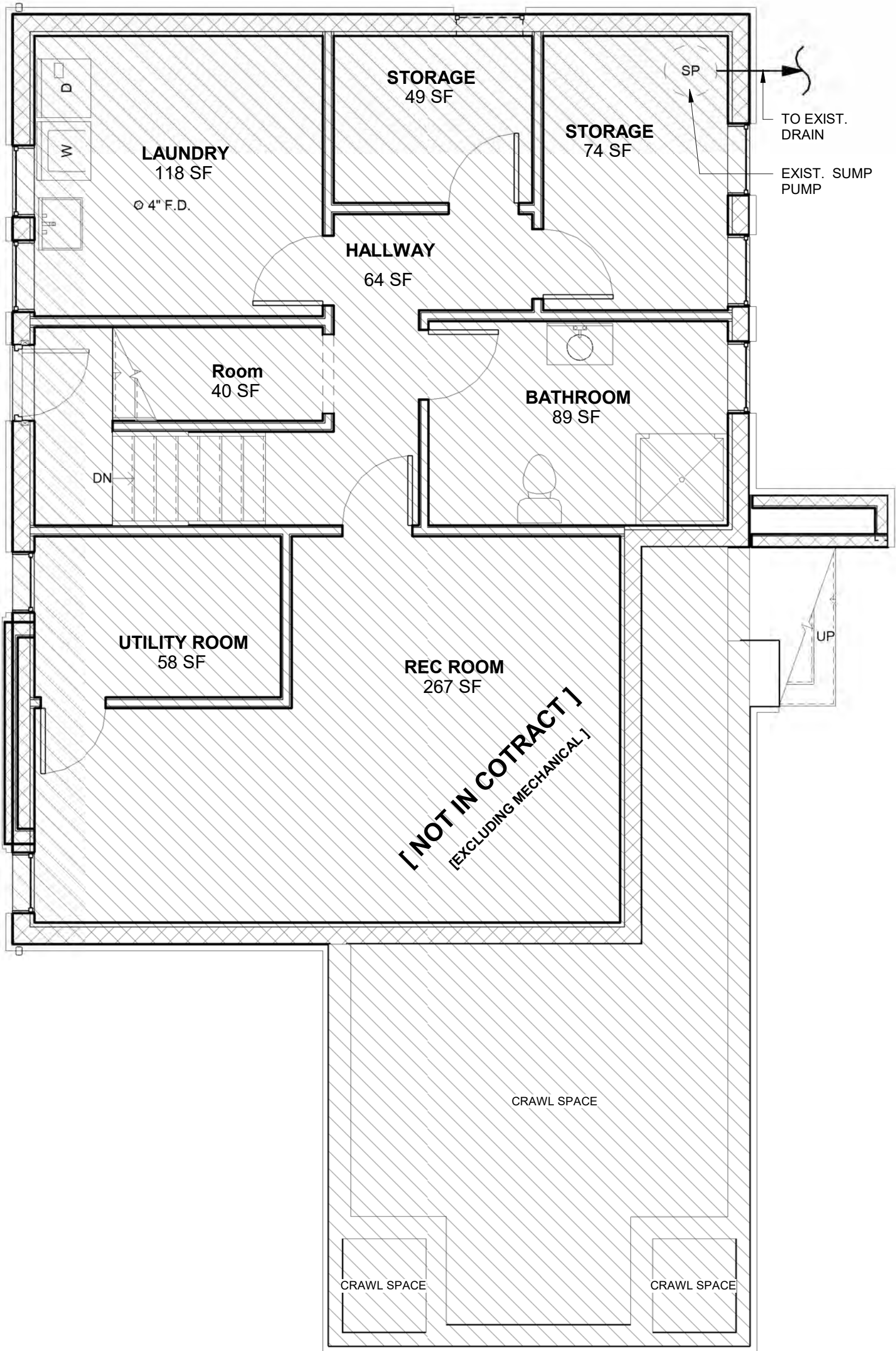
NOTE:
ALL FIRE BURNT OR CHARRED WOOD FRAMING MEMBERS WILL BE REMOVED AND REPLACED.
PROVIDE TEMPORARY SUPPORT AS NEEDED

DEMO WALL LEGEND:

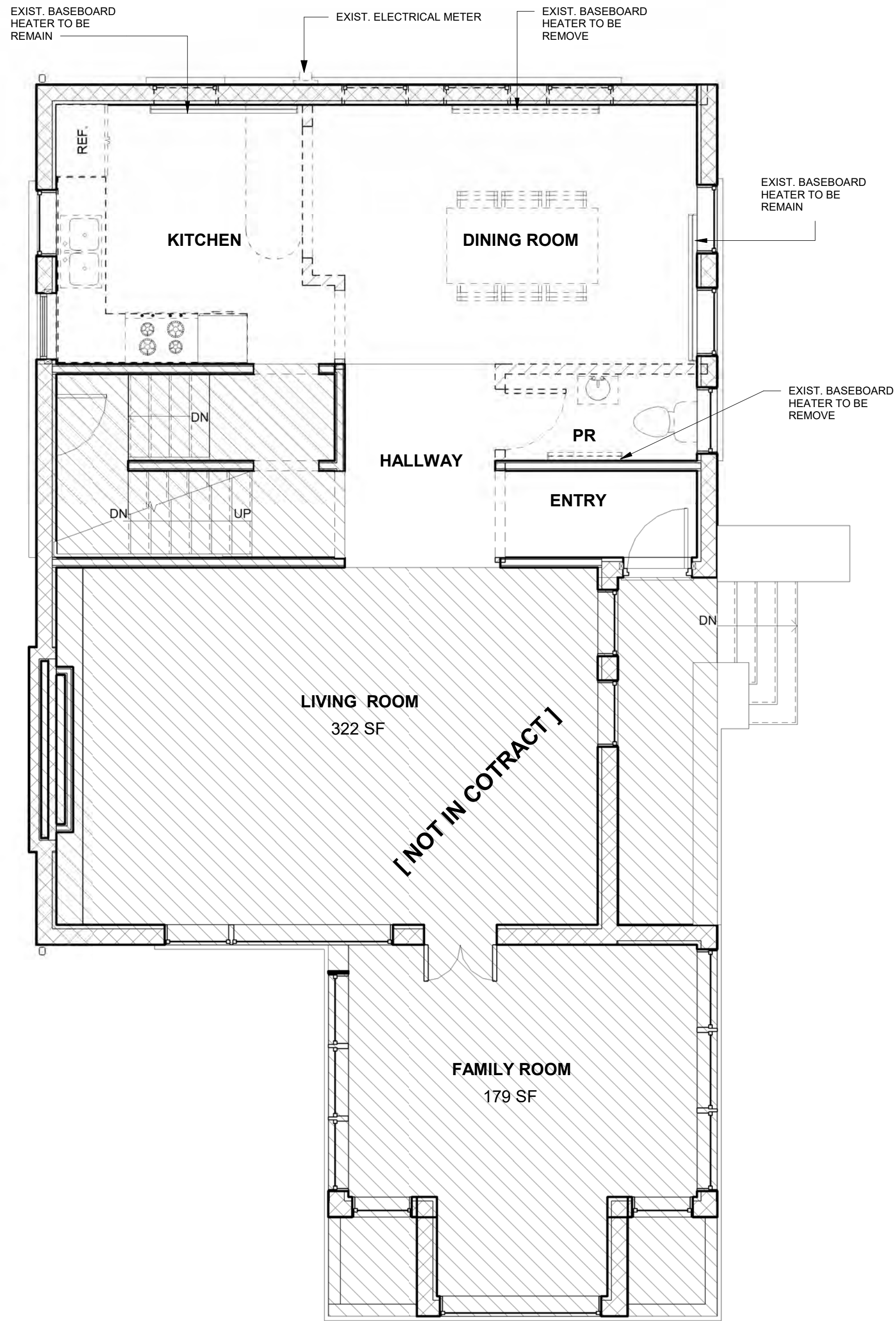
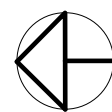
- REMOVED FINISHES
REMAIN THE FRAME
- EXIST. EXTERIOR WALL
& REMOVED FINISHES
- REMOVED WALL

DEMO KEYNOTES

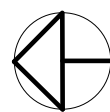
D1	DEMO ALL
D2	DEMO ALL FINISHES TO EXPOSE FRAMING
NOTE: IDENTIFY AND REPLACE CHARRED FRAMING AS NECESSARY	



1 EXIST. BASEMENT
1/4" = 1'-0"



2 1ST FL DEMO
1/4" = 1'-0"



Reviewed for
Building Code
Compliance

M A C I E J
B O J A R S K I
ARCHITECT OF
R E C O R D
ILLINOIS REG. NO.
0 0 1 - 0 2 2 6 8 5
EXP.11/30/2026
TEL:3 1 2-4 9 8- 8 3 0 7
bojarski@comcast.net

NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
DETACHED 3 CAR GARAGE

715 Clinton Pl ,
River Forest, IL 60305

DATE	REMARKS
1/28/2025	REV.1



EXP-NOV.2026

SHEET
No.

A101

1.28.25
REV.

MACIEJ
BOJARSKI
ARCHITECT OF
RECORD
ILLINOIS REG. NO.
001-022685
EXP.11/30/2026
TEL:312-498-8307
bojarski@comcast.net

NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
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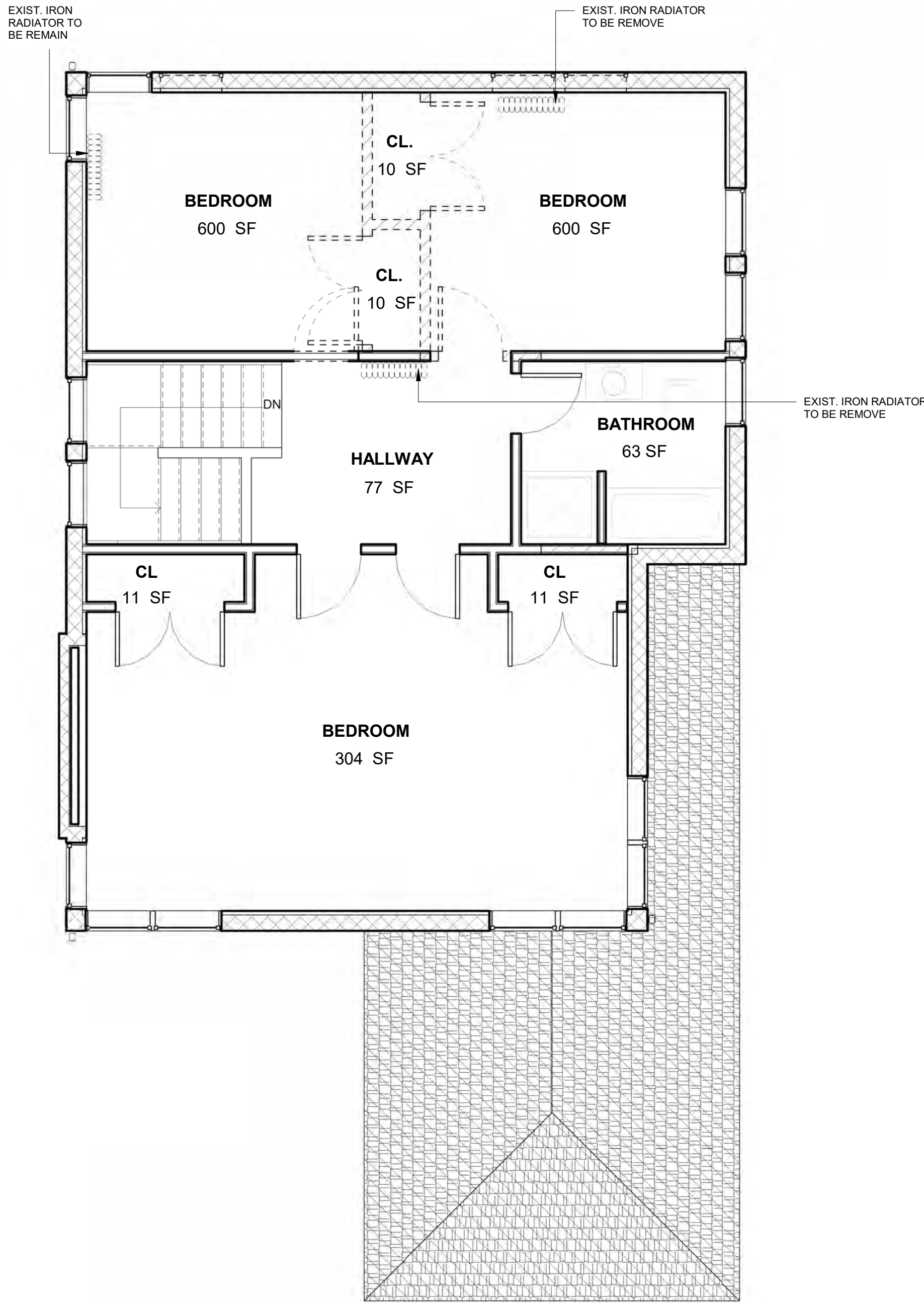
DATE	REMARKS
1/28/2025	REV.1



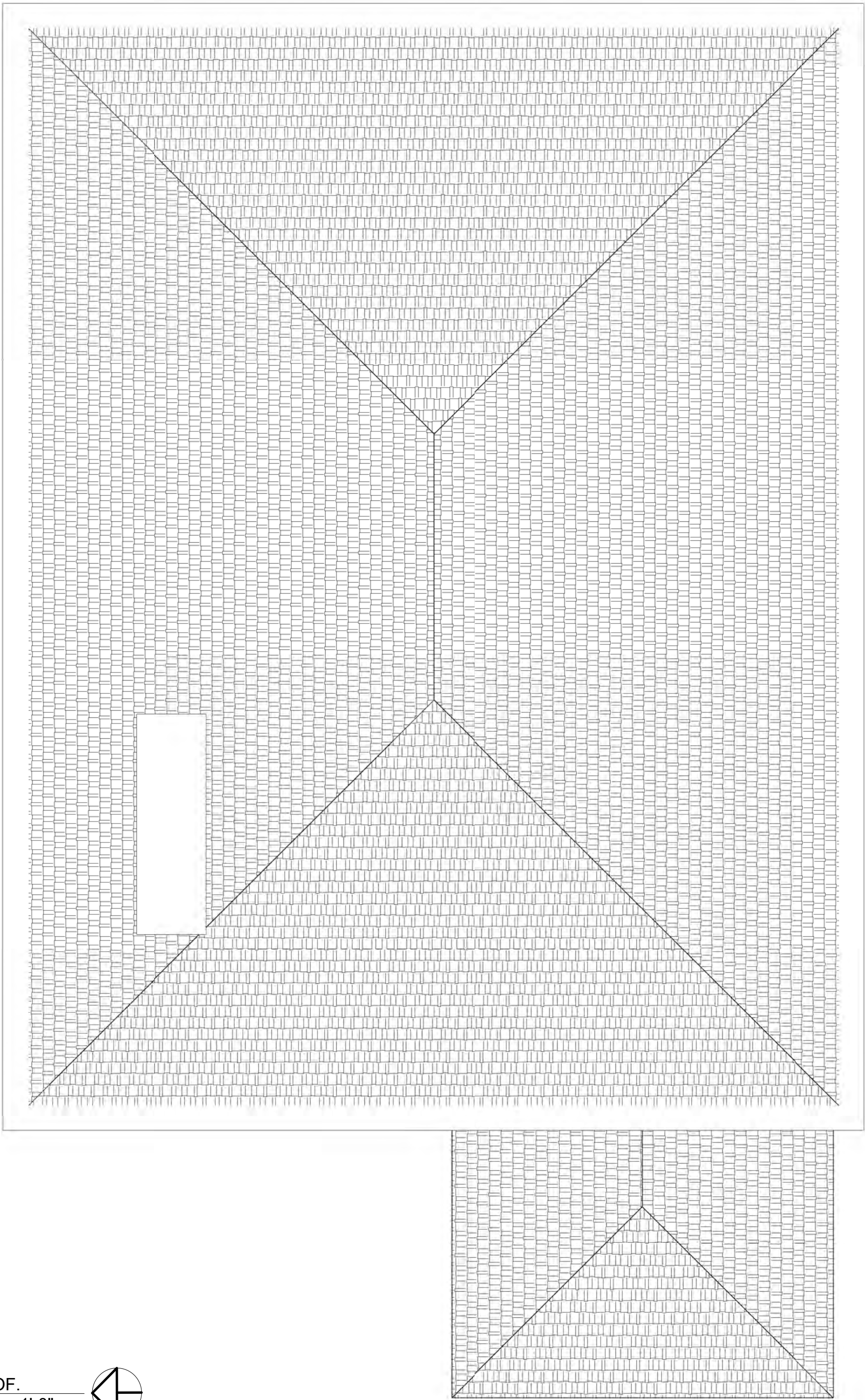
EXP-NOV.2026

SHEET
No.

A102



2 ROOF.
1/4" = 1'-0"



1 2ND FL DEMO
1/4" = 1'-0"



1 1.28.25
REV.

