RIVER FOREST
DEVELOPMENT REVIEW BOARD
MEETING AGENDA

A meeting of the River Forest Development Review Board will be held on Thursday, June 21, 2018 at 7:30 P.M. in the Community Room of the River Forest Village Hall, 400 Park Avenue, River Forest, Illinois.

I. Call to Order/Roll Call

II. Approval of Minutes of the May 3, 2018 Development Review Board Meeting

III. Public Hearing – Application #18-03 – Amendment to the Planned Development granted by Ordinance 3602 to add cellular antennas behind stealth enclosures on the parking garage - Concordia University (7400 Augusta)

IV. Discussion/Deliberation & Recommendation - Application #18-03 – Amendment to the Planned Development granted by Ordinance 3602 to add cellular antennas behind stealth enclosures on the parking garage - Concordia University (7400 Augusta)

V. Approval of Findings of Fact - Application #18-03 – Amendment to the Planned Development granted by Ordinance 3602 to add cellular antennas behind stealth enclosures on the parking garage - Concordia University (7400 Augusta)

VI. Public Hearing – Application #18-04 – Amendment to the Planned Development granted by Ordinance 3602 to construct a one-story enclosed walkway between the Christopher Center and West Annex building - Concordia University (7400 Augusta)

VII. Discussion/Deliberation & Recommendation - Application #18-04 – Amendment to the Planned Development granted by Ordinance 3602 to construct a one-story enclosed walkway between the Christopher Center and West Annex building - Concordia University (7400 Augusta)

VIII. Approval of Findings of Fact - Application #18-04 – Amendment to the Planned Development granted by Ordinance 3602 to construct a one-story enclosed walkway between the Christopher Center and West Annex building - Concordia University (7400 Augusta)

IX. Public Comment

X. Adjournment

VILLAGE OF RIVER FOREST
DEVELOPMENT REVIEW BOARD MEETING MINUTES
May 3, 2018

A meeting of the Village of River Forest Development Review Board was held at 7:30 p.m. on Thursday, May 3, 2018 in the Community Room of the River Forest Village Hall, 400 Park Avenue, River Forest, Illinois.

I. CALL TO ORDER

The meeting was called to order at 7:30 p.m. Upon roll call, the following persons were:

Present: Members Crosby, Ruehle, O'Brien, and Chairman Martin
Absent: Members Ryan, Fishman and Dombrowski
Also Present: Assistant Village Administrator Lisa Scheiner, Building Official Clifford Radatz

II. APPROVAL OF MINUTES OF THE APRIL 19, 2018 DEVELOPMENT REVIEW BOARD MEETING

A MOTION was made by Member O'Brien and SECONDED by Member Ruehle to approve the minutes of the April 19, 2018 Development Review Board Meeting as amended.

Ayes: Members Crosby, Ruehle, O'Brien, and Chairman Martin
Nays: None
Motion Passed.

III. PRE-FILING MEETING AND CONSIDERATION OF REQUEST FOR WAIVER OF APPLICATION REQUIREMENT(S) – CONCORDIA UNIVERSITY WEST ANNEX AND CHRISTOPHER CENTER LINK

Chairman Martin explained the purpose of the meeting and the process that will be followed.

Glen Steiner presented the preliminary information regarding the plan to construct a covered walkway between the West Annex and the Christopher Center. He said it will be similar to the existing links between Mary Martha Hall, Trusheim Hall and the new residence hall. Mr. Steiner said the anticipated project cost is $400,000 and the University has already received the funds from a donor to complete the project. Mr. Steiner continued that this project is located far from the street and will not have an impact on the community either during or after construction. He presented various photos and renderings depicting the location of the project as well as project rendering. He continued that the project will not cause an increase in activity and will not have an impact on parking.

In response to a question from Member O'Brien regarding handicapped accessibility, Mr. Steiner explained that there are currently stairs from the planned renovation into the building. He said both buildings have accessible entrances at other locations and described their locations. In response to a follow-up question from Chairman Martin, Mr. Steiner confirmed that the link will not be handicapped accessible.

In response to a question from Member Crosby regarding building security and access, Mr. Steiner described the current access control at the location of the proposed link. He also explained that the secured access to the early childhood center in the Christopher Center will not change.

In response to a question from Member O'Brien, Mr. Steiner commented on the dimensions shown in the documents provided and stated that he believes the new structure will be 12 feet high but will confirm that.

In response to a question from Chairman Martin, Mr. Steiner confirmed that the entire campus is under a planned development which requires a major amendment for construction of any new building.

Member O'Brien asked about handicapped accessibility rules for the new structure. Mr. Steiner said he believes there are but is not sure if those rules would pertain to this project. He stated that he met with Village staff and that they did not think it would be a problem as long as the University maintains access to the other accessible entrances to the building. Member Crosby asked that Building Official Radatz address this matter in a public hearing. Chairman Martin asked the University to address this matter in the application as well.

Mr. Steiner reviewed the requested waivers from the application requirements identified in 10-19-6(B) items 5, 6, 8, 9, 12, 13 b and c, 14, 16, 17 and 19 of the Zoning Ordinance and provided an explanation for each request. After a brief discussion Mr. Steiner withdrew the request that items 8, 9, 14 and 16 be waived.

A MOTION was made by Chairman Martin and SECONDED by Member Ruehle that application requirements 10-19-6(B) 5, 6, 12, 13 b and c, and 17 be waived.

Ayes: Members Crosby, Ruehle, O'Brien, and Chairman Martin
Nays: None
Motion Passed.

A MOTION was made by Member Ruehle and SECONDED by Member Crosby that application requirement 10-19-6(B) 19 be waived.

Ayes: Members Crosby, Ruehle, and O'Brien
Nays: Chairman Martin
Motion Passed.

IV. PUBLIC COMMENT

None.

V. ADJOURNMENT

A MOTION was made by Member Fishman and SECONDED by Member Ruehle to adjourn the meeting of the Development Review Board at 8:00 p.m.

Ayes: Members Crosby, Ruehle, O'Brien, and Chairman Martin
Nays: None
Motion Passed.

Respectfully Submitted:

_____
Lisa Scheiner
Secretary

_____
Frank R. Martin
Chairman, Development Review Board

_____
Date

DRAFT

Chapter 19
PLANNED DEVELOPMENTS

10-19-1: INTENT AND PURPOSE:

A. One of the principal objectives of this zoning title is to provide for a compatible arrangement of uses of land and buildings which is consistent with the requirements and welfare of the village. To accomplish this objective most uses are classified as permitted or special uses in one or more of the districts established by this zoning title. It is recognized, however, that there are certain uses, whether or not designated as permitted or special, which because of their scope, location or specific characteristics give rise to a need for a more comprehensive consideration of their impact both with regard to the neighboring land and the village in general. Such uses as fall within the provisions of this section shall only be permitted if authorized as a planned development.

B. The board of trustees, in accordance with the procedures and standards set forth in this section, may grant planned development permits authorizing the establishment of planned developments.

C. Planned developments may include uses or combinations of uses currently permitted in the underlying zoning district and those uses which are currently prohibited or special uses provided for elsewhere in this zoning title. However, an applicant may petition for consideration of a use or combination of uses not specifically allowed in the underlying zoning district provided that the village board finds that the conditions, procedures and standards of this section are met and provided further that such use or combination of uses is clearly shown to be beneficial to the village and surrounding neighborhood.

D. It is the purpose of planned developments to enable the granting of certain allowances or modifications from the basic provisions of this zoning title to achieve attractive and timely development in furtherance of the village's objectives and proposed land uses as stated in the comprehensive plan and policy resolutions of the village board.

E. Through the flexibility of the planned development process, the village seeks to achieve the following specific objectives:

1. Creation of a more desirable environment than would be possible through strict application of other village land use regulations.

2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities.

3. Combination and coordination of the character, the form, and the relationship of structures to one another.

4. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation, and geologic features.

5. Provision for the preservation and beneficial use of open space, or an increase in the amount of open space over that which would result from the application of conventional zoning regulations.

6. Encouragement of land uses or combination of uses that maintain the existing character and property values of the village, and promote the public health, safety, comfort, and general welfare of its residents.