ATTIC CEILING JOIST SPANS FOR COMMON LUMBER SPECIES
(UNINHABITABLE ATTICS WITH LIMITED STORAGE,
LIVE LOAD = 20 PSF, L/Δ = 240)

2X8 CEILING JOIST SOUTHERN PINE#1 @ 12" O.C.
MAX. SPAN 20'-5"

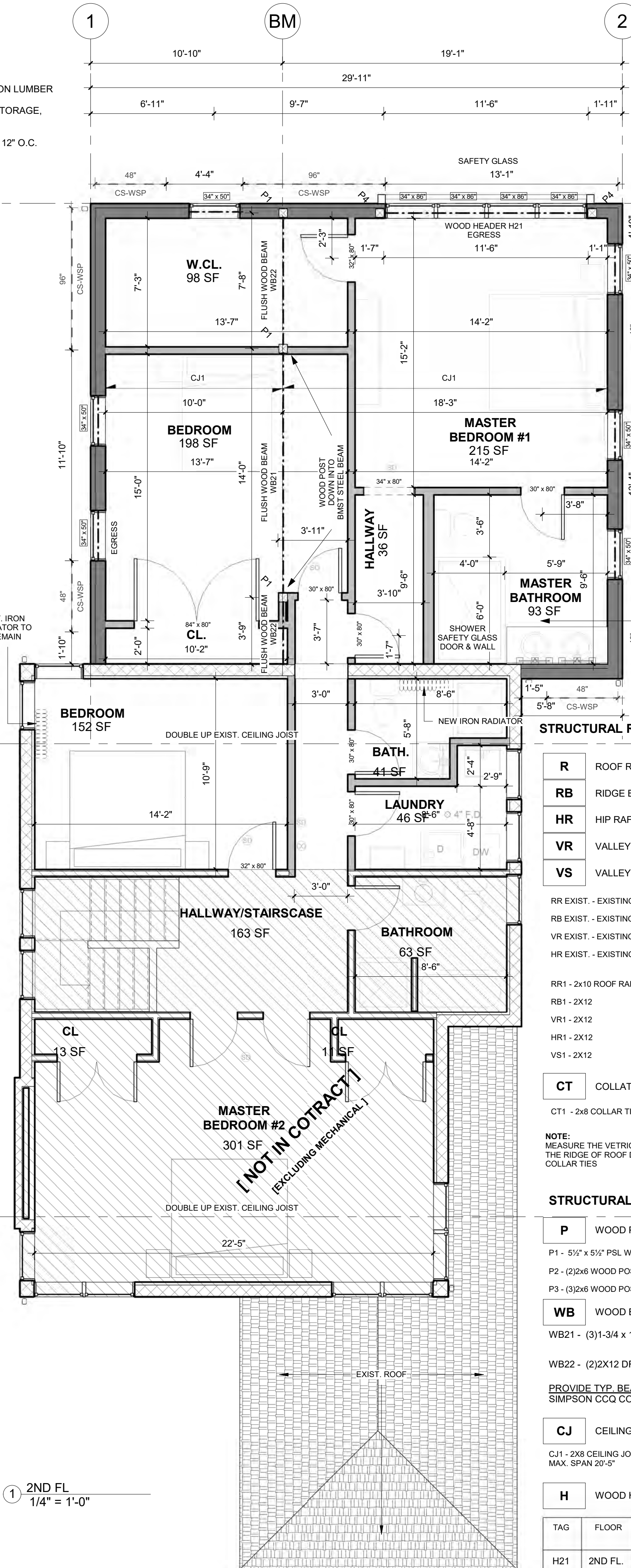
A

NOTE:
WHERE EXISTING EXTERIOR
WALLS ARE STRIPPED DOWN TO
THE EXISTING STUDS, OR WHERE
ANY EXTERIOR WALL STUD
CAVITY IS EXPOSED, THE STUD
CAVITIES MUST BE COMPLETELY
FILLED WITH INSULATION.

(ILLINOIS ENERGY CODE [R503.1.1
EXCEPTION (2)]

C2

1 2ND FL.
1/4" = 1'-0"



STRUCTURAL ROOF FRAMING SCHEDULE:

- R** ROOF RAFTER
RB RIDGE BOARD
HR HIP RAFTER
VR VALLEY RAFTER
VS VALLEY SLEEPER

RR EXIST. - EXISTING TO REMAIN 2X4 @ 16" O.C.
RB EXIST. - EXISTING TO REMAIN
VR EXIST. - EXISTING TO REMAIN
HR EXIST. - EXISTING TO REMAIN

RR1 - 2x10 ROOF RAFTER DF No.2 @ 16" O.C.
RB1 - 2X12
VR1 - 2X12
HR1 - 2X12
VS1 - 2X12

CT COLLAT TIE
CT1 - 2x8 COLLAR TIE AT EACH RAFTER

NOTE:
MEASURE THE VETRICAL DISTANCE FROM TOP OF THE WALL TO
THE RIDGE OF ROOF DIVIDE BY 3 TO DETERMINE THE HEIGHT OF
COLLAR TIES

STRUCTURAL SCHEDULE 2NDFLOOR:

- P** WOOD POST
P1 - 5/8" x 5/8" PSL WOOD POST
P2 - (2)2x6 WOOD POST DF No.2
P3 - (3)2x6 WOOD POST DF No.2
- WB** WOOD BEAM
WB21 - (3)1-3/4 x 14" 2.0E LVL MICROLLAM
WB22 - (2)2X12 DF No.2

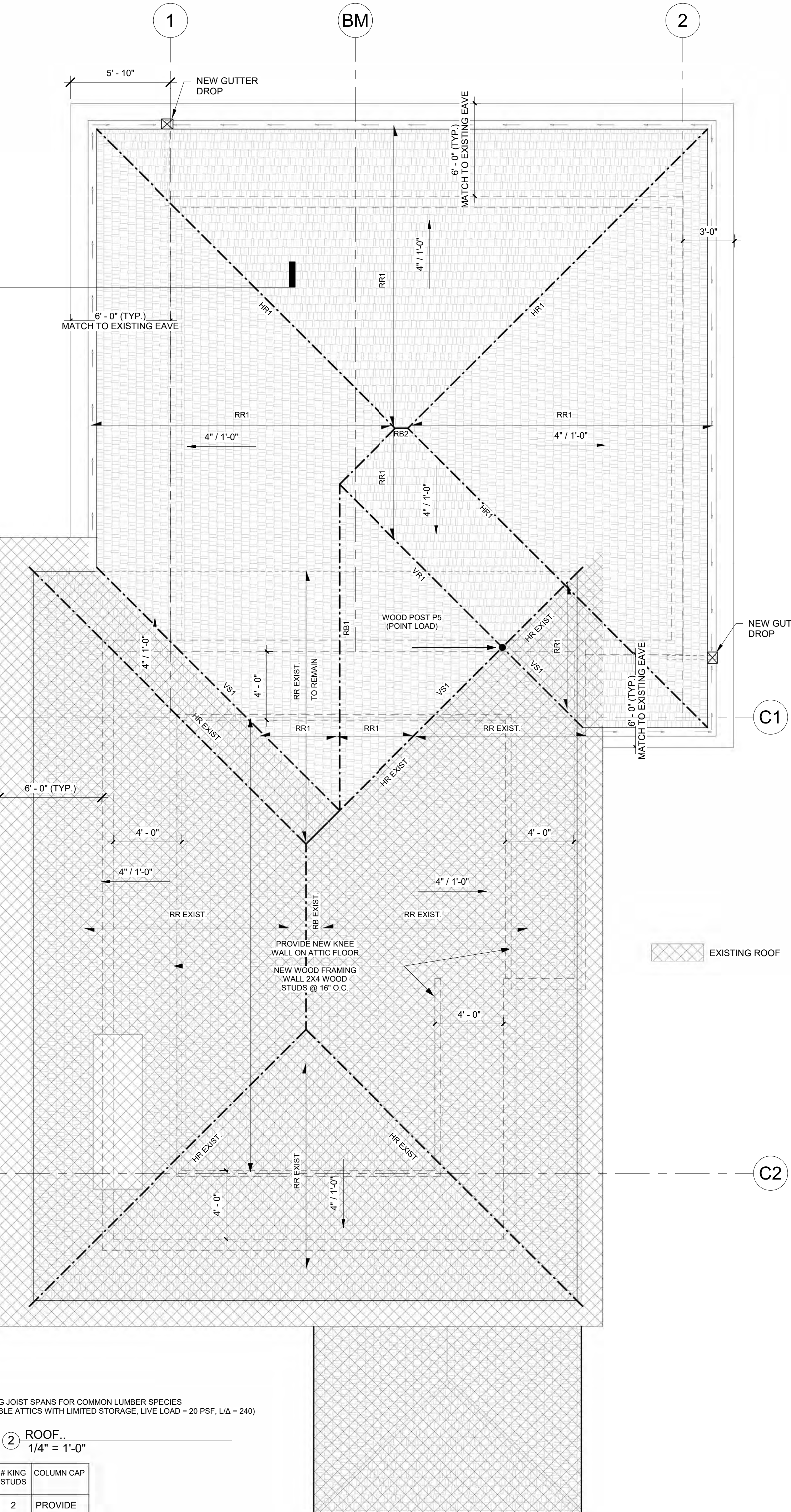
PROVIDE TYP. BEAM TO POST CONNECTION
SIMPSON CCQ COLUMN CAP PER MANUFACTURER

CJ CEILING JOIST
CJ1 - 2X8 CEILING JOIST SOUTHERN PINE#1 @ 12" O.C.
MAX. SPAN 20'-5"

H WOOD HEADER
H1 - 2X8 CEILING JOIST SOUTHERN PINE#1 @ 12" O.C.
MAX. SPAN 20'-5"

TAG	FLOOR	MAX. SPAN	WOOD HEADER	# JACK STUDS	# KING STUDS	COLUMN CAP
H21	2ND FL.		(2) 1-3/4" x 16" 2.0E MICROLLAM LVL	3	2	PROVIDE
TYP.	2ND FL.	6'-0"	(2)2X12 DF No.2	2	2	

PROVIDE TYP. BEAM / HEADER TO POST CONNECTION
SIMPSON CCQ COLUMN CAP PER MANUFACTURER



Reviewed for
Building Code
Compliance

M A C I E J
B O J A R S K I
ARCHITECT OF
R E C O R D
ILLINOIS REG. NO.
0 0 1 - 0 2 2 6 8 5
EXP.11/30/2026
TEL:3 12-4 98- 8 3 0 7
bojarski@comcast.net

NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
DETACHED 3 CAR GARAGE

715 Clinton Pl,
River Forest, IL 60305

DATE	REMARKS
1/28/2025	REV.1



EXP-NOV.2026

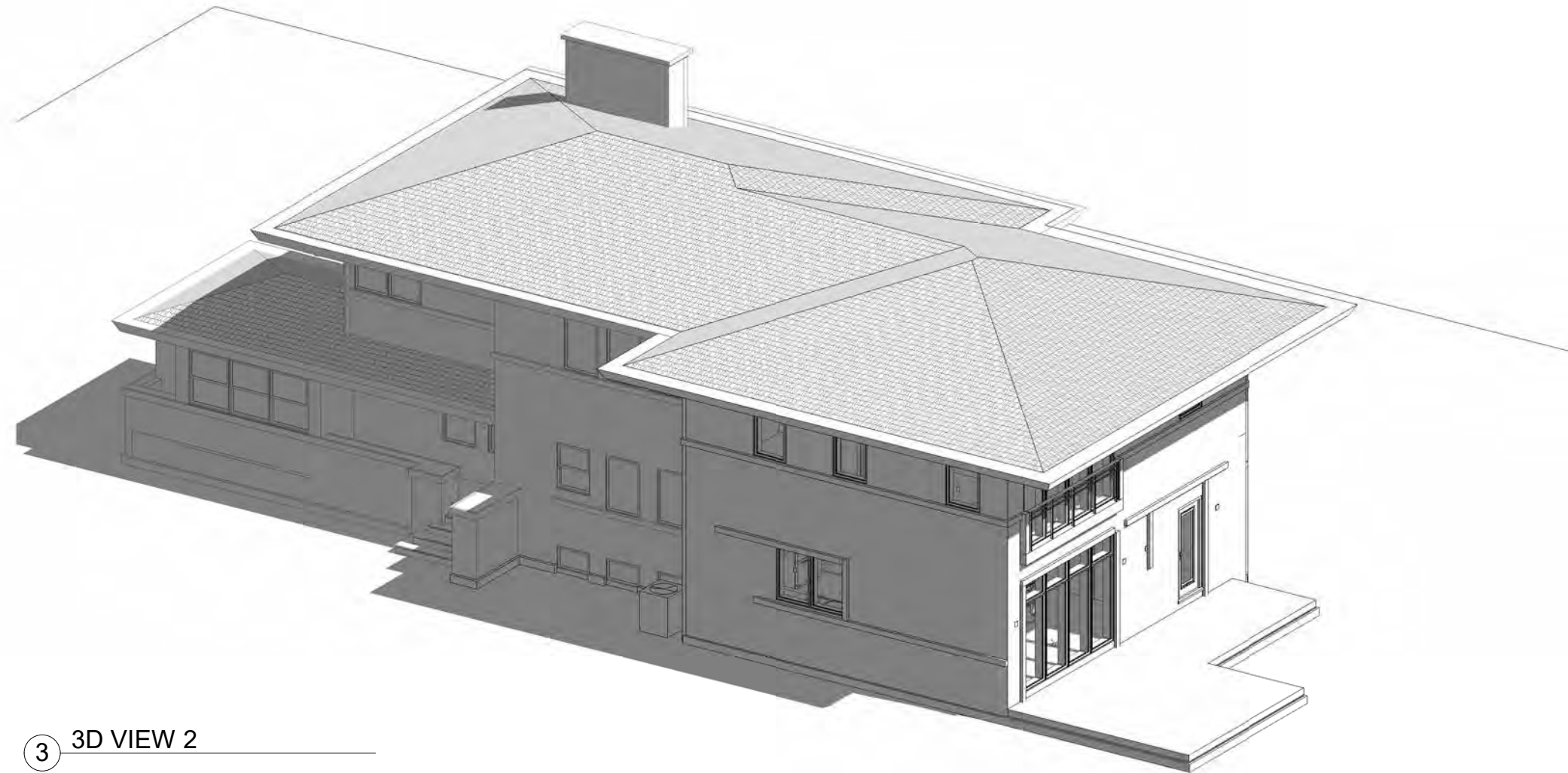
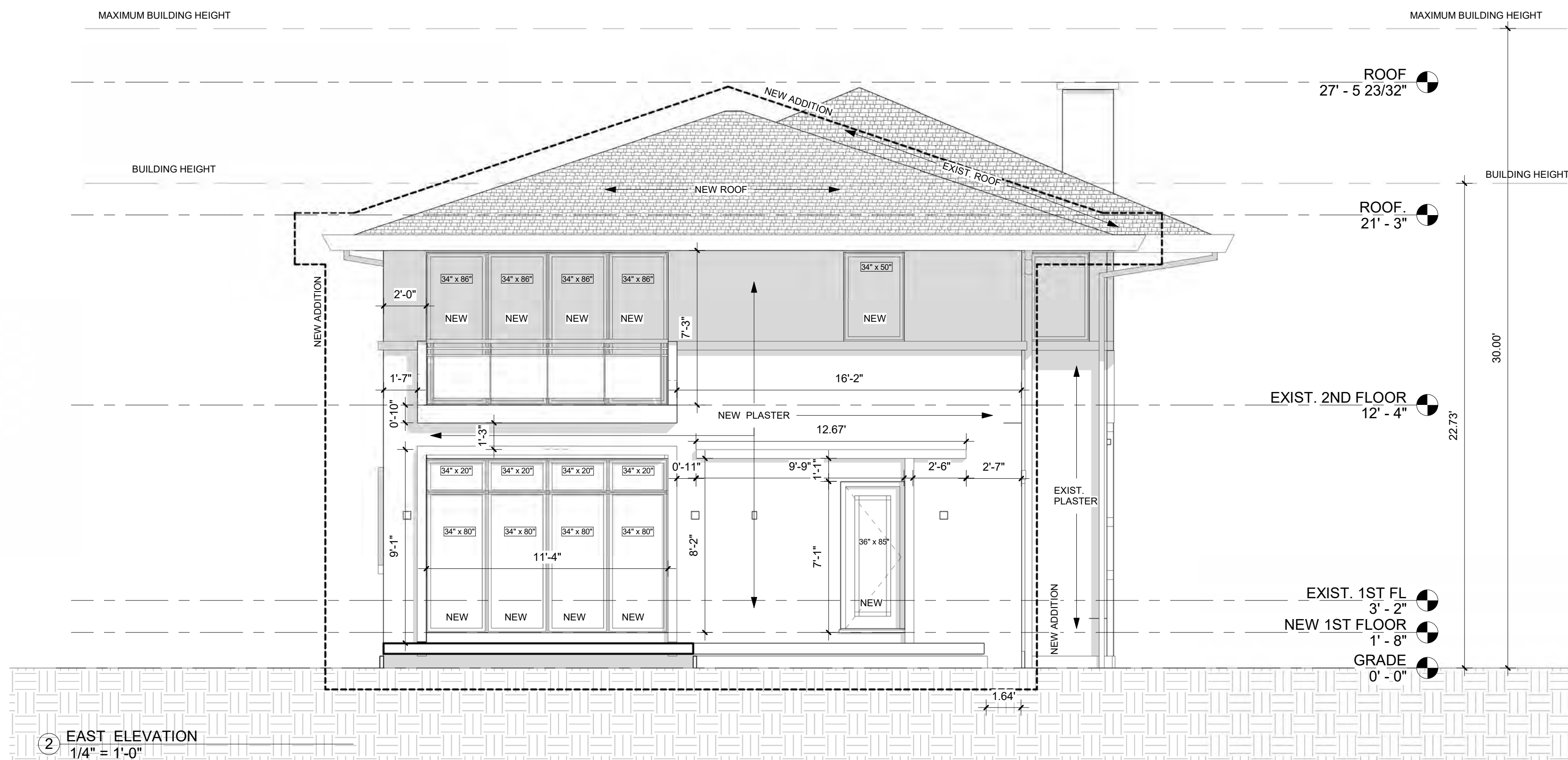
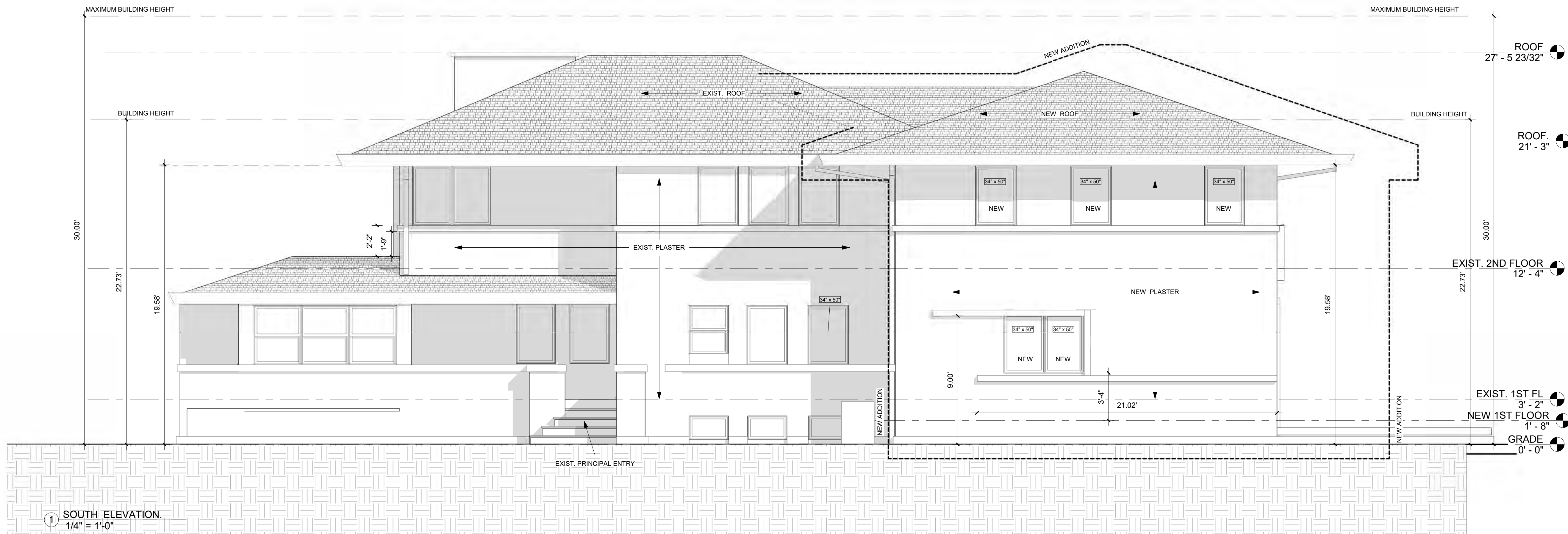
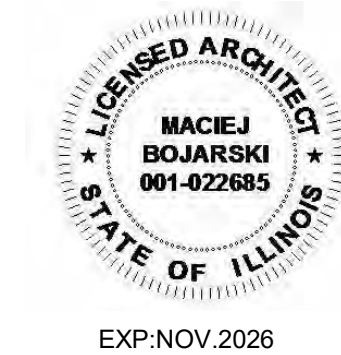
SHEET
No.

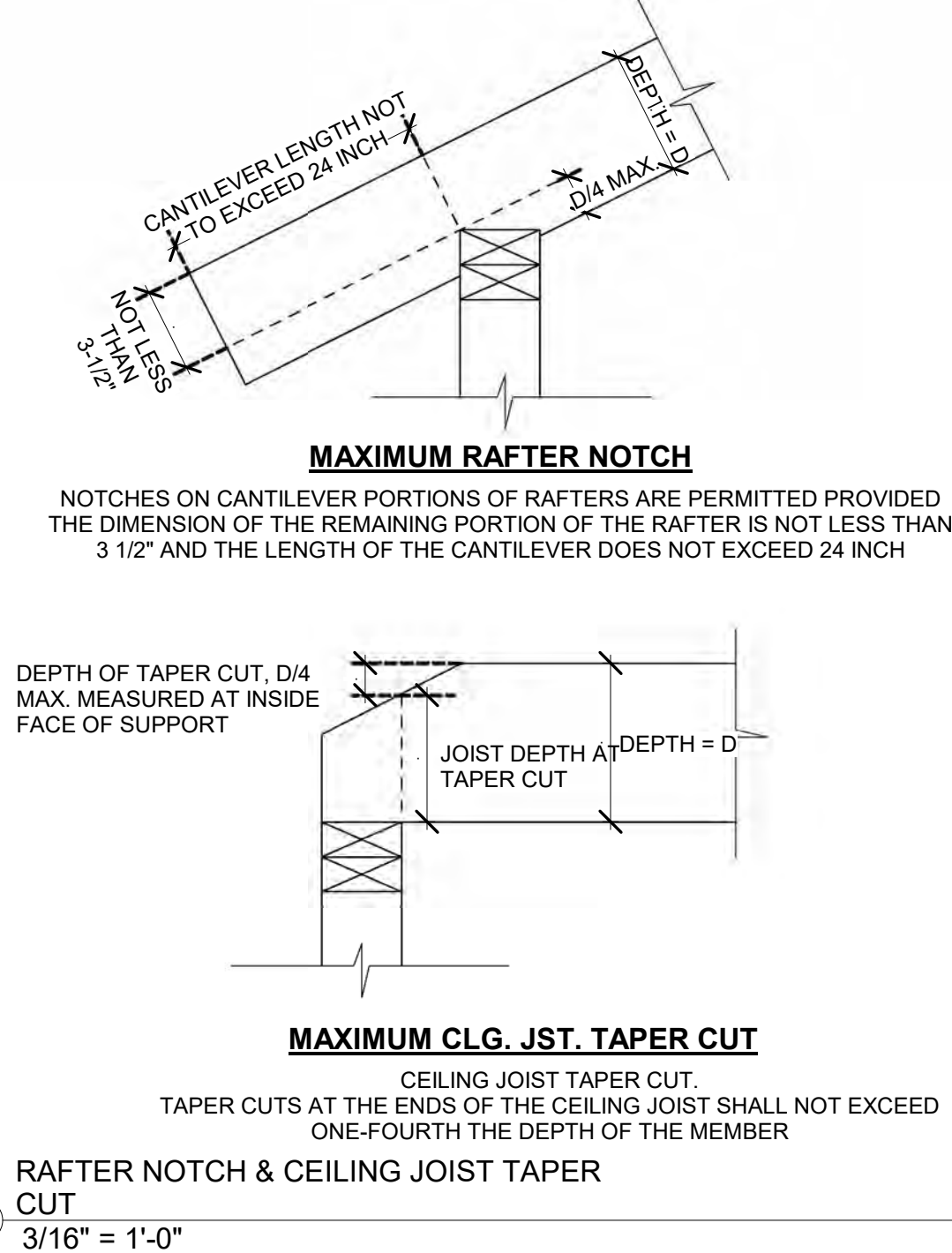
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NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
DETACHED 3 CAR GARAGE

715 Clinton Pl ,
River Forest, IL 60305

DATE	REMARKS
1/28/2025	REV.1



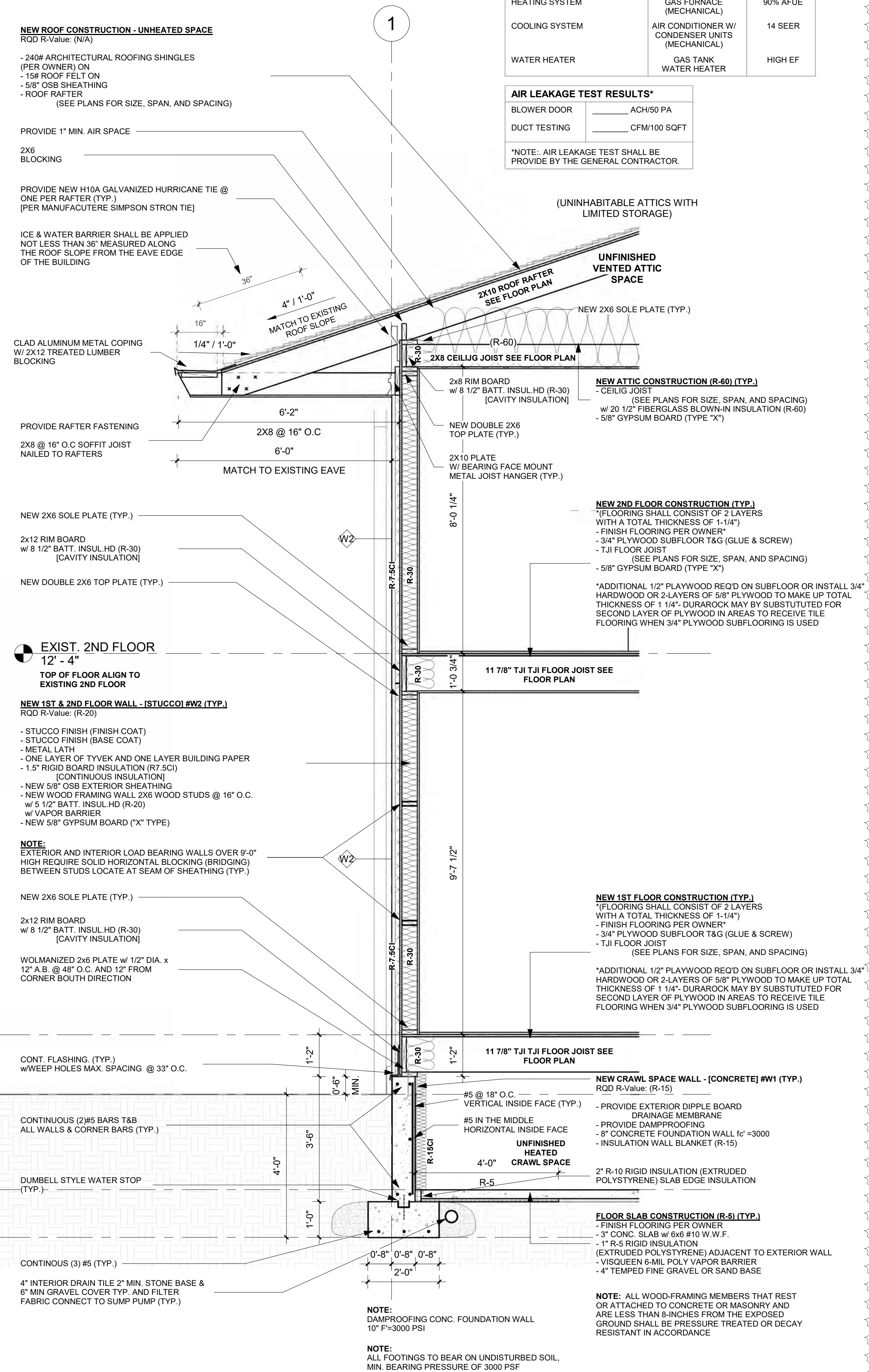


NOTE: ACCESS DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHERSTRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE EQUIVALENT DOOR TO THE SURFACE. ACCESS SHALL BE PROVIDED TO ALL EQUIPMENT THAT PREVENTS DAMAGING THE COMBUSTIBLE INSULATION. A WOOD-FRAMED OR EQUIVALENT Baffle OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED, THE PURPOSE OF WHICH IS TO PREVENT THE LOOSE-FILL INSULATION FROM SPILLING INTO THE LIVING SPACE WHEN THE ATTIC ACCESS IS OPENED, AND TO PROVIDE A PERMANENT MEANS OF MAINTAINING THE INSTALLED R-VALUE OF THE LOOSE-FILL INSULATION.

EXCEPTION: VERTICAL DOORS THAT PROVIDE ACCESS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS OF TABLE R402.1.2 BASED ON THE APPLICABLE CLIMATE ZONE SPECIFIED IN CHAPTER 3.

AIR LEAKAGE TEST RESULTS*	
BLOWER DOOR	_____ ACH/50 PA
DUCT TESTING	_____ CFM/100 SQFT

*NOTE: AIR LEAKAGE TEST SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.



715 Clinton Pl,
River Forest, IL 60305

DATE	REMARKS
1/28/2025	REV.1



EXP:NOV.2026

SPRINKLER SYSTEMS

This section provides information for supporting sprinkler systems with Trus Joist® TJ® joists. The technical information and details provided are intended for use with Trus Joist® products only. For options beyond the scope of this guide, contact your Weyerhaeuser representative.

General Assumptions and Guidelines

- The details in this guide are intended for use with Trus Joist® products only.
- The connections shown in the details will support the sprinkler pipes indicated or the loads shown, provided that the required loads have been included in the original design of the Trus Joist® TJ® joist system.
- The steel pipe hangers and installation methods shown in this guide are in accordance with the following design specifications:
 - NFPA 13 requires that hangers be designed to support 5 times the weight of the water-filled pipe plus 250 lbs at each point of piping support. Standard ferrous hardware referred to in NFPA 13 (such as U-bolts, eye rods, and steel trapezes) or accepted proprietary hardware are the responsibility of others.
 - NFPA 13 requires that sprinkler piping be substantially supported from the building structure, which must support the added load of the water-filled pipe plus a minimum of 250 lbs applied at the point of hanging. Fasteners (such as lag screws and machine bolts) and structural wood hanger blocks are designed to support the weight of the water-filled pipe plus a temporary 250 lb load using values from the NDS®.
- Load holes and size limitations for fasteners are to be in accordance with the fastener information below and the applicable requirements of the NFPA 13/13R.
- All wood hanger blocks are to be minimum No. 2 grade or equivalent.

- For allowable holes in the webs of TJ® joists, see tables on page 16. Tables assume uniformly loaded joists, for other loading conditions and hole sizes, contact your Weyerhaeuser representative.
- The seismic bracing shown on sprinkler details S50-S53 (on pages 22 and 23) require that the system designer specify the frequency of the bracing.
- Pipe sizes shown in steel pipe details assume pipes are supported at 15' on-center. Pipe sizes shown on CPVC details assume pipes are supported at the spacing shown in CPVC table below. Refer to NFPA for actual spacing limitations.

Pipe Diameter	2"	2½"	3"	3½"	4"	5"	6"
Load (lbs)	77	118	162	202	245	352	475

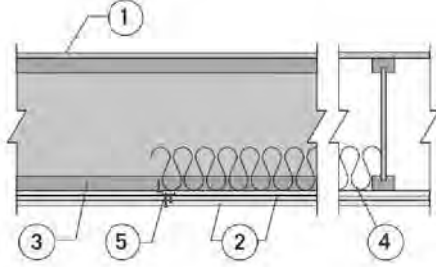
Pipe Diameter	1"	2"	3"
Load (lbs)	5	18	50
Support on-center spacing	0'	8'	10'

ONE-HOUR FLOOR/CEILING, ROOF/CEILING ASSEMBLIES

ICC-ES
ESR-1153 Assembly B
Intertek
WNR/FCA 60-01
WNR/FCA 60-03
WNR/WI 60-12

- 48/24 tongue-and-groove, 33-year-rated sheathing (Exposure 1), glued with a substrate adhesive and nailed.
- Two layers ½" Type X gypsum board complying with ASTM C1396 or two layers of ½" Type C gypsum board.
- TJ® joist
- 3½" thick glass fiber insulation" (optional)
- Resilient channels (required if insulation is used, optional if insulation is omitted)

*See ESR-1153 or Intertek listing for other insulation options.
Note: For information on IIC and STC ratings for Assembly B, see Sound Performance of Trus Joist® TJ® Joist Fire Rated Floor Assemblies, TI-4035.



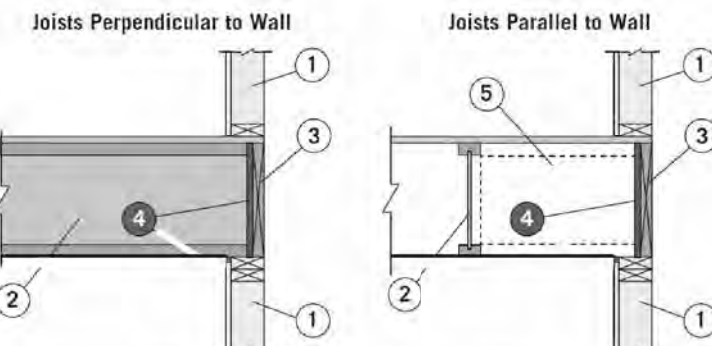
MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - FIRE RATED SPECIFICATION

ONE-HOUR FIRE-RESISTANCE-RATED END-WALL ASSEMBLIES

Multi-Story Application: Single bearing wall with load bearing rim board supporting full design load. This design can also be used for interior walls or for exterior walls rated from the outside, provided that equivalent rim board protection is installed on the opposite side (not shown).