7. Promotion of long term planning pursuant to a master plan which will allow harmonious and compatible land uses or combination of uses with surrounding areas.

F. The development of village owned buildings or property shall be exempt from the requirements of this section. (Ord. 3587, 2-29-2016)

10-19-2: GENERAL PROVISIONS:

A. No development of twenty thousand square feet or more of land area or gross floor area and no multi-family housing of any size shall be permitted unless approved as a planned development in accordance with this chapter. Provided, however, that: 1) this chapter shall not apply to the construction, reconstruction or remodeling of one single-family detached dwelling unless the proposed project is submitted pursuant to subsection B of this section, and 2) this chapter shall not apply to the reconstruction or restoration of any existing structure which is damaged to the extent of less than fifty percent of its value unless the proposed project is submitted pursuant to subsection B of this section.

The reconstruction or restoration of any existing multi-family housing which is damaged to the extent of fifty percent or more of its value shall be governed by this chapter and not subsection 10-5-7A2 of this title.

B. The development of any parcel or tract of land in any zoning district, irrespective of size, may be submitted to the village for consideration as a planned development.

C. Approval of a planned development permit must be obtained in accordance with the provisions of this section if both of the following conditions exist:

1. The proposed development involves a parcel of land held in common ownership with a contiguous parcel which obtained approval as a planned development within three years prior to the date of this application; and

2. The parcel proposed for development, when combined with the contiguous parcel that is held in common ownership with the subject parcel, equals or exceeds the general provisions contained in subsection A or B of this section.

D. Each planned development should be presented and judged on its own merits. It shall not be sufficient to base justification for approval of a development upon an already existing planned development except to the extent such development has been approved as part of a master plan.

E. The burden of providing evidence and persuasion that any planned development permit is necessary and desirable shall in every case rest with the applicant.

F. Buildings and uses or combination of uses within a planned development shall be limited solely to those approved as part of the zoning ordinance granting a planned development permit provided, however, that any buildings and uses or combination of uses in compliance with the master plan approved as part of the zoning ordinance granting a planned development permit may be approved by the development review board and the village board of trustees.

G. Any applicant shall be subject to a penalty of up to seven hundred fifty dollars per day to be assessed against the applicant and recorded as a lien against the applicant's property in the village for failure to comply with any condition, contingency or master plan submitted by the applicant or imposed by the village to comply with this chapter. (Ord. 3587, 2-29-2016)

10-19-3: STANDARDS FOR REVIEW:

An application for approval as a planned development shall be granted by the board of trustees only if it finds that the applicant has demonstrated that at a minimum the proposed use or combination of uses complies with the following standards:

A. The proposed use or combination of uses is consistent with the goals and policies of the comprehensive plan;

B. The establishment, maintenance, or operation of the use or combination of uses will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the residents of the village;

C. The proposed use or combination of uses will not diminish the use or enjoyment of other property in the vicinity for those uses or combination of uses which are permitted by this zoning title;

D. The establishment of the proposed use or combination of uses will not impede the normal and orderly development and improvement of surrounding properties for uses or combination of uses

otherwise permitted in the zoning district;

E. The proposed use or combination of uses will not diminish property values in the vicinity;

F. Adequate utilities, road access, drainage, police and fire service and other necessary facilities already exist or will be provided to serve the proposed use or combination of uses;

G. Adequate measures already exist or will be taken to provide ingress and egress to the proposed use or combination of uses in a manner that minimizes traffic congestion in the public streets;

H. The proposed use or combination of uses will be consistent with the character of the village;

I. Development of the proposed use or combination of uses will not materially affect a known historical or cultural resource;

J. The design of the proposed use or combination of uses considers the relationship of the proposed use or combination of uses to the surrounding area and minimizes adverse effects, including visual impacts of the proposed use or combination of uses on adjacent property;

K. The design of the proposed use or combination of uses promotes a safe and comfortable pedestrian environment;

L. The applicant has the financial and technical capacity to complete the proposed use or combination of uses and has made adequate provisions to guarantee the development of any buffers, landscaping, public open space, and other improvements associated with the proposed use or combination of uses;

M. The proposed use or combination of uses is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the village, except to the extent that such burden is balanced by the benefit derived by the village from the proposed use; and

N. The proposed use or combination of uses will meet the objectives and other requirements set forth in this chapter.

O. Except as provided in subsection 10-19-4B of this chapter, no planned development containing multi-family housing shall be approved unless the following standards are met:

1. At least 2.5 parking spaces per dwelling unit are provided for. This requirement may be met by a contract, easement or other device providing permanent rights to off site parking; and

2. No less than two thousand eight hundred square feet of land area shall be provided for each residential unit. A parking area which meets the requirements of subsection O1 of this section may be used in meeting this requirement; and

3. One of the following criteria is met:

   a. If the underlying zoning district is C1, C2 or C3, the proposed development provides for space devoted exclusively to retail sales;

   b. The total number of parking spaces on the site is increased from that existing at the time of the application.

4. The requirements of this subsection O may be met using more than one site within the village and as part of a master plan submitted by the applicant with the application. (Ord. 3587, 2-29-2016)

10-19-4: SITE DEVELOPMENT ALLOWANCES:

A. Site development allowances, i.e., alterations or variations from the underlying zoning provisions set forth outside this chapter may be approved provided the applicant specifically identifies each such site development allowance and demonstrates how each such site development allowance would be compatible with surrounding development and is in furtherance of the stated objectives of this section.

B. A waiver may be granted for any of the requirements set forth in subsection 10-19-3O of this chapter for any planned development containing multi-family housing which replaces an existing structure on the same site containing multi-family housing or submitted by the applicant as part of a master plan. (Ord. 3587, 2-29-2016)

10-19-5: PROCEDURES:

The following steps are provided to assure the orderly review of every planned development application in a timely and equitable manner:

A. Prefiling Review And Transmittal Of Application:

1. Conference:

a. A prospective applicant, prior to submitting a formal application for a planned development, shall meet for a prefiling conference(s) with the zoning administrator and any other village official designated by the village administrator. The purpose of the conference(s) is to help the applicant understand the planned development process, comprehensive plan, the zoning title, the site development allowances, the standards by which the application will be evaluated, and the application requirements.

b. After the initial prefiling conference, the prospective applicant shall introduce their project to the village board of trustees. The village board may provide feedback to the applicant and shall refer the application to the village's economic development commission in accordance with the village's policy of economic development commission duties pertaining to development.

c. After reviewing the planned development process, the applicant may request a meeting with the village staff and the development review board to discuss a request for waiver of any application requirement which in the applicant's judgment should not apply to the proposed development. Such request shall be made in writing prior to the submission of the formal application documents.

d. All requests for waiver shall be reviewed and acted upon by the development review board. A final determination regarding the waiver shall be given to the prospective applicant within five working days following the completion of the development review board's deliberation and decision.

e. The applicant, prior to submitting a formal application for a planned development, may be required to schedule a meeting to discuss the proposed development and its impact on area residents. If such a meeting is required, the applicant shall send a written notice of the meeting to all property owners within five hundred feet of the proposed development. Such notice shall be mailed not less than fifteen days prior to the date of the meeting. A copy of the notice and mailing list shall be provided to the zoning administrator. A written summary of comments made at the meeting shall be maintained and submitted by the applicant with the application.

2. Development Review Board: The zoning administrator shall confer with the chairman of the development review board on all applications. Upon the determination of both the zoning administrator and the chairman, the development review board may conduct its own prefiling conference(s).

3. Filing Of Application: Following the completion of the prefiling conference(s), the applicant shall file an application for a planned development in accordance with section 10-19-6 of this chapter. The zoning administrator may deliver copies of the application to other appropriate village departments for review and comment.

4. Deficiencies: The zoning administrator shall determine whether the application is complete. If the zoning administrator determines that the application is not complete, he shall notify the applicant in writing of any deficiencies and shall take no further steps to process the application until the deficiencies are remedied.