Intertek
WNR/RB 60-05
Fire-Resistance-Rating: 1 hour (from occupancy side)

- One-hour fire-resistance-rated wall construction. Thickness of supporting wall must provide adequate bearing for TJ® joists.
 - Rated or unrated floor/ceiling assembly with TJ® joists running parallel or perpendicular to the wall. Ceiling membrane as required for 48 in board protection.
 - Min. 1¼" thick TJ® Rim Board or TimberStrand® LSL.
 - Rim board protection provided by combination of ceiling membrane and direct-applied protection as detailed in table below.
- Direct-Applied Protection**
Attach direct-applied protection to occupancy side of rim board. Direct-applied protection may be continuous or discontinuous. Discontinuities protective must be notched at the four corners to fit tight to joist flanges and web, or the space between the joist web and direct-applied protection must be filled with a web stiffener (½" gap between top flange and stiffener).
- Attach first layer of gypsum with a min. of four 1½" Type W screws at a max. spacing of 12" o.c., and second layer of gypsum with a min. of four 2" Type W screws at a max. spacing of 12" o.c. Where Type X gypsum is required, Type C may be substituted.
5. Blocking (if required)

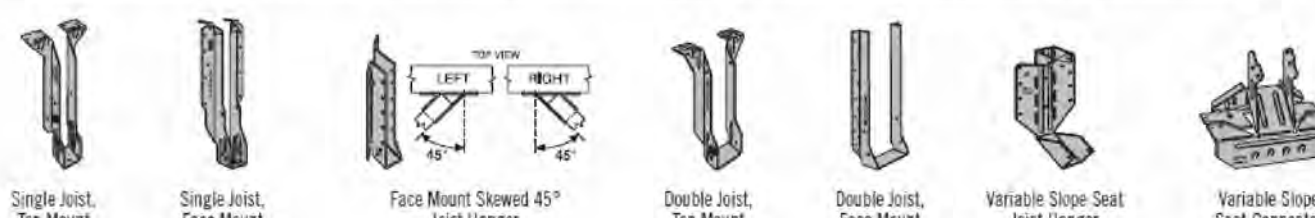


MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - FIRE RATED SPECIFICATION

FRAMING CONNECTORS (USP STRUCTURAL CONNECTORS)



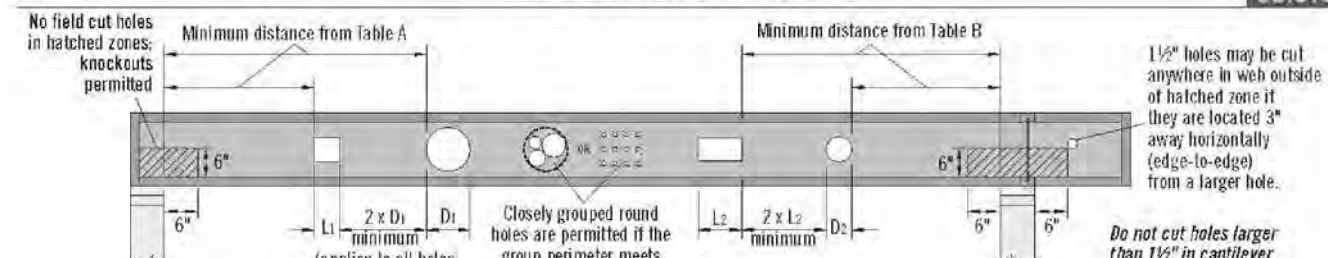
FRAMING CONNECTORS (SIMPSON STRONG-TIE®)



MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - CUT SHEET

SPECIFICATION & FIRE RESISTANCE
PROTECTION - TJ-1
12" = 1'-0"

ALLOWABLE HOLES



Depth	TJ®	Round Hole Size						Square or Rectangular Hole Size					
		2"	3"	4"	5"	6"	8"	2"	3"	4"	5"	6"	8"
90°	110	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
110°	110	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
14°	110	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
18°	110	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"

Depth	TJ®	Round Hole Size						Square or Rectangular Hole Size					
		2"	3"	4"	5"	6"	8"	2"	3"	4"	5"	6"	8"
90°	110	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
110°	110	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
14°	110	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
18°	110	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	210	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	360	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"
	560	2-0"	2-0"	3-0"	3-0"	3-0"	3-0"	1-0"	1-0"	2-0"	2-0"	2-0"	2-0"

Rectangular holes based on measurement of longest side.

How to Use These Tables

- Using Table A, Table B, or both if required, determine the hole shape/size and select the TJ® joist and depth.
- Scan horizontally until you intersect the correct hole size column.
- Measurement shown is minimum distance from edge of hole to support.
- Maintain the required minimum distance from the end and the intermediate or cantilever support.

General Notes

- Holes may be located vertically anywhere within the web. Leave ¼" at web (minimum) at top and bottom of hole.
- Knockouts are located to web at approximately 12" on-center; they do not affect hole placement and may be located in the hatched zone.
- For simple span (5' minimum) uniformly loaded joists meeting the requirements of this guide, use maximum size round hole may be located at the center of the joist span provided that no other holes occur in the joist.
- Distances are based on the maximum uniform loads shown in this guide. For other load conditions or hole configurations, use FEA/WEBS® software or contact your Weyerhaeuser representative.

DO NOT cut or notch flange.

DO NOT cut holes in cantilever reinforcement.

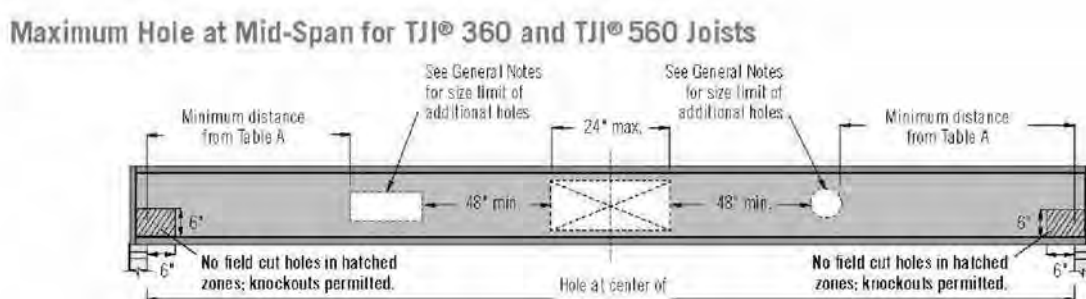
DO NOT install level cut joist below inside face of wall.

DO NOT install hanger overhanging face of plate or beam. Flush bearing plate with inside face of wall or beam.

Trus Joist® TJ® Joist Sizing Guide
TJ-4000 | September 2023

MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - CUT SHEET

ALLOWABLE HOLES



Maximum Hole at Mid-Span for TJ® 360 and TJ® 560 Joists

Depth	TJ®	Maximum Hole Size (Height x Length)
110°	360	8 5/8" x 24"
	560	11" x 24"
14°	360	8 5/8" x 24"
	560	11" x 24"
18°	360	8 5/8" x 24"
	560	11" x 24"

General Notes

- Simple span (5' minimum) uniformly loaded joist only. Not for use in applications that have code mandated concentrated load requirements.
- 24" wide hole (maximum) located at center of span.
- Leave ¼" of web (minimum) at top and bottom of hole.
- Two (2) additional holes may be added to the joist provided:
 - Additional holes are a minimum of 45" edge to edge from maximum hole.
 - Span or rectangular largest dimension is less than or equal to 60% of web depth.
 - Round diameter is less than or equal to 0.75 x web depth.
 - Web depth (in.) = joist depth (in.) - 2 1/8".
- See Table A for proper hole placement from end bearing for additional holes.

WARNING: This product can expose you to chemicals including wood dust, which are known to the State of California to cause cancer, and methanol, which are known to the State of California to cause birth defects or other reproductive harm. Drilling, sawing, sanding or machining wood products can expose you to wood dust. Avoid inhaling wood dust or use a dust mask or other adequate personal protection. For more information go to www.P65Warnings.ca.gov and www.P65Warnings.ca.gov/wood.

Safety data sheets for all Weyerhaeuser wood products can be found on our website at: weyerhaeuser.com/sustainability/environmentalproduct-safety/safety-data-sheets.

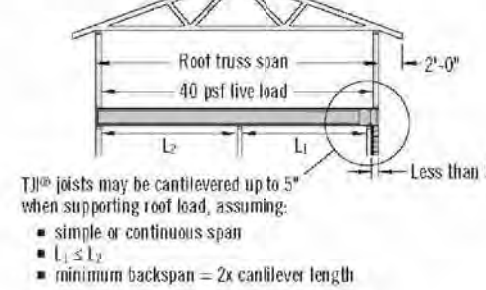
Trus Joist® TJ® Joist Sizing Guide
TJ-4000 | September 2023

MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - CUT SHEET

CANTILEVERS

Cantilevers Less than 5" (Brick Ledge)

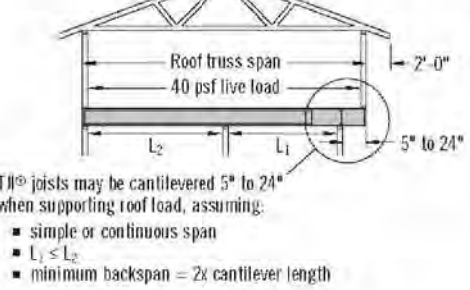
See Section A of cantilever table on page 11



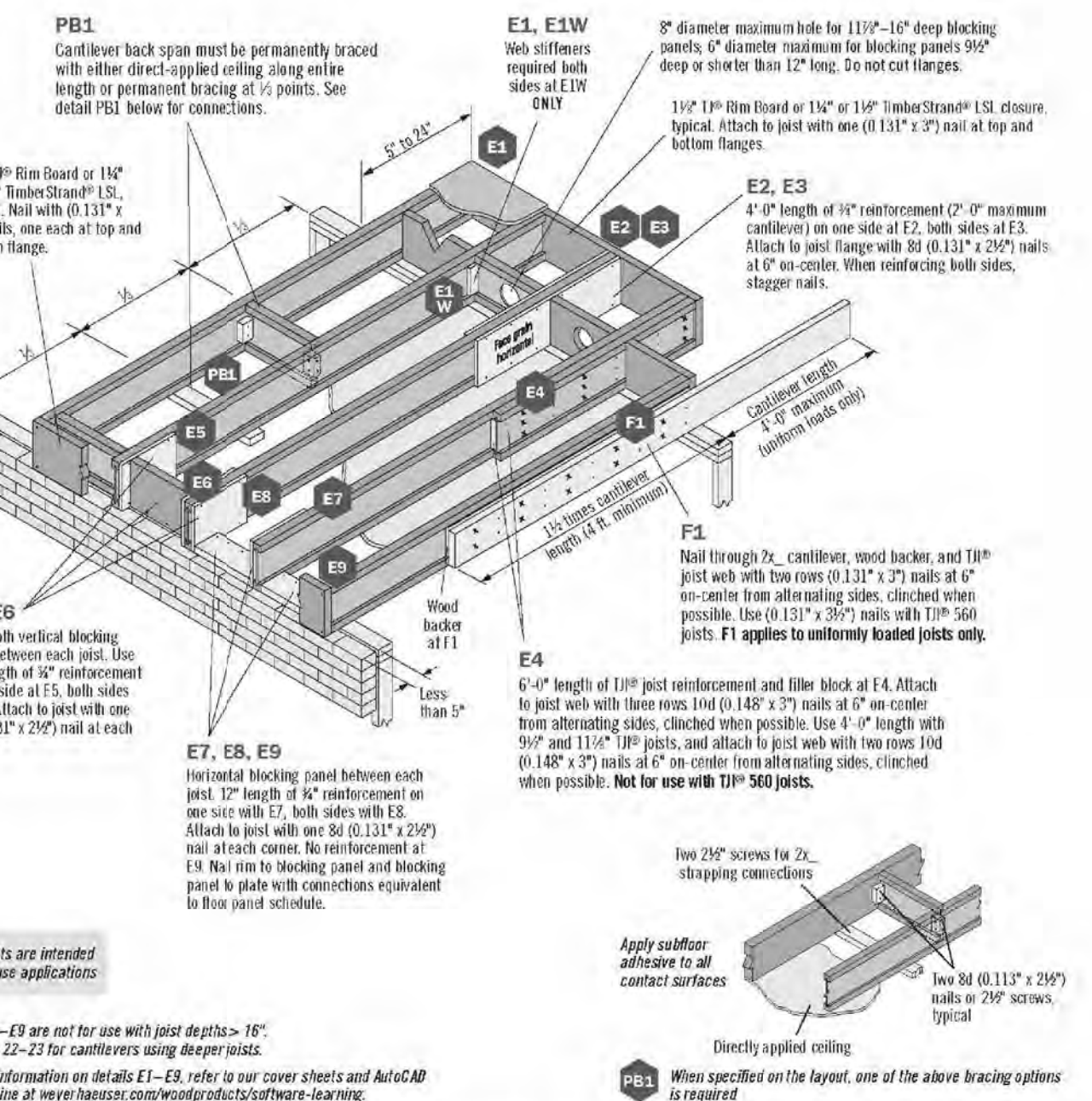
- TJ® joists may be cantilevered up to 5" when supporting roof load, assuming:
- simple or continuous span
 - L1 < L2
 - minimum backspan = 2x cantilever length

Cantilevers 5" to 24"

See Section B of cantilever table on page 11



- TJ® joists may be cantilevered 5" to 24" when supporting roof load, assuming:
- simple or continuous span
 - L1 < L2
 - minimum backspan = 2x cantilever length



TJ® joists are intended for dry-use applications.

Details E2-E9 are not for use with joist depths > 15". See pages 22-23 for cantilevers using deeper joists. For more information on details E1-E9, refer to our cover sheets and AutoCAD details online at weyerhaeuser.com/woodproducts/software-downloading.

Trus Joist® TJ® Joist Sizing Guide
TJ-4000 | September 2023

MORE DETAILS & SPECIFICATION
PER MANUFACTURE TRUS JOIST WEYERHAEUSER. SEE ATTACHED FILE: TJ-1 - CUT SHEET

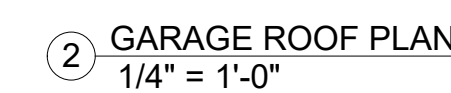
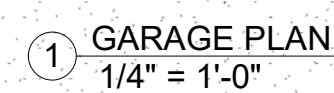
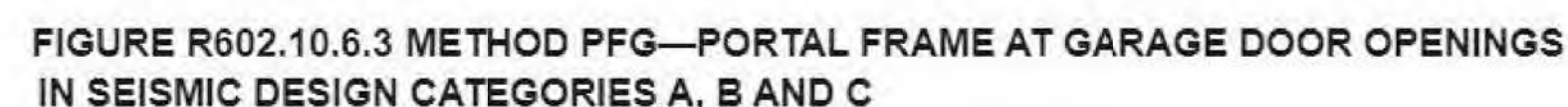
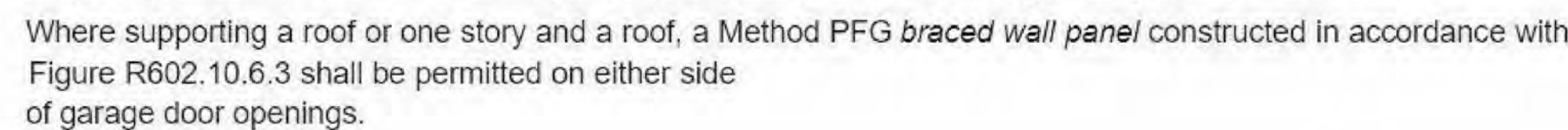
FLOOR SPAN TABLES

L/480 Live Load Deflection

Depth	TJ®	40 PSF Live Load / 10 PSF Dead Load				40 PSF Live Load / 20 PSF Dead Load			
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
90°	210	18'-0"	18'-0"	18'-0"	18'-0"	17'-0"	16'-0"	15'-0"	14'-0"
	360	18'-0"	18'-0"	18'-0"	18'-0"	17'-0"	16'-0"	15'-0"	14'-0"
	560	18'-0"	18'-0"	18'-0"	18'-0"	17'-0"	16'-0"	15'-0"	14'-0"
	560	18'-0"	18'-0"	18'-0"	18'-0"	17'-0"	16'-0"	15'-0"	14'-0"
110°	210	21'-0"	19'-0"	18'-0"	17'-0"	21'-0"	19'-0"	17'-0"	15'-0"
	360	21'-0"	19'-0"	18'-0"	17'-0"	21'-0"	19'-0"	17'-0"	15'-0"
	560	21'-0"	19'-0"	18'-0"	17'-0"	21'-0"	19'-0"	17'-0"	15'-0"
	560	21'-0"	19'-0"	18'-0"	17'-0"	21'-0"	19'-0"	17'-0"	15'-0"
14°	110	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	210	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	360	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	560	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
18°	110	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	210	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	360	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	560	22'-0"	20'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"

L/360 Live Load Deflection (Minimum Criteria per Code)