5. Report On Compliance: A copy of the complete application and a written report incorporating the comments of village staff and other agencies regarding the compliance of the proposed development with the requirements and standards of this section shall be delivered to the development review board prior to the public hearing.

6. Determination Not Binding: Neither the zoning administrator's determination that an application is complete nor any comment made by the zoning administrator, staff or the development review

board at a prefiling conference or as part of the review process shall be intended or construed as a formal or informal recommendation for the approval of a planned development permit for the proposed development, or component part thereof, nor shall be intended or construed as a binding decision of the village, the development review board or any staff member.

B. Review And Action By The Development Review Board:

1. Upon receiving the report from the zoning administrator, the development review board shall hold at least one public hearing on the proposed planned development. Notice of the public hearing shall be provided and the public hearing shall be conducted in accordance with the provisions of this section, state law and rules of procedure adopted by the development review board, which rules shall not be inconsistent with this section and state law.

2. Notice of the required public hearing shall be published by the village fifteen to thirty days before the scheduled hearing in a newspaper published in the village or if there is none, then in a newspaper of general circulation in the village and shall contain the following information:

   a. The identification number designation of the application;

   b. The date and time of the public hearing;

   c. The location of the public hearing; and

   d. The general location of the property, the legal description of the property and its street address, if applicable, and a short description of the proposed development and purpose of the public hearing.

3. Notice of the required public hearing shall also be provided by the village by posting a sign or signs on the property no less than fifteen days before the public hearing. The sign shall be weatherproof and contain the following information:

   a. The date and time of the public hearing;

   b. The location of the public hearing;

   c. The general location of the property including street address, if applicable; and

   d. A short description of the proposed development and purpose of the public hearing.

   The removal or knocking down (by the village or others) of the sign after posting but before the hearing shall not invalidate, impair, or otherwise affect any planned development permit subsequently granted following such public hearing.

4. Notice of the public hearing and the application shall be posted to the village's website at least fifteen days before the public hearing.

   The removal or unavailability of such notice on the village's website prior to the start of the public hearing, shall not invalidate, impair, or otherwise affect any planned development permit subsequently granted following such public hearing.

5. Notice of the required public hearing shall also be provided by the applicant by regular mail to the owners of record of the property which is the subject of the application (if different than the applicant), and the owners of all property within five hundred feet of the subject property as shown on the written list provided by the applicant pursuant to the requirements of 65 Illinois

Compiled Statutes 5/11-13-7 of the Illinois municipal code (such notice should be sent to the owners as recorded in the office of the recorder of deeds or the registrar of zoning ordinances of Cook County and as they appear from the authentic tax records of Cook County, as shown on the list prepared by the applicant as required in 65 Illinois Compiled Statutes 5/11-13-7 of the Illinois municipal code). The applicant shall be required to submit to the village a search by a reputable zoning ordinance company or other evidence satisfactory to the village indicating the identity of all such owners required to receive notice, and an affidavit certifying that the applicant has complied with the requirements of 65 Illinois Compiled Statutes 5/11-13-7 of the Illinois municipal code. Such notice shall contain the information as is required in subsection B2 of this section and shall be mailed not more than thirty nor less than fifteen days prior to the date of the public hearing. The notice shall also include the name and address of the applicant for the planned development. The applicant shall provide the zoning administrator with proof of mailing of the mailed notice required herein before the public hearing starts.

6. The development review board shall review the application, the standards and requirements established by this section, the report of the zoning administrator, and any oral and written comments received by the development review board before or at the public hearing. Within forty five days following the close of the public hearing, the development review board shall make specific written findings addressing each of the standards set forth in section 10-19-3 of this chapter and transmit such findings, together with a recommendation of approval, approval with conditions, or disapproval to the board of trustees.

C. Review And Action By The Board Of Trustees:

1. The applicant shall, at its own cost, give advance written notice of the first meeting of the village board where the planned development application will be considered by regular mail to the owners of record of the property which is the subject of the application (if different from the applicant), and the owners of all property within five hundred feet of the subject property, not less than seven days prior to the date of the first village board meeting. This requirement is enacted to assure the most complete public notice possible for the proposed application for a planned development, it is not required by state law. Accordingly, any failure to comply with this subsection shall not invalidate, impair or otherwise affect any planned development permit subsequently granted following such meetings. The applicant shall provide the zoning administrator with proof of mailing of the mailed notice required herein, which proof shall be provided prior to the start of the first meeting of the village board where the planned development application will be considered.

2. Within seven to sixty days after receiving the receipt of the report and recommendation of the development review board, and without further public hearing, the board of trustees may deny the application, may refer the application to the development review board for further review, may postpone further consideration pending the submittal of additional information including any application requirement previously waived by the development review board or may adopt a zoning ordinance approving the planned development permit.

3. Any action taken by the board of trustees pursuant to subsection C2 of this section shall require the concurrence of a majority of all the trustees of the village then holding office, including the village president; however, if the planned development fails to receive the approval of the development review board, the ordinance shall not be approved except by a favorable majority vote of all trustees then holding office.

4. In approving a planned development permit, the board of trustees may attach such conditions to the approval as it deems necessary, or modify conditions imposed by the development review board, to have the proposed use or combination of uses meet the standards set forth in section

10-19-3 of this chapter and to prevent or minimize adverse effects on other property in the immediate vicinity. Such conditions may include, but are not limited to: limitations on size, bulk and location; requirements for landscaping, stormwater management, signage, outdoor lighting, provisions for adequate ingress and egress; hours of operation; and such other conditions as the village board may deem to be in furtherance of the objectives of this section. (Ord. 3587, 2-29-2016)

10-19-6: APPLICATION REQUIREMENTS:

A. An application for a planned development may only be filed by one who has an ownership interest, or the agents thereof; or any contract purchaser or anyone holding an option to purchase the parcel of land on which the use or combination of uses is to be located; or any unit of government which either owns the parcel or which is not the owner of the parcel but proposes to acquire the parcel by purchase, gift, or condemnation; or any developer or development team which has entered into a redevelopment agreement with the unit of local government seeking to acquire the parcel.

B. Applications for a planned development shall be filed with the zoning administrator in such form and accompanied by such information, with sufficient copies, as shall be established from time to time by the village. Every application shall contain at a minimum the following information and related data:

1. The names and addresses of the owner of the subject property, the applicant and all persons having an ownership or beneficial interest in the subject property and proposed development.

2. A statement from the owner, if not the applicant, approving the filing of the application by the particular applicant.

3. A survey, legal description and street address of the subject property.

4. A statement indicating compliance of the proposed development to the comprehensive plan; and evidence of the proposed project's compliance in specific detail with each of the standards and objectives of this section.

5. A scaled site plan showing the existing contiguous land uses, natural topographic features, zoning districts, public thoroughfares, transportation and utilities.

6. A scaled site plan of the proposed development showing lot area, the required yards and setbacks, contour lines, common space and the location, bulk, and lot area coverage and heights of buildings and structures, number of parking spaces and loading areas.

7. Schematic drawings illustrating the design and character of the building elevations, types of construction, and floor plans of all proposed buildings and structures. The drawings shall also include a schedule showing the number, type, and floor area of all uses or combination of uses, and the floor area of the entire development.

8. A landscaping plan showing the location, size, character and composition of vegetation and other material.

9. The substance of covenants, easements, and other restrictions existing and any to be imposed on the use of land, including common open space, and buildings or structures.

10. A schedule of development showing the approximate date for beginning and completion of each stage of construction of development.

11. A statement acknowledging the responsibility of the applicant to record a certified copy of the zoning ordinance granting the planned development permit with the Cook County recorder of deeds' office and to provide evidence of said recording to the village within thirty days of passage in the event the proposed planned development is approved by the village board.

12. A professional traffic study acceptable to the village showing the proposed traffic circulation pattern within and in the vicinity of the area of the development, including the location and description of public improvements to be installed, including any streets and access easements.

13. A professional economic analysis acceptable to the village, including the following:

    a. The financial capability of the applicant to complete the proposed development;

    b. Evidence of the project's economic viability; and

    c. An analysis summarizing the economic impact the proposed development will have upon the village.

14. Copies of all environmental impact studies as required by law.

15. An analysis reporting the anticipated demand on all village services.

16. A plan showing off site utility improvements required to service the planned development, and a report showing the cost allocations for those improvements.

17. A site drainage plan for the developed tract.

18. A list of the site development allowances sought.

19. A written summary of residents' comments pertaining to the proposed application. This summary shall serve as the official record of the meeting that the applicant shall be required to hold with all property owners within five hundred feet of the proposed development. This meeting shall be held prior to the submission of the application for a planned development. The applicant is further required to provide evidence that a notice of this meeting was sent by regular mail to all affected property owners at least fifteen days before the required meeting date.

C. The applicant may submit a written request for waiver of any application requirement in accordance with subsections 10-19-5A1c and A1d of this chapter. The decision of the development review board shall be final regarding the approval or denial of the request. However, the development review board's decision regarding the request for a waiver of an application requirement does not preclude the village board from requesting that same information or any additional information it deems applicable for its review of the planned development application.

D. Every application must be accompanied by a fee in such amount as established from time to time by the village board to defray the costs of providing notice and contracting with independent professionals to review applications as required. Such professional costs may include, but are not

limited to, engineering, legal fees, traffic analyses, environmental impact studies, land use design or other similarly related professional studies. Additional materials may be required during the review of a proposed planned development if determined necessary by the development review board or the village board. (Ord. 3587, 2-29-2016)

10-19-7: EFFECT OF APPROVAL OR DENIAL:

A. Approval of the planned development permit by the board of trustees authorizes the applicant to proceed with any necessary applications for building permits, certificates of occupancy, and other permits which the village may require for the proposed development. The zoning administrator shall review applications for these permits for compliance with the terms of the planned development permit granted by the board of trustees. No permit shall be issued for development which does not comply with the terms of the planned development permit.

B. The village board shall direct the zoning administrator to revise the official zoning map to reflect the existence and boundaries of each planned development permit granted.

C. An approval of a planned development permit by the board of trustees shall be null and void if the recipient does not file an application for a building permit for the proposed development within nine months after the date of adoption of the zoning ordinance approving the development permit.

D. An approval of a planned development permit by the board of trustees shall be null and void if construction has not commenced within fifteen months and is not completed within thirty three months after the date of adoption of the zoning ordinance approving the planned development permit.

E. An approval of a planned development permit with a phasing plan shall be null and void if construction has not commenced or is not completed in accordance with the terms of that phasing plan.

F. An approval of a planned development permit with a master plan shall be null and void if construction has not commenced or is not completed in accordance with the terms and conditions contained in the master plan.

G. An extension of the time requirements stated in subsections C, D, and E of this section may be granted by the board of trustees for good cause shown by the applicant, provided a written request is filed with the village at least four weeks prior to the respective deadline.

H. A planned development permit shall be null and void if the use or combination of uses for which the approval was granted ceases for a period of one year.

I. No application for a planned development which was previously denied by the board of trustees shall be considered by the development review board or the board of trustees if it is resubmitted in substantially the same form and/or content within two years of the date of such prior denial.

1. The zoning administrator shall review the application for a planned development and determine if the application is or is not substantially the same. An applicant has the right to request a hearing before the village board to appeal the determination of the zoning administrator, provided a petition for appeal is filed in writing to the zoning administrator within ten days of the decision.

2. The board shall affirm or reverse the determination of the administrator regarding whether the new application is in substantially the same form within thirty days of receipt of a petition for appeal.

3. If it is determined that the new application is not substantially in the same form, then the applicant is entitled to submit an application and have it reviewed in accordance with the provisions of section 10-19-5 of this chapter. (Ord. 3587, 2-29-2016)

10-19-8: AMENDMENTS AND ALTERATIONS TO APPROVED PLANNED DEVELOPMENT PERMITS:

A. Except as provided in subsection B of this section, any modifications to a project operating under an approved planned development permit or any addition to or expansion of a project operating under an existing planned development permit shall require separate review and approval under the provisions of this section.

B. A minor change is any change in the site plan or design details of a project operating under an approved planned development permit which is consistent with the standards and conditions applying to the project and which does not alter the concept or intent of the project.

A change is not minor if it, with regard to the approvals granted in the planned development permit:

1. Increases the density;

2. Increases the height of buildings, unless the proposed height change is less than or equal to the lesser of: a) the height permitted in the property's zoning district regulations in effect as of the date the planned development permit is approved, or b) the height permitted in the property's zoning district regulations in effect as of the date the minor amendment is requested;

3. Increases the footprint of a building;

4. Modifies the proportion of housing types;

5. Reduces the number of parking spaces;

6. Creates a greater demand or burden on village services or alters the alignment of roads;

7. Increases the amount of stormwater conveyed to the village's stormwater sewer system; or

8. Amends final governing agreements, provisions or covenants, or provides any other change inconsistent with any standard or condition imposed by the board of trustees in approving the planned development permit.

A minor change may be approved by the zoning administrator without obtaining separate approval by the board of trustees. In addition, the village board may, after reviewing the request for a minor change made by the village staff or the applicant, direct the village administrator to process the minor change administratively. A minor change that would constitute a variation under the zoning title may only be approved at the direction of the village board. Any minor change approved by the zoning administrator shall be reported to the village board. (Ord. 3587, 2-29-2016)

Village of River Forest
Village Administrator's Office
400 Park Avenue
River Forest, IL 60305
Tel: 708-366-8500

MEMORANDUM

Date: June 8, 2018

To: Development Review Board

From: Lisa Scheiner, Assistant Village Administrator

Subj: Concordia University Chicago Planned Development Amendment – Cellular Antenna

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The Development Review Board (DRB) is scheduled to hold a public hearing on Thursday, June 21, 2018 at 7:30 p.m.

By way of background, the Village Board approved a planned development permit at Concordia University Chicago to construct a parking garage and to increase the height of the southwest corner of the parking garage to 75 feet to allow the installation of a stealth enclosure and cellular antennas. Now comes an application to increase the height of the southeast corner of the parking garage from 65 to 75 feet for the purpose of adding additional cellular antennas behind a new stealth enclosure and to modify the southwest façade to accommodate related equipment.

Section 10-19-8(A) of the River Forest Zoning Ordinances states that a change to an existing planned development is not minor if it increases the height of the building, unless the proposed height change is less than or equal to the lesser of: a) the height permitted in the property's zoning district regulations in effect as of the date the planned development permit is approved or b) the height permitted in the property's zoning district regulations in effect as of the date of the minor amendment is requested. The permit issued to increase the height of the southwest corner of the structure beyond the height allowed for a structure in the PRI does not apply to the requested height increase to the southeast corner of the structure. Therefore, this change constitutes a major amendment to the existing planned development.

In accordance with the Planned Development process articulated in the Municipal Code, the following have occurred:

Task	*Date*
Pre-Filing Conference with Staff	August, 2016
Project Introduced to Village Board	1/9/17
Pre-Filing Conference with the DRB	4/6/17 and 2/15/18

Notice of Neighbor Meeting Mailed	2/24/17
Neighbor Meeting Held	3/15/17
Technical Review Meeting with Staff	5/3/18
Notice of Public Hearing Mailed	5/23/18
Public Hearing Signage Posted at Site	6/5/18
Legal Notice in Wednesday Journal	6/5/18

Village Staff & Consultant Reviews

The Village's Police, Public Works and Fire Departments have reviewed the Planned Development application. A memorandum from each department is attached. Also attached is a review by the Village's Planning Consultant, John Houseal of Houseal Lavigne.

Standards of Review

There are 15 standards of review for the DRB to consider in reviewing the proposed project. The standards are listed in Section 10-9-3 of the Planned Development Ordinance, which is attached for the Board's reference.