Depth	TJ®	40 PSF Live Load / 10 PSF Dead Load				40 PSF Live Load / 20 PSF Dead Load			
		12" o.c.	16" o.c.	18.2" o.c.	24" o.c.	12" o.c.	16" o.c.	18.2" o.c.	24" o.c.
90°	210	18'-0"	18'-0"	17'-0"	15'-0"	18'-0"	17'-0"	15'-0"	13'-0"
	360	18'-0"	18'-0"	17'-0"	15'-0"	18'-0"	17'-0"	15'-0"	13'-0"
	560	18'-0"	18'-0"	17'-0"	15'-0"	18'-0"	17'-0"	15'-0"	13'-0"
	560	18'-0"	18'-0"	17'-0"	15'-0"	18'-0"	17'-0"	15'-0"	13'-0"
110°	210	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	360	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	560	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	560	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
14°	110	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	210	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	360	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
	560	23'-0"	21'-0"	19'-0"	17'-0"	22'-0"	19'-0"	17'-0"	15'-0"
18°	110	26'-0"	22'-0"	19'-0"	17'-0"	25'-0"	19'-0"	17'-0"	13'-0"
	210	26'-0"	22'-0"	19'-0"	17'-0"	25'-0"	19'-0"	17'-0"	13'-0"
	360	26'-0"	22'-0"	19'-0"	17'-0"	25'-0"	19'-0"	17'-0"	13'-0"
	560	26'-0"	22'-0"	19'-0"	17'-0"	25'-0"	19'-0"	17'-0"	13'-0"



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NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
DETACHED 3 CAR GARAGE

715 Clinton Pl ,
River Forest, IL 60305

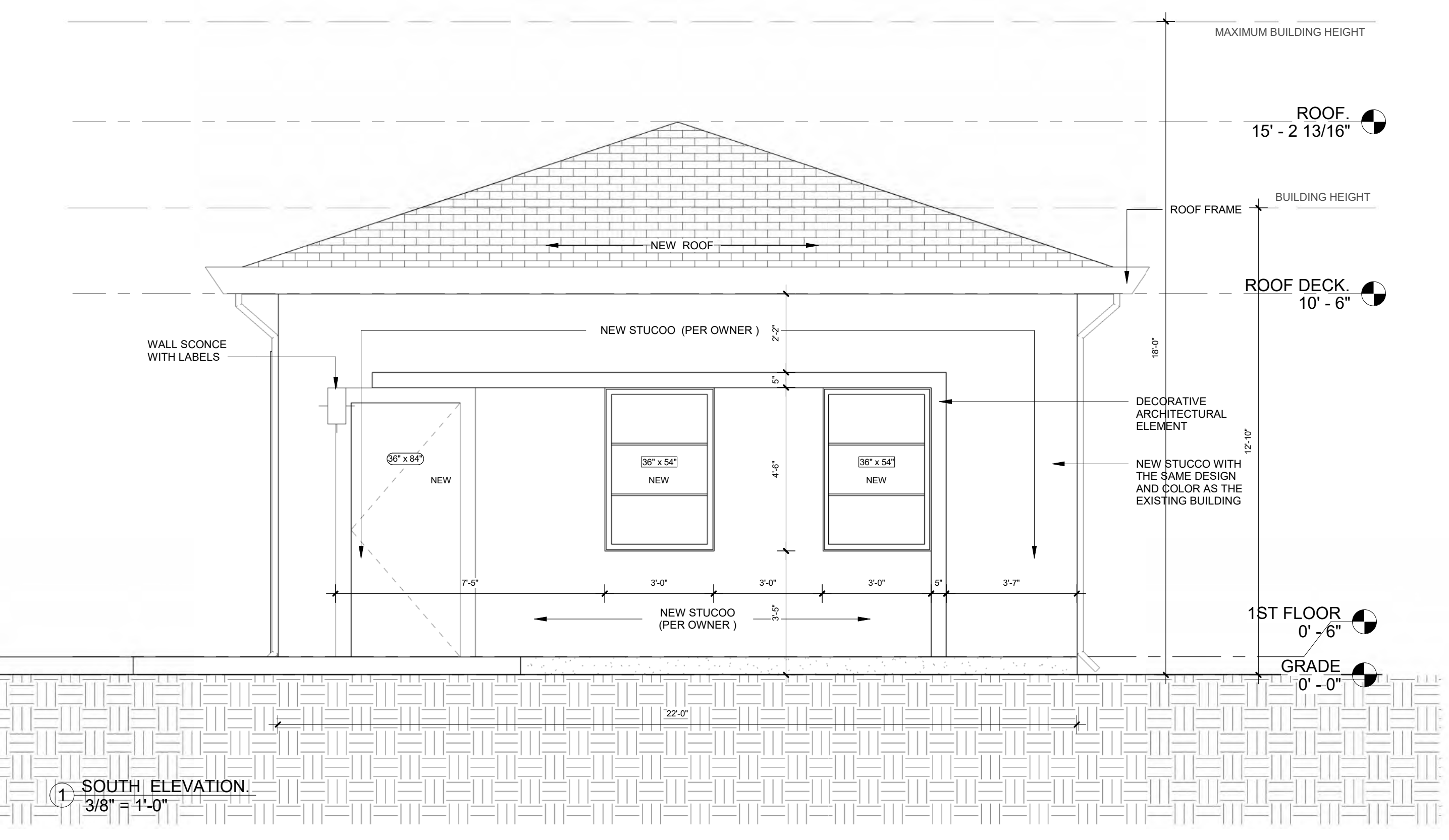
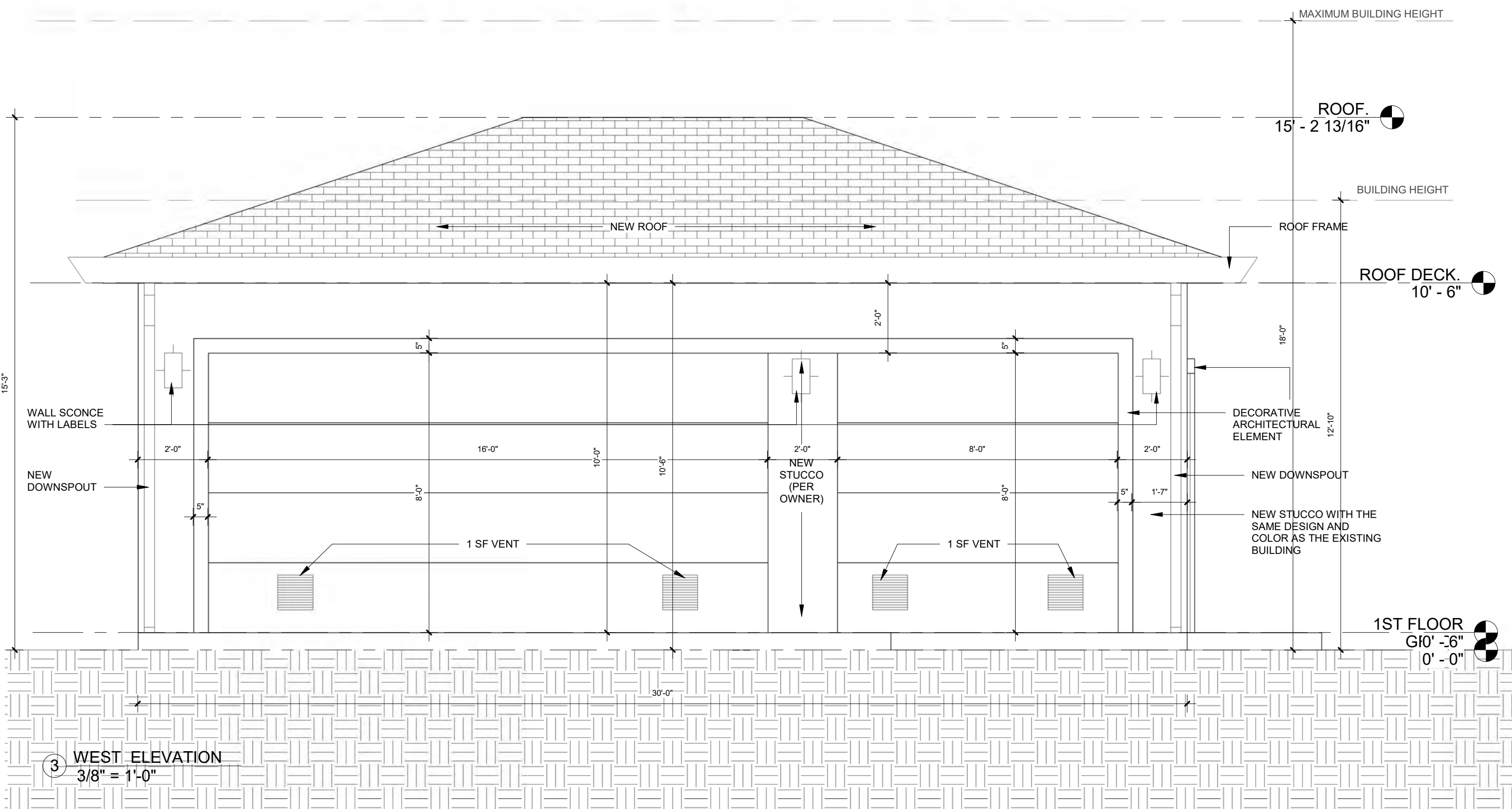
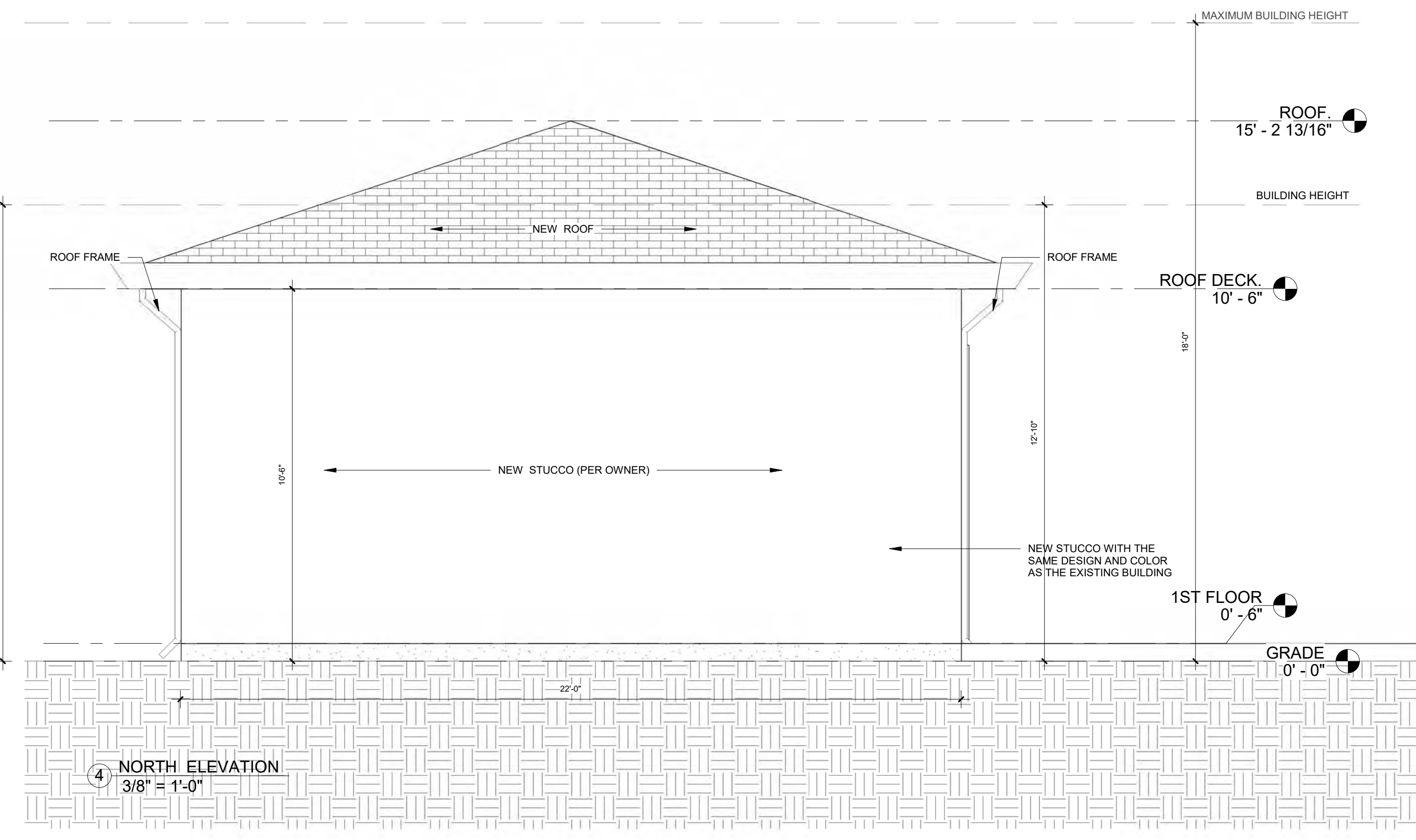
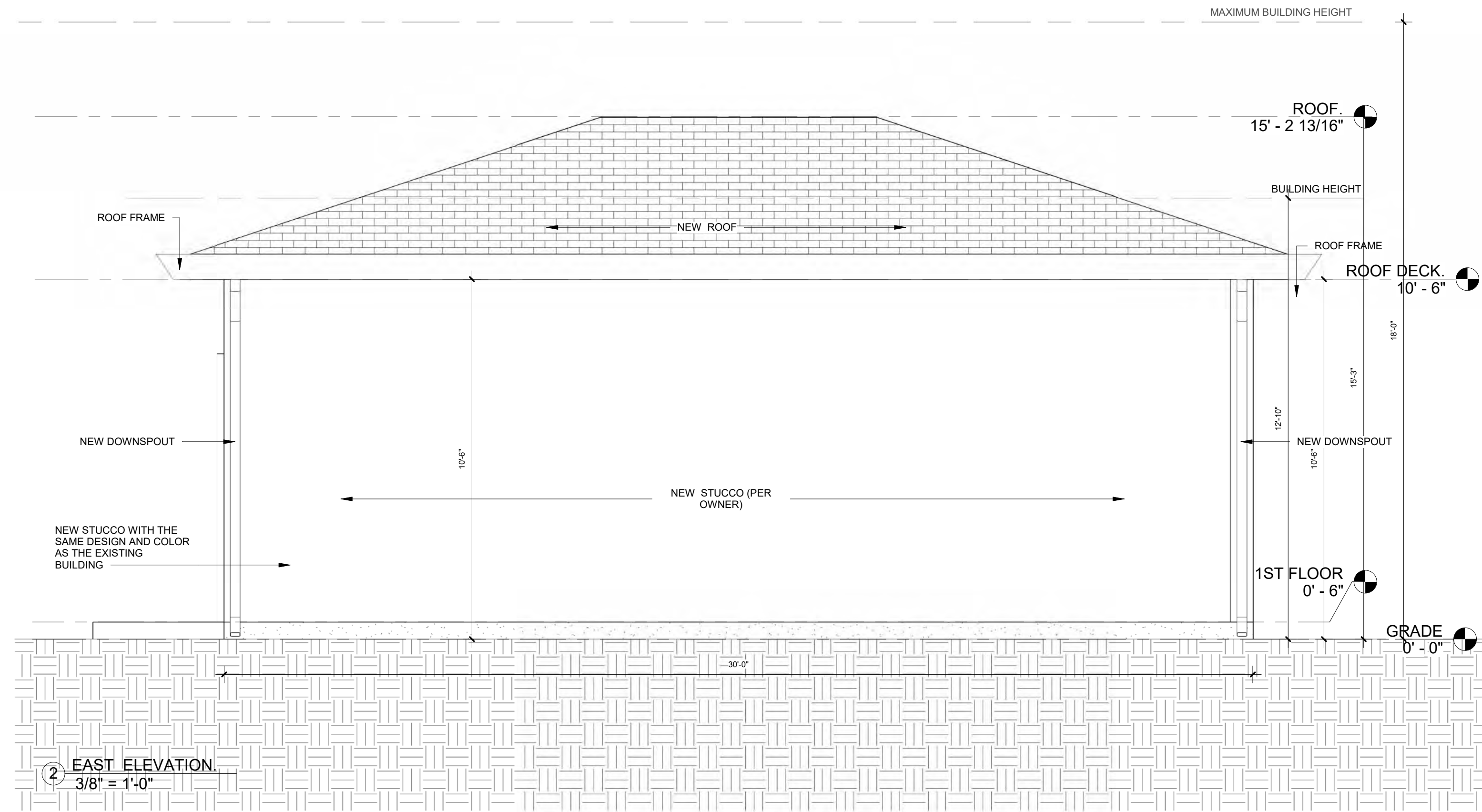
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715 Clinton Pl ,
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DATE	REMARKS
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E102



THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT AND MATERIAL. ETC. FOR A COMPLETE INSTALLATION OF THE REQUIRED WORK IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND WELDED OR WELDING JURISDICTION.

EQUIPMENT EXPOSED TO NATURAL ELEMENTS SHALL BE OF ALUMINUM OR SOLIDER CONSTRUCTION AND SHALL RECEIVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF PAINT.

REGISTERS, DIFFUSERS, GRILLS, ETC. SHALL BE INSTALLED AS TO MATCH THE EXISTING EQUIPMENT.