Next Steps

The DRB shall make specific written findings of fact addressing each of the planned development standards of review. Following a vote by the DRB, the application will be presented to the Village Board according to the following *tentative* schedule:

Task	*Date*
DRB Meeting – Findings of Fact	6/21/18
Notice of Village Board Meeting Mailed	7/2/18
Village Board Review	7/9/18

Documents Attached

1. Memorandum from Houseal Lavigne
2. Memorandum from Police Chief James O'Shea
3. Memorandum from Public Works Director John Anderson
4. Memoranda from Fire Chief Kurt Bohlmann
5. Planned Development Application

Memorandum

To: Lisa Scheiner, Assistant Village Administrator

From: John Houseal, FAICP
Principal

Date June 11, 2018

Re: Planned Development Review
Concordia University Cellular Antenna Installation

Houseal Lavigne Associates has conducted a review of the proposed Concordia University cellular antenna installation, attached to the existing parking structure located along the eastern edge of the campus along Bonnie Brae Place, just north of the Thomas Street alignment. The applicant is proposing the addition of cellular antennae, related screening, and related equipment to the existing cellular installation and existing parking structure.

Comprehensive Plan and Zoning

The proposed planned development is consistent with the Comprehensive Plan and previously approved planned developments for the University and it's parking structure and cellular antenna installations. The proposed planned development does not change or intensify the use or activity of the University. Further, the proposed planned development conforms to the intent of the PRI District.

Although no new site development allowances (SDAs) are required to accommodate the proposed cellular antenna installation, it is a modification to the existing parking structure and involves the relocation of one parking space, and therefore requires Planned Development approval.

Parking Structure Appearance

While the proposed new cellular antenna installation will result in an additional 10' in height at the southwest corner of the parking structure, the additional 10' at this corner (resulting 54' height) is still less than the overall existing height of the structure (64' at the southwest corner), and therefore does not require an SDA for height. Furthermore, the additional 10' in height accommodates screening of the proposed new cellular antenna in a manner consistent with the overall design of the structure and the design approach used to screen the existing cellular equipment on the southwest corner of the parking structure.

The proposed modification to the west elevation at the southwest corner to screen additional cellular antennae will not alter the height of the parking structure and the small protrusion cannot be seen from public rights-of-way. This modification will have virtually no impact on the appearance of the parking structure. Again, no SDA is required for this modification. The applicant has also indicated that additional electronic equipment will be located within the parking structure or immediately west of the structure between the parking structure and the University building to the west. Neither location will be visible from public-rights-of-way or adjacent properties, or negatively impact University operations.

Relocated Parking Space

To accommodate the additional cellular antenna and accompanying equipment, the applicant is proposing to relocate one of the parking spaces from the top level of the parking structure to another location on the campus. At the time of this review the applicant had not identified the location or design of the relocated parking space. The applicant must provide the location and design of the proposed relocated parking space. The relocated parking space is essential to prevent a reduction in the total number of parking space on site.

Conclusion

The proposed additional cellular antenna installation has virtually no impact from an urban planning perspective. It is consistent with the Comprehensive Plan, will not change the character of intensity of use of the University, and incorporates appropriate design and application to minimize the visual impact of the antennae. No SDAs are required to accommodate the request. The applicant must identify, and the Village must approve, the location and design of the relocated parking space.

Village of River Forest

POLICE DEPARTMENT MEMORANDUM

TO: **Lisa Scheiner – Asst. Village Administrator**

FROM: **James O'Shea - Chief of Police**

DATE: **June 12, 2018**

SUBJECT: **Development Application Garage Cellular Antenna – Concordia Univ.**

I have reviewed the Concordia University – Garage Cellular Antenna development application, and do not foresee any concerns from a law enforcement/public safety perspective.

INCORPORATED 1880
RIVER FOREST
Proud Heritage
Bright Future

MEMORANDUM

DATE: May 30, 2018

TO: Eric Palm, Village Administrator

FROM: John Anderson, Director of Public Works

SUBJECT: Concordia University Planned Development Verizon Antenna Installation

---

After reviewing the Concordia University Planned Development Application, I have determined that the proposed project will have a minimal impact on the Public Works Department and its ability to deliver services to the community. However, the following engineering comments should be taken into consideration:

1. The addition of the equipment housing at the southeast corner of the garage appears to take up a parking space. I believe it was indicated that this space was accommodated elsewhere but this should be verified to ensure that no off-street parking spaces are lost due to this installation.
2. The door to get into the aforementioned housing appears to open into the adjacent parking stall. This will prevent access if a car is parked here. The door should be moved to the north wall of the housing so that it opens toward the drive aisle.

MEMORANDUM

TO: Lisa Scheiner
Assistant Village Administrator

FROM: Kurt Bohlmann
Fire Chief

DATE: May 29, 2018

SUBJECT: Concordia University Parking Deck Structure construction project

After a cursory review of the Parking Deck Structure project proposed for Concordia University, the added and remodeled areas are accessible, if need be. The predominance of mechanical and power equipment is located at ground level.

At this time and with the current information provided, I believe this project will not require any substantial changes to the Fire Department's response or ability to protect this structure.

I. Overview

A letter from University President Dr. Daniel Gard follows this page.

The rest of this page is intentionally left blank.

CONCORDIA UNIVERSITY CHICAGO
1864

7400 Augusta Street
River Forest
Illinois 60305-1499
708-771-8300
fax 708-209-3176
www.CUChicago.edu

April 9, 2018

Chairman Frank Martin
Development Review Board
Village of River Forest
400 Park
River Forest, IL 60305

Re: Application for Planned Development
Verizon cell site installation

Dear Chairman Martin and Members of the Development Review Board:

Concordia University Chicago requests permission to install a new cellular antennae site for Verizon Wireless on our parking garage.

The installation is designed to match the existing façade of the parking structure using architectural screening to hide the cellular antennae arrays. We believe that this installation will be of a great benefit to the River Forest Community Verizon customers because of improved coverage in the northeast corner of the Village.

We look forward to meeting with the Development Review Board regarding this application.

Respectfully submitted,

The Rev. Daniel L. Gard, Ph.D.
President

II. Names and Addresses of Owners and Applicants

a. Name and Addresses of Owners of Properties

Concordia University Chicago[1]
7400 Augusta Street
River Forest, Illinois 60305-1499

b. The applicant

Concordia University Chicago
7400 Augusta Street
River Forest, Illinois 60305-1499

The rest of this page is intentionally left blank.

[1] Also referred to from time to time simply as “Concordia” or “University.”

III. Statement from Owner

The owner of the property, Concordia University Chicago, is the applicant for the Planned Development.

The rest of this page is intentionally left blank.

IV. Survey, Legal Description, Street Address

Survey

The surveys for Concordia University Chicago, 7400 Augusta, are contained on the page following the legal descriptions. A Plat of Survey for 7400 Augusta Street, dated January 11, 2017, in a scale of 1" to 40', has been submitted to the Village staff for detailed reference. This detailed plat has not been reduced to 11" x 17" format.

The following pages are the legal description for the Concordia campus and a survey of the University campus.

The rest of this page is intentionally left blank.

Legal Descriptions and Legal Addresses

7400 Augusta
River Forest, Illinois
[Concordia University Chicago]

BLOCKS 2, 3, 4, 5, 6 AND 7 IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6 AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK COUNTY, ILLINOIS EXCEPTING THEREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESTATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BRAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THEEENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

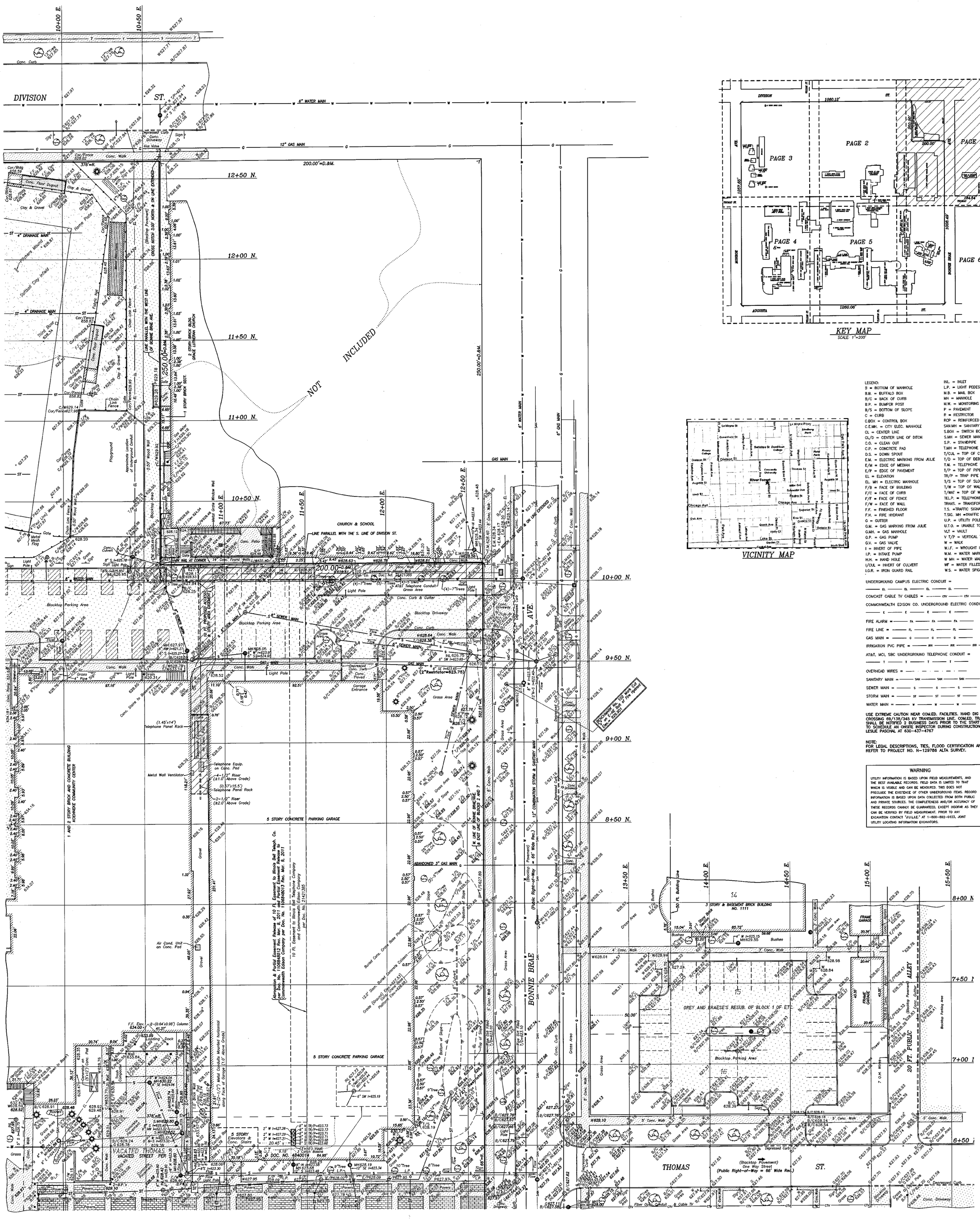
2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.

NATIONAL SURVEY SERVICE, INC.

Plat of Topography

KNOWN AS: 7400 W. AUGUSTA STREET, RIVER FOREST, ILLINOIS.
TOPOGRAPHY FOR: CONCORDIA UNIVERSITY.

SURVEY NO.		DATE:
N-125763	TOPOGRAPHY	NOV. 10, 2004
N-127993	TOPOGRAPHY	MAR. 12, 2009
	UTILITY INFORMATION ADDED	JUL. 27, 2009
N-128446	UTILITIES	DEC. 10, 2010
N-128783	SURVEY & TOPOGRAPHY	JAN. 4, 2012
N-129291	SURVEY & TOPOGRAPHY	MAR. 21, 2014
N-129475	SURVEY & TOPOGRAPHY	OCT. 2, 2014
N-129786	TOPOGRAPHY	FEB. 12, 2016
N-129962	SURVEY	NOV. 22, 2016



SURVEY NO.		DATE:
N-129962	SURVEY	NOV. 22, 2016
N-129786	TOPOGRAPHY	FEB. 12, 2016
N-129475	SURVEY & TOPOGRAPHY	OCT. 2, 2014
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	UTILITY INFORMATION ADDED	JUL. 27, 2009
N-127993	TOPOGRAPHY	MAR. 12, 2009
N-125763	TOPOGRAPHY	NOV. 10, 2004

THERE ARE 582 REGULAR PARKING SPACES AND 0 HANDICAPPED PARKING SPACES INSIDE PARKING GARAGE

PARKING SPACES IN CAMPUS OUTSIDE OF GARAGE

(2H) DENOTES NUMBER OF HANDICAPPED PARKING SPACES
TOTAL NUMBER OF HANDICAPPED PARKING SPACES =19

(25) DENOTES NUMBER OF REGULAR PARKING SPACES
TOTAL NUMBER OF REGULAR PARKING SPACES =228

NOTE:
ELEVATIONS ARE SHOWN IN RELATION TO BENCH MARK FROM OAK PARK TOWNSHIP (T-39-N AND R-13-E) COOK COUNTY HIGHWAY DEPARTMENT NO. 160701
ELEV. = 629.518 (N.G.S DATUM)
BENCH MARK LOCATED NEAR NORTHWEST CORNER OF SECTION 7, SOUTHEAST CORNER MAPLE AND SUPERIOR STREETS.
A STANDARD COUNTY DISK SET IN CONCRETE MONUMENT. 34.40 FT. EAST OF CENTERLINE OF MAPLE AVE. AND 20.85 FT. SOUTH OF CENTER-LINE OF SUPERIOR ST., 17.75 FT. NORTHWEST OF NORTHWEST CORNER OF BUILDING NO. 328 MAPLE AVE.
ELEVATIONS ARE SHOWN THUS: X 628.11

HATCHING LEGEND

REVISED UNDERGROUND UTILITY TUNNEL

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

ABBREVIATION LEGEND:

BLDG. = BUILDING
CONC. = CONCRETE
COR. = CORNER
D = DEED
DOC. NO. = DOCUMENT NUMBER
M (MEAS) = MEASURED
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCING
R = Rec. = RECORD
SECT. = SECTION
NE = NORTHEAST
NW = NORTHWEST
SE = SOUTHEAST
SW = SOUTHWEST
E = EAST
N = NORTH
S = SOUTH
W = WEST

IMPORTANT

NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE PLAT.

DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF. THUS: 4.57' MEANS 4 FEET AND 57/100 FEET, OR IN FEET AND INCHES, THUS: 4'-6 13/16"

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT REFER TO YOUR ABSTRACT DEED CONTRACT AND LOCAL BUILDING LINE REGULATIONS. WE RECOMMEND THAT THE MOST RESTRICTIVE LINES BE USED IN PLACEMENT OF BUILDING.

CONTRACTORS AND BUILDERS SHOULD BE NOTIFIED TO CAREFULLY TEST AND COMPARE ON THE GROUND THE POINTS, MEASUREMENTS, ETC. AS NOTED ON THIS PLAT WITH THE STAKES, POINTS, ETC. GIVEN ON THE PROPERTY BEFORE BUILDING ON THE SAME, AND AT ONCE REPORT ANY SEEMING OR APPARENT DIFFERENCE BETWEEN THE SAME TO THE SURVEYORS SO THAT THE MISUNDERSTANDING OR DISPLACEMENT OF POINTS MAY BE CORRECTED BEFORE DAMAGE IS DONE.

UTILITY DATA OTHER THAN PHYSICAL EVIDENCE VISIBLE ON THE GROUND IS SHOWN AS PER RECORDS OBTAINED FROM PRIVATE AND PUBLIC SOURCES AS INDICATED AND SHOULD BE ASSUMED TO BE APPROXIMATE.

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State of Illinois, County of Cook. } ss.

We Hereby Certify that the measurements shown hereon are based upon actual field survey and that the above plat is a true representation of said topography. Dimensions are corrected to a temperature of 62° Fahrenheit. This professional service conforms to the current Illinois minimum standards for topographic surveys.

NATIONAL SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS
30 S. MICHIGAN AVENUE, SUITE 200
CHICAGO, ILLINOIS 60603
WWW.NATIONALSURVEYSERVICE.COM
TEL: 312-630-9480 FAX: 312-630-9484

BY Joseph A. Lima
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3080
jlima@nationalsurveyservice.com DRAWN BY S.M.