CONTRACTOR SHALL USE CAUTION IN REMOVING AND RELOCATING EQUIPMENT TO REMAIN. EQUIPMENT TO BE RELOCATED. DAMAGE TO SAID EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTROLS FOR A COMPLETE INSTALLATION OF THE EQUIPMENT SHALL BE SUPPLIED BY THE HVAC CONTRACTOR AND CONNECTED BY THE ELECTRICAL CONTRACTOR.

ALL SHEET METAL DUCT WORK SHALL BE GALVANIZED AND CONSTRUCTED IN ACCORDANCE WITH "SMACNA" LOW PRESSURE STANDARDS.

HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING AND BALANCE OF HVAC EQUIPMENT.

CONTRACTOR SHALL FURNISH AND INSTALL ALL ROOF CURBS APPLICABLE TO EQUIPMENT SUPPLIED BY THE CONTRACTOR. ROOF CURBS SHALL BE INSTALLED SO THE EQUIPMENT IS LEVEL AND THAT THE CURB FOLLOWS THE CONTOUR OF THE ROOF.

9. BULKHEAD BARS SHALL BE PROVIDED FOR ROOF OPENINGS LARGER THAN 10 SQUARE BARS SHALL BE A MINIMUM OF 1/2" DIAMETER ROD WITH A MAXIMUM OF 60 DEG STEEL CONNECTION AND WELDED TO THE STEEL ANGLE FRAME. AS AN ALTERNATE METHOD THE BARS MAY BE AN INTEGRAL PART OF THE CURB CONSTRUCTION.
10. NOISE GENERATED BY ANY HVAC EQUIPMENT SHALL NOT EXCEED 55db AT LOT LINE.
11. INSTALL ANY DUCT WORK AS CLOSE AS POSSIBLE TO STRUCTURAL STEEL.
12. ALL HVAC EQUIPMENT INSTALLED SHALL BE LEVEL AS TO ASSURE PROPER WORKING ORDER.
13. CONTRACTOR SHALL INSTALL ANY REQUIRED REFRIGERANT LINES IN ACCORDANCE WITH CITY CODE REQUIREMENTS- TYPE "K" COPPER.
14. CONTRACTOR SHALL ASSURE THAT FLUES OF EXISTING AND/OR NEW EQUIPMENT EXTEND A MINIMUM OF 6'-0" ABOVE THE ROOF LINE AND THAT ALL FRESH AIR INTAKES ARE INSTALLED A MINIMUM OF 15'-0" AWAY FROM ANY EXHAUST OR AIR INTAKE OF EXISTING OR NEW EQUIPMENT, SOIL STACKS & O.A.I. TO BE MIN. 10 FT ABOVE GRADE.
15. CONTRACTOR SHALL MAKE SURE THAT ALL EXPANSION VALVE, DEVICES AND CONNECTIONS ARE REMOVED FROM THE AIRSTREAM ON NEW AND EXISTING EQUIPMENT.
16. NATURAL GAS PIPING SHALL BE SCHEDULED 40 STANDARD WHELED BLACK STEEL PIPE WITH STANDARD WHELED BLACK THREADED MALLEABLE IRON FITTINGS 2" OR SMALLER AND STANDARD WHELED FITTINGS 2-1/2" OR LARGER.

17. ALL EQUIPMENT CONNECTED TO NATURAL GAS PIPING SHALL BE HARD
PIPED CONNECTIONS.
18. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS TO
ALL GAS BURNING APPLIANCES AND SHALL IN CONJUNCTION WITH
THE HVAC CONTRACTOR MAKE ALL REQUIRED TESTS AS TO ASSURE A
PROPER AND SAFE INSTALLATION.
19. SHEET METAL DUCT SHALL INCORPORATE LOCK TYPE
DAMPERS FOR BALANCING.
20. THE HVAC AND PLUMBING CONTRACTORS SHALL COORDINATE WITH THE
LOCAL UTILITIES FOR INCUMBING SERVICE OF GAS, WATER AND SEWAGE.
21. HVAC CONTRACTOR WILL GUARANTEE 70°F INDOOR @ -10°F
OUTDOOR, & 75°F INDOOR @ 90°F OUTDOOR.

MECH. CONTRACTOR	LICENCE NO.	EXP. DATE
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- 1) ALL DUCTS TO BE SHEET METAL PER S.M.A.C.N.A. w/ LOCK-TYPE DAMPERS
- 2) PROVIDE HUMIDIFYING DEVICE
- 3) FLOOR REGISTERS- NOT MORE THAN 9" FROM WALL
- 4) HEATING SYSTEM WILL MAINTAIN 70 DEG. F INDOOR @ -10 DEG. F OUTDOOR
- 5) SD. DETECTOR 3 FT. FROM FLOOR OR CEILING & MAX 15' FROM BEDROOM
- 6) PROVIDE CO DETECTOR - MAX 40 FT. FROM BEDROOM

CLEARANCES FOR FORCED AIR FURNANCES MUST CONFORM TO MANUFACTURER'S REQUIREMENTS - PER 18-28-918.93

DRYER EXHAUST LENGTH SHALL NOT EXCEED 25 FT. & CONFORM TO CBC 18- 28-504.6 & 7

DAMPERS SHALL BE INSTALLED PER 18-7-716 & 18-28-607

VENTING OF ALL GAS FIRED APPLIANCES SHALL CONFORM TO IFGC & CBC 18-28-801

VENT TERMINATIONS SHALL COMPLY W/ CBC 18-28-804.34 & .35

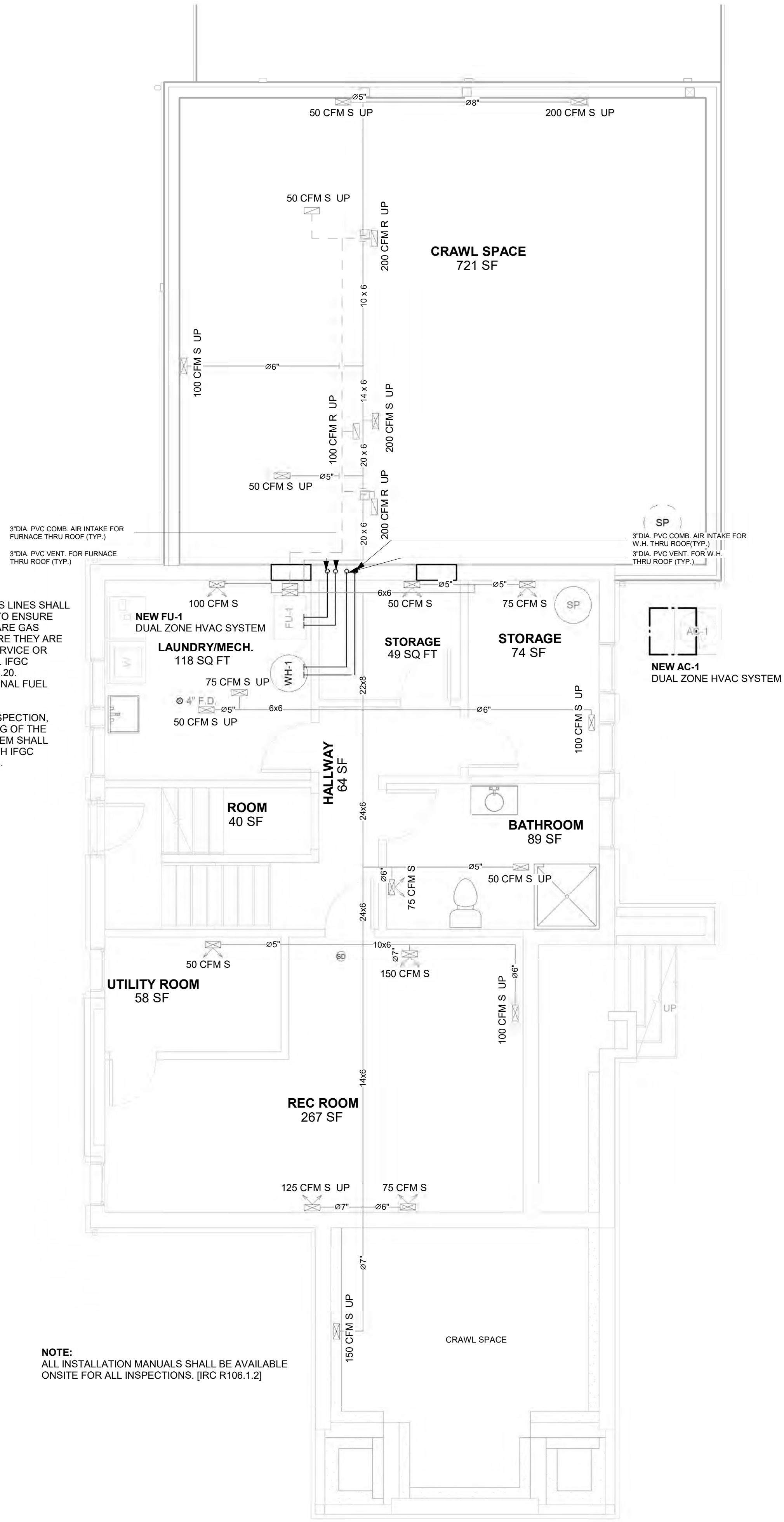
ALL DUCTWORK TO BE SHEET METAL.

DUCT SYSTEM NOISE LEVEL
SHALL NOT EXCEED 35 DB IN HABITABLE ROOMS.

1. LOCATE VENT. MIN. 3 FT. FROM ANY WINDOW OR AIR INLET THAT IS LOCATED IN A ROOM OTHER THAN THE EQUIPMENT ROOM.
2. VENT. SHALL NOT BE INSTALLED IN AN INNER COURT, OUTER COURT OR ANY OTHER SIMILARLY RESTRICTED AREA LESS THAN 6 FT. WIDE.

VENTILATION SCHEDULE															
		ORDINANCE REQUIREMENTS					ACTUAL		HEAT DATA		SERVED BY				
		NATURAL LIGHT & VENTILATION		MECHANICAL VENTILATION		NATURAL LIGHT & VENTILATION		MECHANICAL VENTILATION		DESIGN HEAT LOSS		FAN SYSTEM			
ROOM	FLOOR AREA	GLASS	VENT	SUPPLY	EXHAUST CFM	GLASS AREA	VENT AREA	SUPPLY	EXHAUST	HEAT LOSS	+15%	SUPPLY	EXH	REMARKS	
DESCRIPTION	SQF	SQF	SQF	CFM	NOTE 1	SQF	SQF	CFM	CFM	BTUH	BTUH				
EXIST. BUILDING															
BASEMENT															
LAUNDRY/MECH.	118	9.44	4.72	88.5	-	13.13	5.91	100	100	2596	2985.4				
BATHROOM	89	7.12	3.56	66.75	-	13.13	5.91	75	75	1958	2251.7		EF-1	110	
STORAGE	49	3.92	1.96	36.75	-	13.13	5.91	50	50	1078	1239.7				
STORAGE	74	5.92	2.96	55.5	-	13.13	5.91	75	75	1628	1872.2				
REC ROOM	267	21.36	10.68	200.25	-	13.13	5.91	225	225	5874	6755.1				
UTILITY ROOM	58	4.64	2.32	43.5	-	13.13	5.91	50	50	1276	1467.4				
HALLWAY+STAIRCASE AREA	152	12.16	6.08	114	-	13.13	5.91	125	125	3344	3845.6				
TOTAL	807							700		17754	20026.51	FU-1			
1 ST. FLOOR															
LIVING ROOM+ENTRY	351	28.08	14.04	263.25	-	13.13	5.91	275	275	7722	8880.3				
FAMILY ROOM	176	14.08	7.04	132	-	13.13	5.91	150	150	3872	4452.8				
DINING ROOM	243	19.44	9.72	182.25	-	13.13	5.91	200	200	5346	6147.9				
KITCHEN	73	5.84	2.92	54.75	-	13.13	5.91	75	75	1606	1846.9				
PR	30	2.4	1.2	22.5	-	13.13	5.91	50	50	660	759		EF-1	110	
TOTAL	873							750		19206	21664.37	FU-1			
2 ND FLOOR															
MASTER BEDROOM	301	24.08	12.04	225.75	-	13.13	5.91	250	250	6622	7615.3				
BEDROOM	152	12.16	6.08	114	-	13.13	5.91	125	125	3344	3845.6				
HALLWAY/STAIRCASE	163	13.04	6.52	122.25	-	13.13	5.91	125	125	3749	4311.35				
BATHROOM	63	5.84	2.92	47.25	-	13.13	5.91	50	50	1449	1666.35		EF-1	110	
LAUNDRY	46	3.68	1.84	34.5	-	13.13	5.91	50	50	1058	1216.7				
BATH	41	3.28	1.64	30.75	-	13.13	5.91	50	50	943	1084.45		EF-1	110	
TOTAL	766							650		17165	19362.12	FU-1			
NEW ADDITION															
CRAWL SPACE															
CRAWL SPACE	721	57.68	28.84	540.75	-	13.13	5.91	600	600	3605	4066.44		KF-1	350	
1 ST. FLOOR															
KITCHEN	451	36.08	18.04	338.25	-	13.13	5.91	400	400	10373	11928.95		KF-1	350	
GUEST ROOM	113	9.04	4.52	84.75	-	22.03	9.91	100	100	2699	2988.85				
ENTRY	46	3.68	1.84	34.5	-	33.04	14.87	50	50	1058	1216.7				
BATHROOM	48	3.84	1.92	36	-	8.06	3.63	50	50	1104	1269.6		EF-1	110	
TOTAL	658							600		15134	17071.152	FU-1			
2 ND FLOOR															
MASTER BEDROOM #1+HALLWAY	253	20.24	10.12	189.75	-	16.42	7.39	200	200	5819	6691.85				
BEDROOM	200	16	8	150	-	24.57	11.06	150	150	4600	5290				
W.C.	98	7.84	3.92	73.5	-	33.04	14.87	75	75	2264	2592.1				
MASTER BATHROOM	93	7.44	3.72	69.75	-	8.06	3.63	75	75	2139	2459.85		EF-1	110	
TOTAL	644							500		14812	16707.936	FU-1			
TOTAL															
	3748							3800		87676	98898.528	FU-1			
IF THE ACTUAL NATURAL VENT AREA IS LESS THAN THE REQUIRED VENT AREA PROVIDE MECHANICAL EXHAUST VENTILATION TO EXCEED THE MINIMUM C.F.M. INDICATED IN THIS COLUMN (2 x THE FLOOR AREA FOR KITCHENS WITH FLOOR LESS THAN 125 SQ.FT. & 2 x THE FLOOR AREA BATHROOMS HAVING LESS THAN THE REQUIRED NATURAL VENTILATION)															

GAS HEATING FURNACE SCHEDULE												
LEVEL	FLOOR	FURN NO.	MANUF	MODEL NO	AIR FLOW COOLING	AIR FLOW HEATING	OUTPUT	INPUT	COOLING CAP.	REMARKS		
BASEMENT	BASEMENT, 1ST,2ND FLOOR	FU-1	GOODMAN	GM3C961004CN	5,733	6,374	36,000	100,000		1/2" GAS		
NOTES: 1. PROVIDE THERMOSTAT, HUMIDIFIER, & HUMID STAT FOR EACH UNIT. 2. ALL UNITS MUST BE PIPED WITH LOW PRESSURE NATURAL GAS & PIPED IN ACCORDANCE WITH A.G.A REQUIREMENTS. 3. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AND LOCATE AS REQUIRED BY WOOD DALE CODE.												
EXHAUST FAN SCHEDULE												
		EXHAUST FAN NO.	CAPACITY CFM	MANUF	MODEL NO	QUANTITY						
		EF-1	110		BROAN	676	6					
		KF-1	350		BROAN	504	1					
REFRIGERATION SCHEDULE												
LEVEL	FLOOR	COMP NO.	REFRIGERATION (ALL OPTIONS)									
			MANUF	MODEL NO	Comp./Ton	Comp./H.P.	REFRIG.	Wt. Ref.@ 15 Ft. (lbs.)	Remote Self	Location	Water	
GRADE	BASEMENT, 1ST,2ND FLOOR	AC-1	CARRIER	24ACR3	5	2	R-22	6	YES	ROOF	YES	
- REMOVE EXPANSION VALVES, DEVICES & CONNECTIONS TO AIR STREAM - INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES. - REFRIGERATION PIPING TO BE "K" TYPE COPPER OR "ACR" (COPPER TUBING MAY BE TYPE "ACR" OR TYPE "K" UNLESS THE PRESSURE EXCEEDS THE RATED CAPACITY OF "ACR" TUBING) - ALL DEVICES AND CONNECTIONS TO BE BRAZED												



Reviewed for
Building Code
Compliance

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NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND DETACHED 3 CAR GARAGE

715 Clinton Pl,
River Forest, IL 60305

[illegible]