JOSEPH A. LIMA 3080 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS CHICAGO, IL
MY LICENSE EXPIRES 11/30/2018

PROTECTION

CIVIL 3D PROJECTS 2016\N129962\9962-TOPO-P1.DWG CD-34
9962-TOPO-XREF.DWG

V. Statement Indicating Compliance

Ordinance Requirements

Various provisions of the Village of River Forest Zoning Ordinance[2] require a Planned Development applicant to demonstrate how the proposed development complies with the Village's planning goals, standards and objectives. Section 10-19-6.B.4 requires that the applicant submit:

> …a statement indicating compliance of the proposed development to the comprehensive plan; and evidence of the proposed project's compliance in specific detail with each of the standards and objectives of this section.

In addition, Section 10-19-4.A provides that site development allowances may be approved:

> …provided the applicant specifically identifies each such site development allowance and demonstrates how each such site development allowance would be compatible with surrounding development and is in furtherance of the stated objectives of this section.

The "objectives" of the planned development Section of the Zoning Ordinance are set forth at Section 10-19-1.E. The "standards" are set forth at Section 10-19-3. Concordia addresses below the goals of the Comprehensive Plan,[3] as well as these standards and objectives.

The application seeks approval for a modification of the west side of the stairway on the southwest corner of the parking structure and the installation of a new enclosure built in the southeast corner of level five of the parking structure along Bonnie Brae. This application does not seek an addition to the height at the southwest stairwell approved by Ordinance No, 2837 dated June 29, 1999, Ordinance No. 2874 dated April 10, 2010, or Ordinance No. 3335A, dated July 12, 2010. Concordia refers to and relies upon its statements indicating compliance filed in connection with its application for the planned development and its applications filed in January 2000 and in May 2010 for an amendment to the planned development relating to the parking garage and the initial cellular facility installation. This amendment contemplates approximately ten feet in height added to the top floor of the southeast corner of the parking garage to accommodate a stealth enclosure of an antenna array. This amendment requests the relocation of one parking stall from the parking garage to another location on the Concordia campus and does not contemplate any reduction in the total number of off street parking spaces on the campus=-provided the proposed location for Verizon's required equipment is approved. Concordia anticipates the ground based equipment

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[2] Village Code, River Forest, Illinois, Title 10 (as amended).

[3] Comprehensive Plan, Village of River Forest (November 2003), Section 4 Community Facilities, "Concordia University" and "Dominican University," page 28.

would be located along the west side of the parking structure where equipment from previously approved carriers is already located.

Concordia University's Proposed Change to the Planned Development is Consistent with the Relevant Goals and Objectives of the Village's Comprehensive Plan

The University's proposal would significantly improve cellular telephone and wireless communication services both to students, faculty, and staff of the University and to the neighborhood as a whole. In the introduction, the Comprehensive Plan identifies that as one of its goals is to "serve as a marketing tool to promote River Forest's unique assets, and it can be used to help attract new families and desirable new investment and development to the community."

Society today, particularly among students and younger people, relies more and more on cellular telephones and internet services and the ability of these communication devices to send and receive email and text messages. Concordia's proposed amendment would fill in what Verizon has identified as gaps in its coverage area to provide better, clearer, and more complete coverage and capacity to the north portion of River Forest and Oak Park.

In particular, Concordia's proposal meets three of the specific goals set forth in Section 2 of the Comprehensive Plan:

> Goal 2: *Achieve a balanced pattern of development in the community that provides for well designed, compatible and economically sustainable residential, commercial, and public areas of the Village.*
> The rationale for this goal notes a high level of consensus to improve appropriate sites in a manner which meets recreational and lifestyle needs of Village residents.

Concordia's proposal satisfies this goal by improving cellular telephone and data service to the campus and the surrounding community. Concordia's plan improves the telephone and mobile email and text-message capability in an unobtrusive manner through the use of RF (radio frequency) transparent stealth screening antenna arrays located on the west side of the southwest stairway and on top of the parking garage at the southeast corner. The stealth screening would be aesthetically compatible with the existing parking garage.

> Goal 3: *Protect and enhance the residential neighborhoods, trees, parks and open spaces, and community and institutional facilities as key amenities that contribute greatly to the overall character and quality of life in River Forest.*
> The rationale expressed for this goal cites the need to contribute to the area's overall desirability as a place to live and visit.

Concordia's proposal satisfies this goal by improving the ability of students, faculty, and staff and University neighbors and visitors to communicate by cellular telephone, mobile email, the internet, and text messaging.

Goal 5: *Continue to enhance and improve the quality of life for Village residents through the provision of quality community facilities and services.*
The rationale for this goal states: *The provision of quality community facilities and services demonstrates the Village's commitment to its residents and strengthens the Village's identity as a strong residential community.*

The improved wireless voice and data communication described above that would result from approval of Concordia's proposal would satisfy this goal by improving cellular and wireless coverage for Verizon subscribers.

Concordia University Chicago's Proposed Improvement Plan Meets the Village's Standards for Planned Developments

Concordia addresses the Standards for Review set forth at Section 10-19-3 of the Zoning Ordinance as follows:

A. The proposed use or combination of uses is consistent with the goals and policies of the Comprehensive Plan.

The University has addressed these matters above.

B. The establishment, maintenance, or operation of the use or combination of uses will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the residents of the Village.

The proposed use would not have any adverse impact to the public health, safety, comfort, morals, or general welfare of Village residents. Rather, Concordia believes the increased level of mobile communications could increase public safety by making communication with emergency services more reliable, not only for the University community, but also for the surrounding neighborhood. The increased cellular and wireless communication capability that would result from approval of this project would improve the quality of life for faculty, staff, students, and University neighbors by providing more reliable communication service.

C. The proposed use or combination of uses will not diminish the use or enjoyment of other property in the vicinity for those uses or combination of uses which are permitted by the Zoning Title of the Village.

Concordia's proposal should not diminish the use or enjoyment of other property in the neighborhood. The proposed location of the wireless voice and data antennas are on the west side of the southwest stairway and on top of the parking garage at the

southeast corner of the parking garage. The proposal also calls for RF transparent stealth screening that would lessen the visibility of the antenna arrays to residents or pedestrians and would be aesthetically compatible with the parking garage.

D. The establishment of the proposed use or combination of uses will not impede the normal and orderly development and improvement of surrounding properties for uses or combination of uses otherwise permitted in the zoning district.

Concordia does not believe this proposal would be any impediment to the development or improvement of surrounding properties. Rather, Concordia believes the increased wireless voice and data communication capability would benefit residents of the University community.

E. The proposed use or combination of uses will not diminish property values in the vicinity.

The University has been careful to plan this proposed improvement in a manner which would not generate negative external impacts, but instead enhance the neighborhood. The Village has previously determined that the parking garage benefited the University neighborhood by providing additional off-street parking. The Village has also previously determined that additional cellular facilities approved in 2010 would benefit the University and the neighborhood. This proposal does not impact the number of off-street parking spaces.

The University anticipates approval of this proposal would enhance rather than diminish the value of neighboring properties. The report of Michael Grimes dated February 12, 2018, regarding any economic impact on the neighborhood as a result of the construction of the proposed residence hall follows this page.

The rest of this page is intentionally left blank.

GRIMES REAL ESTATE SERVICES

1040 North Blvd., Suite 250
Oak Park, IL 60301
Phone 708-383-7900
mgrimes@grimesrealestate.com

February 12, 2018

Dr. Dennis Witte, Ph.D.
VP for Administration
Concordia University
7400 Augusta Street
River Forest, Illinois 60305

Re: Verizon Wireless project-Amended

Dear Dr. Witte;

As requested by you, I have inspected the site and reviewed plans to allow Verizon Wireless to install antennas and add a wall screen to two sections of the parking garage.