EXP:NOV.2026

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M101

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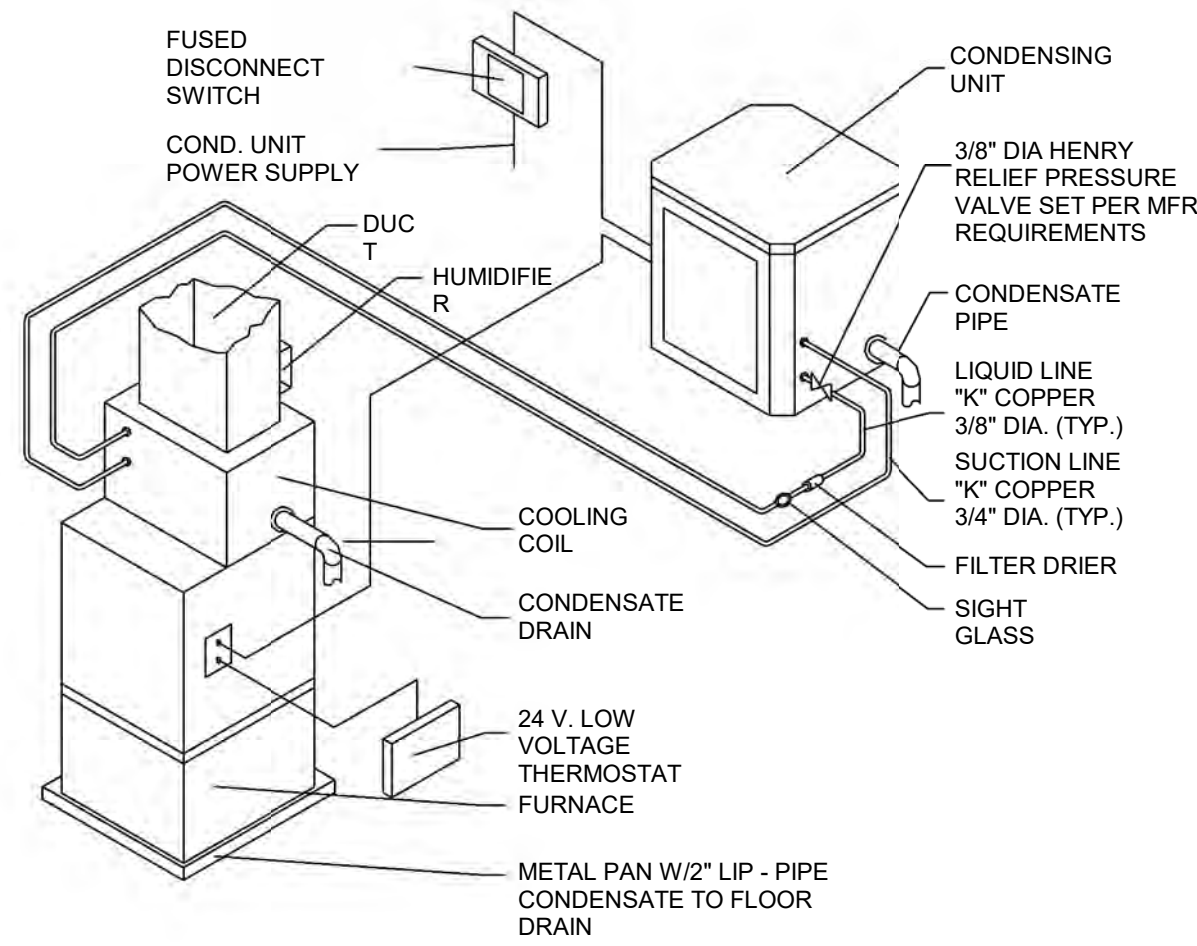
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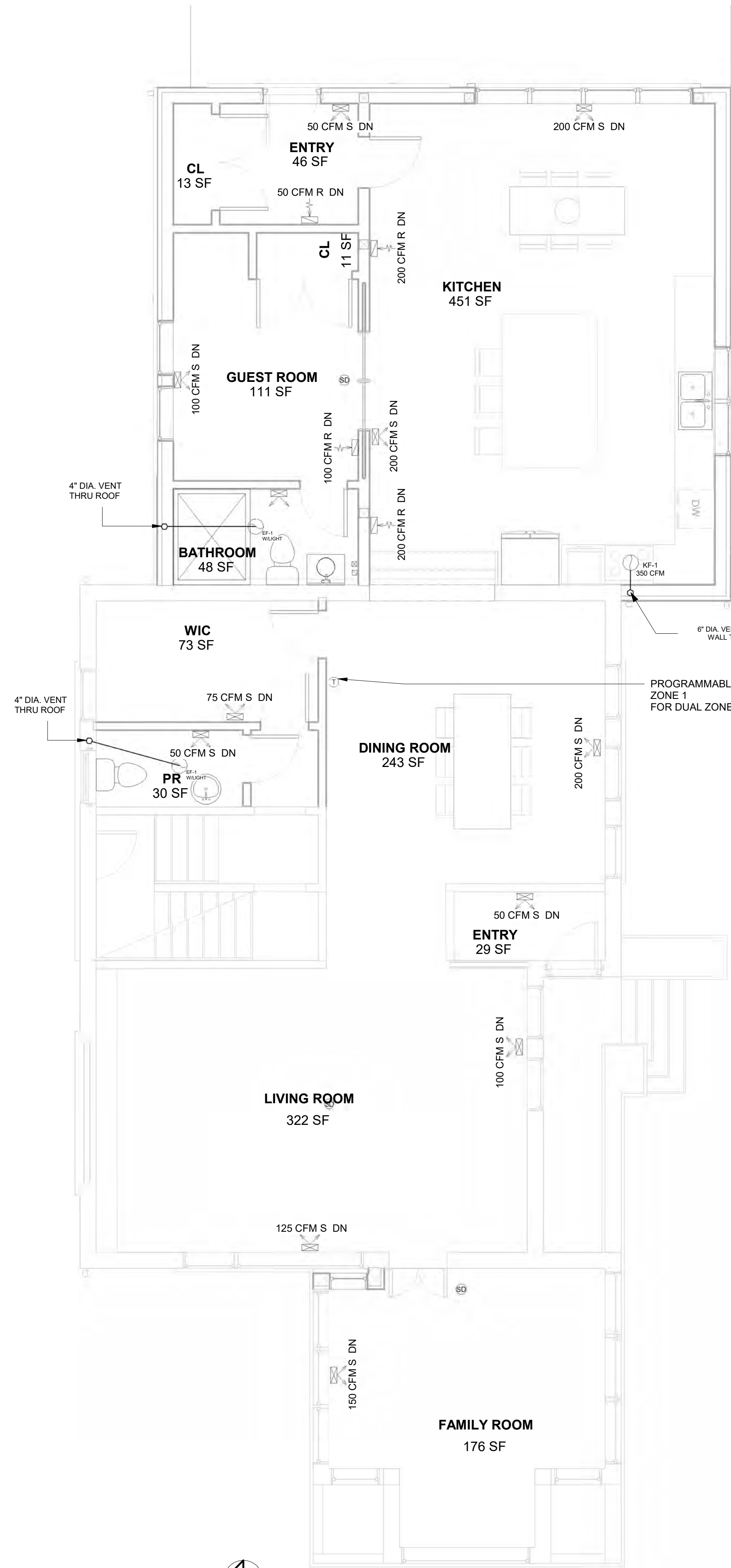
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REMOTE REFRIGERATION
PIPING DIAGRAM

N.T.S.

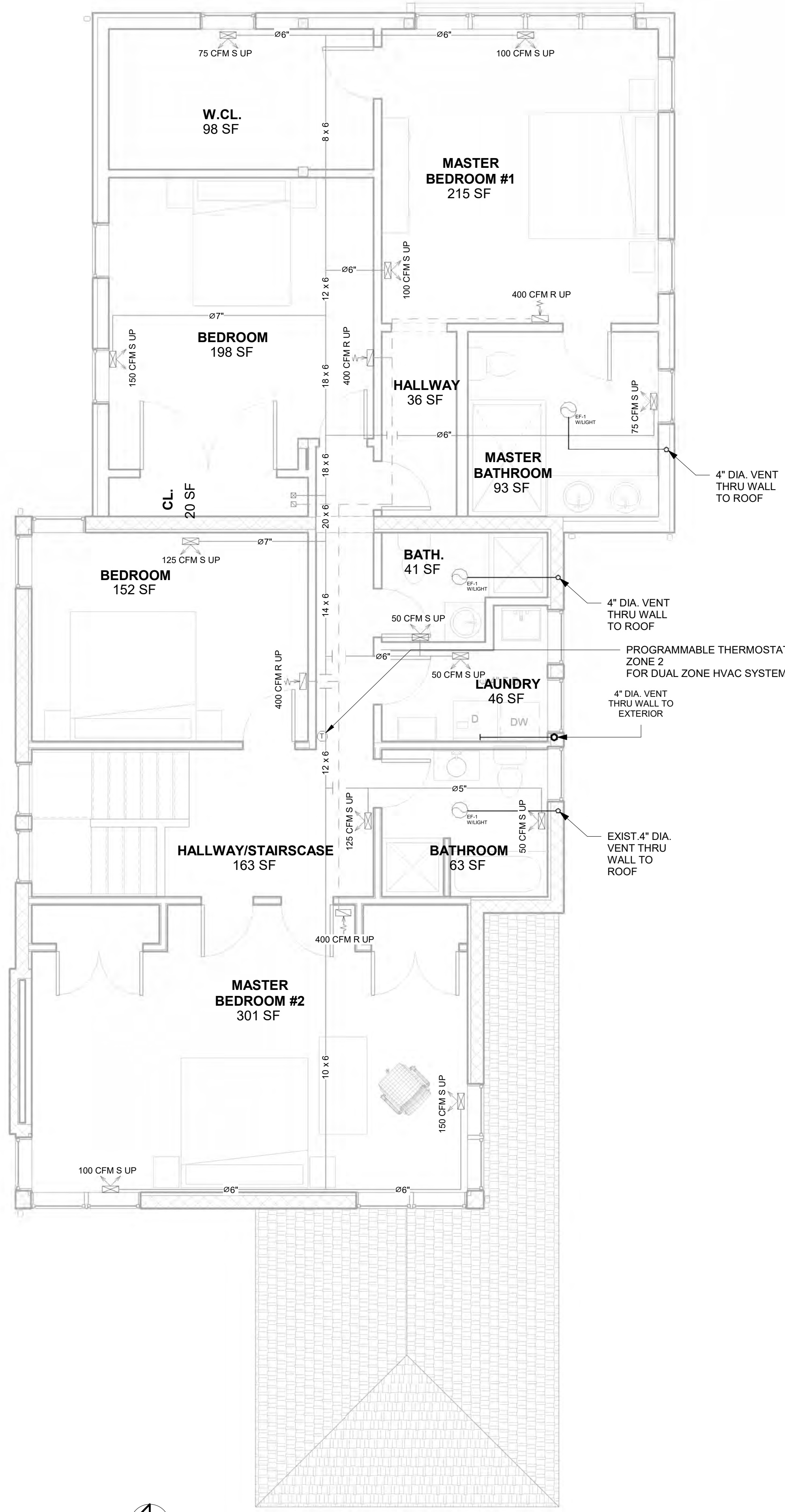
3 MECHANICAL NOTES1 Copy 1
3/16" = 1'-0"



2 MECH. 1ST FLOOR
1/4" = 1'-0"

NOTE:
ALL NEW GAS LINES SHALL
BE TESTED TO ENSURE
THAT THEY ARE GAS
TIGHT BEFORE THEY ARE
PUT INTO SERVICE OR
CONCEALED. IFGC
SECTION 404.20.
(INTERNATIONAL FUEL
GAS CODE).

TESTING, INSPECTION,
AND PURGING OF THE
PIPING SYSTEM SHALL
COMPLY WITH IFGC
SECTION 406.



1 MECH. 2ND FL
1/4" = 1'-0"

1.28.25
REV.

1. THE PLUMBING CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR FOR A COMPLETE AND SAFE OPERATING PLUMBING SYSTEM, INCLUDING BUT NOT LIMITED TO HOT AND COLD WATER, WASTE, VENT, STORM SEWER, SEPTIC SYSTEM, NATURAL GAS SERVICE (SEE MECHANICAL), ETC. THE CONTRACTOR SHALL CONNECT THE MECHANICAL, ETC. THE CONTRACTOR SHALL CONNECT THE REQUIRED SERVICES TO NEW FIXTURES.

2. PLUMBING CONTRACTOR SHALL BE LICENSED IN THE STATE THAT THE WORK IS BEING PERFORMED AND SUBMIT UPON REQUEST ANY REQUIRED BONDS. COPIES OF THE STATE AND/OR LOCAL LICENSE AS MAY BE REQUIRED.

3. THE PLUMBING CONTRACTOR SHALL PAY FOR AND OBTAIN ANY PERMITS PERTAINING TO THE PLUMBING AND/OR SEWER WORK, UNLESS SO OTHERWISE ARRANGED, PRIOR TO COMMENCEMENT OF WORK.

4. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AS SHOWN ON THE PRINTS, SPECIFICATIONS OR AT THE SITE, DIMENSIONS, ELEVATIONS, ETC. PRIOR TO SUBMITTING HIS BID AND/OR STARTING WORK.

5. CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE OF ALL WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR. CONTRACTOR SHALL ALSO ASSEMBLE A COMPLETE PACKAGE OF OWNERS MANUALS, INSTALLATION INSTRUCTIONS, ETC., INCLUDING COPIES OF ALL WARRANTIES AND SUBMIT THIS TO THE OWNER UPON COMPLETION AND ACCEPTANCE BY THE OWNER IN A PROPERLY DIVIDED THREE (3) RING BINDER.

6. CONTRACTOR SHALL TEST ALL SYSTEMS AND MAKE ANY REQUIRED ADJUSTMENTS TO ASSURE A SAFE OPERATING SYSTEM.

7. ALL MATERIALS SHALL BE FREE FROM DEFECTS AND CONFORMING TO THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND APPLICABLE CODES.

8. STAMP EACH LENGTH OF PIPE, FITTING, TRAP, FIXTURE, AND DEVICE INDELIBLY WITH ITS WEIGHT OR QUALITY AND THE MANUFACTURER'S NAME OR MARK.

9. CAST IRON SOIL PIPE AND FITTINGS: ASTM A74-29 FOR ALL SOIL AND WASTE LINE. FOR VENT AND SOIL STACKS ABOVE 2-1/2 in. SIZE USE CAST IRON SOIL PIPE. ALL CAST IRON PIPE AND FITTINGS OF EXTRA HEAVY CONSTRUCTION WITH BLACK ASPHALTUM FINISH COAT. ALL CAST IRON PIPE BY ONE MANUFACTURER ONLY.

10. COPPER TUBING: ASTM B88-61, TYPE "L" FOR WATER SUPPLY NOT SET IN OR UNDER CONCRETE AND TYPE "K" FOR PIPE SET IN OR UNDER CONCRETE. FITTINGS OF WROUGHT COPPER SOLDERED 95-5% TIN-LEAD FOR UNDERGROUND AND ENCLOSED PIPING WITH FLARED FITTINGS AND JOINTS AT ACCESSIBLE LOCATIONS.

11. FOR ALL VENT PIPING THROUGH 2-1/2 in. SIZE USE GALVANIZED IRON PIPE CONFORMING TO ASTM-A-120-61T, WITH BANNED MALLEABLE IRON FITTINGS.

12. USE STANDARD WEIGHT BLACK STEEL PIPE AND FITTINGS, ASTM 120-47, FOR GAS LINES. USE MALLEABLE FITTINGS.

13. USE FITTINGS OF THE SAME MATERIAL AND FINISH AS THE PIPE IN WHICH THEY ARE INSTALLED.

14. INSTALL DIELECTRIC UNIONS WHERE DISSIMILAR PIPING MATERIALS CONNECT.

15. INSTALL AIR CHAMBERS IN WATER PIPES TO PREVENT WATER HAMMER. ADJUST FLUSH VALVES FOR MINIMUM NOISE.

16. PROVIDE AND LOCATE SHUTOFF VALVES FOR EACH FIXTURE OF THE PLUMBING SYSTEM WITH FULL SECTION VALVES TO GIVE COMPLETE REGULATION AND CONTROL OF THE WATER IN THE PIPES. ALL VALVES BY CRANE, NIBCO-SCOTT CO., JENKINS, OR WALWORTH, OF BRASS WITH THREADED OR SWEAT CONNECTIONS AND RATED NOT LESS THAN 125 PSI. LOCATE ALL VALVES TO BE EASILY ACCESSIBLE IN CABINETS, UNDER FIXTURES OR BEHIND NEAT HINGED, LOCKING TYPE ACCESS PANELS WHERE NECESSARY.

17. FIT ALL WORK INTO THE AVAILABLE SPACE, MEET THE REQUIREMENTS AND COORDINATE WITH OTHER TRADES AS NOT TO CREATE ADVERSE CONDITIONS, AND FOLLOW THE STRUCTURAL ELEMENTS OF THE BUILDING AS CLOSELY AS POSSIBLE. RUN PIPE CONCEALED THROUGHOUT THE FINISHED PORTIONS OF THE BUILDING. COMPLETE AND TEST ROUGH-IN WORK BEFORE ANY FINISH WORK IS INSTALLED. CENTER PIPE OUTLETS ON THE DRILLINGS, TAPINGS, OR OTHER CONNECTIONS.

18. INSTALL PIPE HANGERS 4 ft. 0 in. O.C. OR AS REQUIRED AND COMPATIBLE WITH THE MATERIALS BEING USED.

19. INSTALL HORIZONTAL SOIL AND WASTE LINES INSIDE THE BUILDING WITH A UNIFORM PITCH OF 1/4 in. TO THE FOOT UNLESS NOTED OTHERWISE. PITCH SOIL OR WASTE LINES NO LESS THAN 1 FOOT PER 100 FEET FOR 4 in. PIPE. AT CAST IRON JOINTS, SET THE SPIGOT FIRMLY AGAINST THE BOTTOM OF THE HUB. TIGHTLY CAULK THE JOINT ONE-THIRD FULL OF PURE OXUM. FILL THE OTHER TWO-THIRDS OF THE JOINT WITH PURE SOFT LEAD IN ONE POURING AND PROPERLY CAULK.

20. LAY WATER LINES TO DRAIN, FREE FROM SAGS OF TRAPS AND PROVIDE DRAIN COCKS AT LOW POINTS.

21. INSTALL HORIZONTAL VENT LINES WITH MAXIMUM POSSIBLE PITCH BACK TO FIXTURE. TIE ALL VENTS TOGETHER WHERE POSSIBLE BEFORE EXTENDING THROUGH ROOF.

22. LOCATE UNIONS AND VALVES TO BE COMPLETELY ACCESSIBLE AFTER THE SYSTEM IS COMPLETE.

23. FURNISH AND INSTALL CLEANOUTS AS INDICATED AND PER CODE AND/OR OWNER REQUIREMENTS. AT ALL CHANGES IN DIRECTIONS OF SOIL AND WASTE PIPES, MAKE ALL CLEANOUTS ACCESSIBLE SET FLOOR CLEANOUTS FLUSH WITH THE FINISHED FLOOR SURFACE.

24. INSULATE ALL COLD WATER PIPING, ABOVE AND CEILING, EXCEPT EXPOSED BRASS CHROME PLATED PIPING IN THE TOILET RESTROOMS WITH AN APPROVED NON-COMBUSTIBLE "UL" RATED INSULATION WITH VAPOR BARRIER. APPLY INSULATION AFTER PIPING HAS BEEN INSTALLED, TESTED, AND OR APPROVED AND PIPES ARE DRY AND CLEAN.

25. IF APPLICABLE PROVIDE AND INSTALL A WATER METER AS SHOWN ON THE DRAWINGS.

26. INSTALL A BACK WATER CHECK VALVE IF REQUIRED BY LOCAL CODE, SHOWN ON THE DRAWINGS.

27. INSTALL AN APPROVED GREASE TRAP IF SO DIRECTED ON THE PRINTS, IN THE SPECIFICATION OR AS REQUIRED BY LOCAL CODE.

28. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING OF THE EXISTING AND/OR NEW FLOOR AS REQUIRED FOR INSTALLATION OF THE PLUMBING SYSTEM. WHEN CLOSING ANY TRENCH THE CONTRACTOR SHALL MAINTAIN A TRUE AND LEVEL FLOOR FINISH EQUAL TO THE EXISTING.

29. UNIONS 2 in. AND SMALLER: GALVANIZED MALLEABLE IRON, SCREWED WITH BRASS TO IRON GROUND JOINT SEAT. CRANE NO. 519.

30. GATE VALVES 2 in. AND SMALLER: NIBCO-SCOTT CO. T-211-W, 125 LB. BRONZE BODY, SOLID WEDGE DISC, RISING STEM SCREWED, INSIDE SCREW BONNET. SOLDERED TYPE VALVES ARE NIBCO-SCOTT, S-211-W.

31. GLOBE VALVES 2 in. AND SMALLER: NIBCO-SCOTT CO. T-211-W, 125 LB. BRONZE BODY, SCREWED BONNET, INTEGRAL SEAT, RISING STEM. FOR SOLDERED TYPE VALVES USE NIBCO-SCOTT S-211-W.

32. CHECK VALVES: NIBCO-SCOTT S-143-W AND T-413-W.

33. NIPPLES: SCHEDULE 80.

34. HOSE BIBBS: ZURN Z-1395-3, NON FREEZE, EXPOSED WALL HYDRANT 3/4 in. SIZE WITH VACUUM BREAKER, ADVANCING-RETRACTING VALVE OPERATING ROD AND FREE-FLOATING COMPRESSION-CLOSURE VALVE.

35. WATER HAMMER: THE FLOW OF VELOCITY OF THE WATER DISTRIBUTION SYSTEM SHALL BE CONTROLLED TO REDUCE THE POSSIBILITY OF WATER HAMMER. A WATER-HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE UTILIZED. WATER-HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. WATER-HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010.

36. FLOOR DRAINS INDICATED IN TOILET ROOMS, USE THE ZURN TYPE A 6 in. DIAMETER FOUND STRAINER.

37. IN THE FINISHED FLOORS: ZURN Z-1326-1 WITH NICKLE-BRONZE NON-SLIP, SCORPIATED TOP SET FLUSH WITH FLOOR.

38. IN UNFINISHED WALLS OR ACCESSIBLE CONCEALED SPACES: ZURN Z-1315 OR Z-1300 IN SOIL LINES, OR ZURN "CODE" RED BRASS PLUGS IN IPS LINES.

39. ALL PLUMBING MATERIALS, DEVICES, FIXTURES, EQUIPMENTS, APPLIANCES, AND/OR ACCESSORIES SHALL BE LISTED AND/OR CERTIFIED BY AN ACCEPTABLE LISTING AGENCY.

40. ALIGNMENT OF FIXTURES, FITTINGS, VALVES, PIPES, ETC. SHALL BE INSTALLED IN THE CORRECT RELATIONSHIP ASSOCIATED WITH THE DIRECTION OF FLOW.

41. EXTERIOR OPENINGS AROUND PIPING AND/OR EQUIPMENT SHALL BE PROPERLY SEALED AS TO RESIST THE ENTRANCE OF VERMIN OR MOISTURE.

42. PIPING AND ELECTRICAL WIRING SHALL NOT PASS THROUGH THE SAME HOLES IN WALLS, FLOORS, ROOFS, STRUCTURAL MEMBERS, ETC. ALSO STRUCTURAL MEMBERS SHALL NOT BE UNNECESSARILY OR CARELESSLY BE WEAKENED BY CUTTING OR NOTCHING STRUCTURAL MEMBERS WHICH ARE MODIFIED SHALL BE REPAIRED IN AN ACCEPTABLE MANNER AS TO GUARANTEE THE STRUCTURAL INTEGRITY OF THE DESIGN.

43. TRAPS AND CLEANOUTS:

44. TRAPS SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THEIR VENTS BUT NOT WITHIN 2 PIPE DIAMETERS.

45. TRAPS SHALL HAVE REMOVABLE "U" BENDS. CONTINUOUS WASTE AND TAIL PIECES WHICH ARE PERMANENTLY ATTACHED TO THE "U" BEND SHALL BE REMOVABLE WITHOUT REMOVING THE STRAINER.

46. CONCEALED TRAPS WITHOUT MECHANICAL JOINTS SHALL BE ACCESSIBLE FOR REPAIR AND INSPECTION. ACCESS PANELS FOR THE PURPOSE OF INSPECTION OR REPAIR SHOULD BE USED AS REQUIRED.

47. PIPING BETWEEN THE P-TRAP AND THE FIXTURE TEE SHALL MAINTAIN A MINIMUM OF 1/4 in. PER FOOT SLOPE. A MAXIMUM CHANGE OF DIRECTION SHALL NOT EXCEED 180 DEGREES.

48. CLEANOUTS SHALL BE INSTALLED WHERE CLEANING TOOLS WILL NOT BE REQUIRED TO PASS THROUGH MORE THAN 360 DEGREES OF FITTINGS TO REACH ANY PART OR THE PLUMBING SYSTEM.

49. CLEANOUTS SHALL BE POSITIONED SO THERE IS AT LEAST 12 in. OF UNOBSTRUCTED CLEARANCE IN FRONT OF THE OPENING.

50. CONTINUOUS WASTE SHALL NOT EXCEED 30 in. IN HORIZONTAL AND 24 in. IN VERTICAL MEASUREMENTS FROM STRAINERS TO THE "U" BEND.

51. FIXTURE TAILPIECES, CONTINUOUS WASTE OR OVERFLOWS WILL NOT BE LESS THAN 1-1/2 in. EXCEPT FOR LAVATOIRES AND SINGLE COMPARTMENT SINKS HAVING A 2 in. MAXIMUM DRAIN OPENING WHICH MAY BE 1-1/4 in.

52. CLOSET FLANGES SHALL BE SECURED USING CORROSION RESISTANT SCREWS OR BOLTS.

53. HANGERS AND SUPPORTS:

54. PIPING SHALL BE INSTALLED WITHOUT UNDUE STRESS OR STRAIN AND WITH PROVISIONS FOR EXPANSION, CONTRACTION AND STRUCTURAL SETTLEMENT.

55. DRAIN AND WASTE PIPING SHALL BE SUPPORTED AT 4 ft. MAXIMUM INTERVALS AND AS REQUIRED. SEE DETAILS BELOW FOR TYPICAL HANGERS.

56. VENTING:

57. VENTS SHALL RISE VERTICALLY OR WITHIN 45 DEGREES OF VERTICAL FROM THE FIXTURE TEE OR FROM AND ABOVE THE CENTER LINE OF THE HORIZONTAL DRAINAGE PIPING.

58. VENTS SHALL EXTEND THROUGH FLASHINGS NOT LESS THAN 12 in. ABOVE THE ROOF AND SHALL BE MADE WEATHERPROOF.

59. VENTS SHALL NOT TERMINATE LESS THAN 3 ft. FROM ANY MOTOR DRIVEN AIR INTAKE DISCHARGING INTO ANY HABITABLE ROOM.
- Reviewed for
Building Code
Compliance
- M A C I E J
B O J A R S K I
ARCHITECT OF
RECORD
ILLINOIS REG. NO.
0 0 1 - 0 2 2 6 8 5
EXP.11/30/2026
TEL:3 12-4 98- 8 3 0 7
bojarski@comcast.net
- NEW REAR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE AND
DETACHED 3 CAR GARAGE
- 715 Clinton Pl ,
River Forest, IL 60305
- | DATE | REMARKS |
|-----------|---------|
| 1/28/2025 | REV.1 |
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- EXP-NOV.2026
- SHEET
No.
- P101
-
- ## SANITARY AND VENT RISER DIAGRAM
- N.T.S.
- ## SUPPLY DIAGRAM
- N.T.S.
- | No. OF EACH | | PLUMBING FIXTURES SCHEDULE: |
|-------------|------|---|
| 6 | WC. | KOHLER WELLWORTH MODEL K-3502-PB VITREOUS CHINA TWO-PIECE WATER SAVER W/SIPHON JET FLUSH ACTION MODEL K-4213-PT BOWL AND K-4520-A TANK W/FLOAT VALVE. |
| 1 | K.S. | DOUBLE BOWL KITCHEN SINK |
| 7 | LAV | KHOLER CAXTON MODEL K-2257 VITREOUS CHINA COUNTERTOP W/FAUCET VALVES ON 4" CENTERS. K-15241-B FAUCET AND CAST BRASS "P" TRAP. |
| 5 | SH | SHOWER HEAD |
| 1 | DW | GE MOD # GSD2200FWH |
| 1 | TUB | KOHLER VERACRUZ MODEL K-1598 TUB AND SHOWER UNIT, 60"x32"x76-1/2" COMPLETE W/ K-15201 FAUCET. |
| 2 | FD. | ZURN Z-415 WITH TYPE "Y" STRAINER, 6" SQUARE PD STRAINER AND BACKWATER VALVE OR EQUAL. |
| 2 | W.M. | WASHING MACHINE |
| 1 | LT | LAUNDRY TUB |
- | ALL BELOW GRADE AND CONC SLAB PIPING TO BE CAST IRON | | | | |
|---|-------------|----------------|-----------------|--|
| NOTE: ALL NEW PLUMBING FIXTURES MUST BEAR THE WATER SENSE LABEL. DO NOT REMOVE THE WATERSENSE LABEL PRIOR TO PASSING THE FINAL INSPECTION AND HAVE FIXTURE CUT SHEETS ONSITE FOR FINAL INSPECTION. | | | | |
| NOTE: WHEN FOLLOWING THE PRESCRIPTIVE METHOD ALL HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-3 PER SECTION R403.5.3 | | | | |
| TYPE OF FIXTURE | No.OF FIXT. | W.S.F.U.s Each | TOTAL W.S.F.U.s | |
| LAVS..... | 7 | 1 | 7 | |
| TUB..... | 1 | 2 | 2 | |
| W.C..... | 6 | 3 | 18 | |
| SHOWER HEAD..... | 5 | 2 | 10 | |
| LAUNDRY TUB..... | 1 | 2 | 2 | |
| WASHER..... | 2 | 2 | 4 | |
| KITCHEN SINK..... | 1 | 2 | 2 | |
| DASHWASHER..... | 1 | 1 | 1 | |
| FROST PROOF HOSE BIB.... | - | 2.5 | - | |
| TOTAL: | 24 | FIXTURES | 46 | |
| 1 1/4" MIN. WATER SERVICE REQUIRED | | | | |
- | WSFU | Demand (GPM) | Pipe Size (Inches) | Pressure Loss (PSI/100' of Pipe) | Velocity (Ft./Sec.) | Meter Size (Inches) |
|------|--------------|--------------------|----------------------------------|---------------------|---------------------|
| 2 | 2 | 1/2" | 4.2 | 2.7 | 3/4" |
| 4 | 3 | 3/4" | 8.7 | 4.2 | 3/4" |
| 6 | 5 | 3/4" | 22.5 | 7.0 | 3/4" |
| 8 | 6.5 | 3/4" | 6.3 | 4.3 | 3/4" |
| 10 | 8 | 3/4" | 9.0 | 5.4 | 3/4" |
| 12 | 9.2 | 3/4" | 11.5 | 6.1 | 3/4" |
| 14 | 10.4 | 3/4" | 15.0 | 6.9 | 3/4" |
| 16 | 11.6 | 3/4" | 18.0 | 7.7 | 3/4" |
| 20 | 14 | 1" | 7.2 | 5.6 | 3/4" |
| 25 | 17 | 1" | 10.0 | 6.6 | 3/4" |
| 30 | 20 | 1" | 13.6 | 8.0 | 1" |
| 35 | 22.5 | 1 1/4" | 5.8 | 5.7 | 1" |
| 40 | 25 | 1 1/4" | 7.0 | 6.3 | 1" |
| 45 | 27 | 1 1/4" | 8.2 | 6.9 | 1" |
| 50 | 29 | 1 1/2" | 9.5 | 7.4 | 1" |
| 60 | 32 | 1 1/2" | 5.0 | 5.8 | 1 1/2" |
- OWNER TO PROVIDE SPECS SHEETS FOR ALL NEW PLUMBING FIXTURES AND FAUCETS MUST BE "WATER SENSE" COMPLIANT. ANY HAND SHOWER HOSES WILL BE PROTECTED BY PROPER BACKFLOW PREVENTER ASSE 1014 COMPLIANT. ALL OF THE WATER PIPING WILL BE INSULATED ACCORDING TO THE 2015 ILLINOIS ENERGY CONSERVATION CODE (2015 IECC) ALL THE SHOWER FAUCETS WILL BE PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED ASSE 1016 COMPLIANT AND SET TO A MINIMUM OF 85 DEGREES AND A MAXIMUM OF 115 DEGREES. ALL THE BATHTUB AND SHOWER FAUCETS WILL HAVE SERVICE STOPS. THE DRAIN AND VENT PIPING WILL BE SCHEDULE 40 PVC ASTM 2665 PIPE (CELLULAR CORE PVC PIPE NOT ALLOWED).
- NOTE:** PEX TUBING FOR HOT AND COLD WATER.
- NOTE:** THE BOOSTER PUMP SHALL BE APPROVED IN WRITING BY THE ILLINOIS DEPARTMENT OF PUBLIC HEALTH PRIOR TO INSULATION.
- NOTES:** ANTI-SCALD TUB/SHOWER VALVES REQUIRED IN COMPLIANCE WITH SECTION 890.690.
- PROVIDE A MINIMUM OF 120-DEGREE HOT WATER AND ADJUST LIMIT CONTROL STOPS ON TUB/SHOWER VALVES TO 85 TO 115 DEGREES.
- NOTES:** ALL HORIZONTAL VENT PIPING SHALL BE SIZED IN COMPLIANCE WITH SECTION 890.1580.
- ALL BELOW GRADE AND CONC SLAB PIPING TO BE CAST IRON
- NOTE:** A STACK TEST IS REQUIRED ON ALL WASTE AND VENT PIPING AT THE TIME OF THE ROUGH AND UNDERGROUND INSPECTIONS.
- NOTE:** 100 PSI AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION.
- NOTE:** 25 PSI AIR TEST REQUIRED ON ALL NEW GAS PIPING AT THE TIME OF THE ROUGH INSPECTION.
- NOTE:** ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND CITY OF MARKHAM ORDINANCES.
- NOTE:** ALL EXISTING PLUMBING THAT MAY POSE A HEALTH OR SAFETY HAZARD MUST BE REVISED TO MEET THE ILLINOIS PLUMBING CODE AND CITY OF MARKHAM.
- 1.28.25
REV.
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