The parking garage is currently a 5-story structure on the west side of Bonnie Brae at the east boundary of the Concordia University campus. This project would add a 10-foot screened-in antenna section on the southeast corner of the garage, similar to the existing 10-foot section on the southwest corner of the same garage. In addition, there is to be a small addition of 10′ x 2′ x 8′ on the west elevation of the garage just below the existing antenna tower. Verizon Wireless requires a small antenna enclosure which would complement the existing stealth-style panels comprising the T-Mobile antenna section. The antennas would not be visible from the street, consistent with the T-Mobile antennas, and the exterior walls would be constructed to be similar to the wall screen on the existing tower on the southwest corner of the garage.

The height of the parking garage and existing tower extension is 65 feet 5 inches and the Verizon proposal would add 10 feet to the existing 44-foot section on the southeast corner above the stairwell resulting in a total of approximately 54 feet. This height is consistent with other structures on campus. The building height of the new residence hall south of the garage is 64 feet including the HVAC units and nearby Gross Hall has a height of 59 feet. In addition, the tower's location away from the public walkway would appear to hide the additional height from public view. These improvements would provide Verizon with superior service for better communication to their customers both on campus and in the Village of River Forest.

The purpose of this letter is a give an analysis summarizing the economic impact the planned development would have upon the Village of River Forest.

SUMMARY OF DEVELOPMENT

The proposed development will consist of a 10-foot section to be constructed on the southeast corner of the parking garage plus a small extension on the west elevation of the tower. This new section will be consistent with the existing tower which was amended in 2010 with a 17 x 20 structure. The small addition on the west elevation would be facing the college campus and away from public view. The exterior will be consistent with the wall screen on the existing tower on the southwest corner of the garage.

The site is zoned PRI, Public, Recreation & Institutional according to the Village of River Forest zoning ordinance and the improvements are assumed to be approved by the village and in compliance with the current ordinance.

ANALYSIS OF COMPARABLE PROJECT

To arrive at an opinion of the economic impact of this development, I have reviewed the effect, if any, on the real estate market after the construction of the 2010 T-Mobile structure and antennas on the same parking garage as the proposed development. That project consisted of a 17 x 20 foot structure approximately 65 feet high, above the elevator shaft on the southwest corner of the parking garage.

The following analysis will compare sales of properties which were within one half mile from the university before and after the cell tower addition in 2010 and analyze those sales in reference to sales in all of River Forest.

Sales of single-family residences within one half mile from the university in the last 12 months indicated a range of selling price from $346,500 to $2,650,000 for 32 sales with an average sale price of $853,031. Sales of single-family residences within one half mile from the university in 2010 indicated a range of selling price from $499,000 to $1,660,000 for 20 sales with an average sale price of $838,750. The change from 2010 to 2017 is a +2%.

Sales of single-family residences in all of River Forest in the last 12 months indicated a range of selling price from $230,000 to $2,350,000 for 126 sales with an average of $713,332. Sales of single-family residences in all of River Forest in 2010 indicated a range of selling price from $250,000 to $2,100,000 for 75 sales with an average of $669,420. The change from 2010 to 2017 is a +7%.

Although the percentage of increase for the properties closer to the university was lower than that of all of River Forest, there was still an increase and it should be pointed out that the statistical sample of only 20 sales for that timeframe is a low sample size and may have an effect on the credibility of the numbers. In addition, these sales represent the higher end of the overall price range for sales in River Forest. If an error component of +/- 3% were applied to both categories, the percentage of increase would be very similar.

Dr. Witte
February 12, 2018
Page Four

CONCLUSION

Based upon the above information, it is my opinion there is no adverse effect on local property values after development of an addition of a cell tower on the southeast corner of the garage and a small extension on the west elevation.

Please call me at 708 383-7900 if you have any questions.

Sincerely,

Michael Grimes
State Certified General
Real Estate Appraiser
Illinois #553.000813
Expiration date 9/30/2019

Enclosures

ADDENDA

EXISTING SUBJECT PHOTOGRAPHS

SOUTH AND EAST ELEVATION

SOUTH ELEVATION FACING EAST

VIEW FROM STREET

BONNIE BRAE FACING NORTH

BONNIE BRAE PLACE FACING SOUTH

BEFORE

AFTER

View from South looking North

TERRA
CONSULTING GROUP, LTD.
600 Busse Highway, Park Ridge, IL 60068
Phone: 847.698.6400 Fax: 847.698.6401

verizon

BEFORE

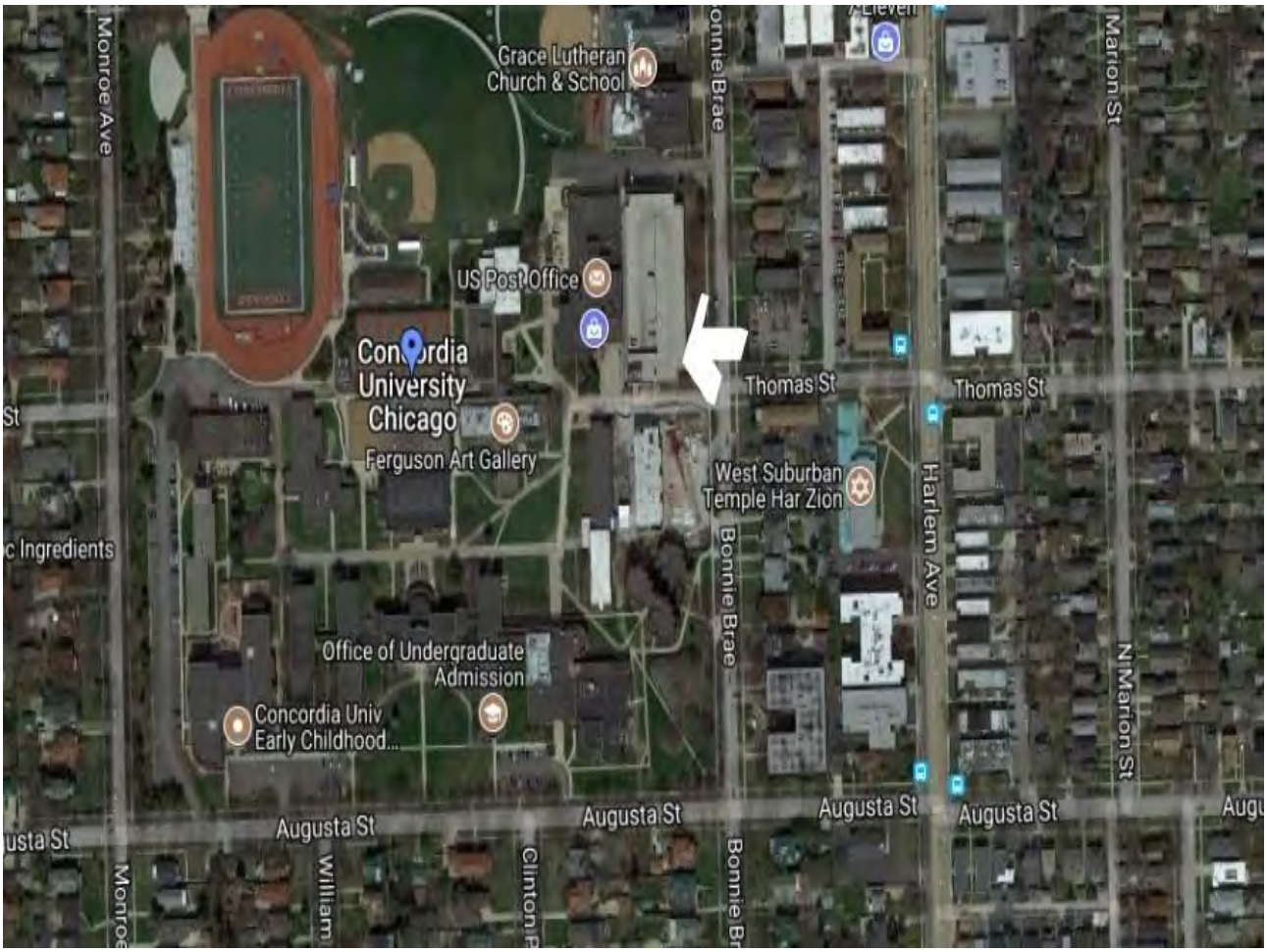
AFTER

View from West looking East

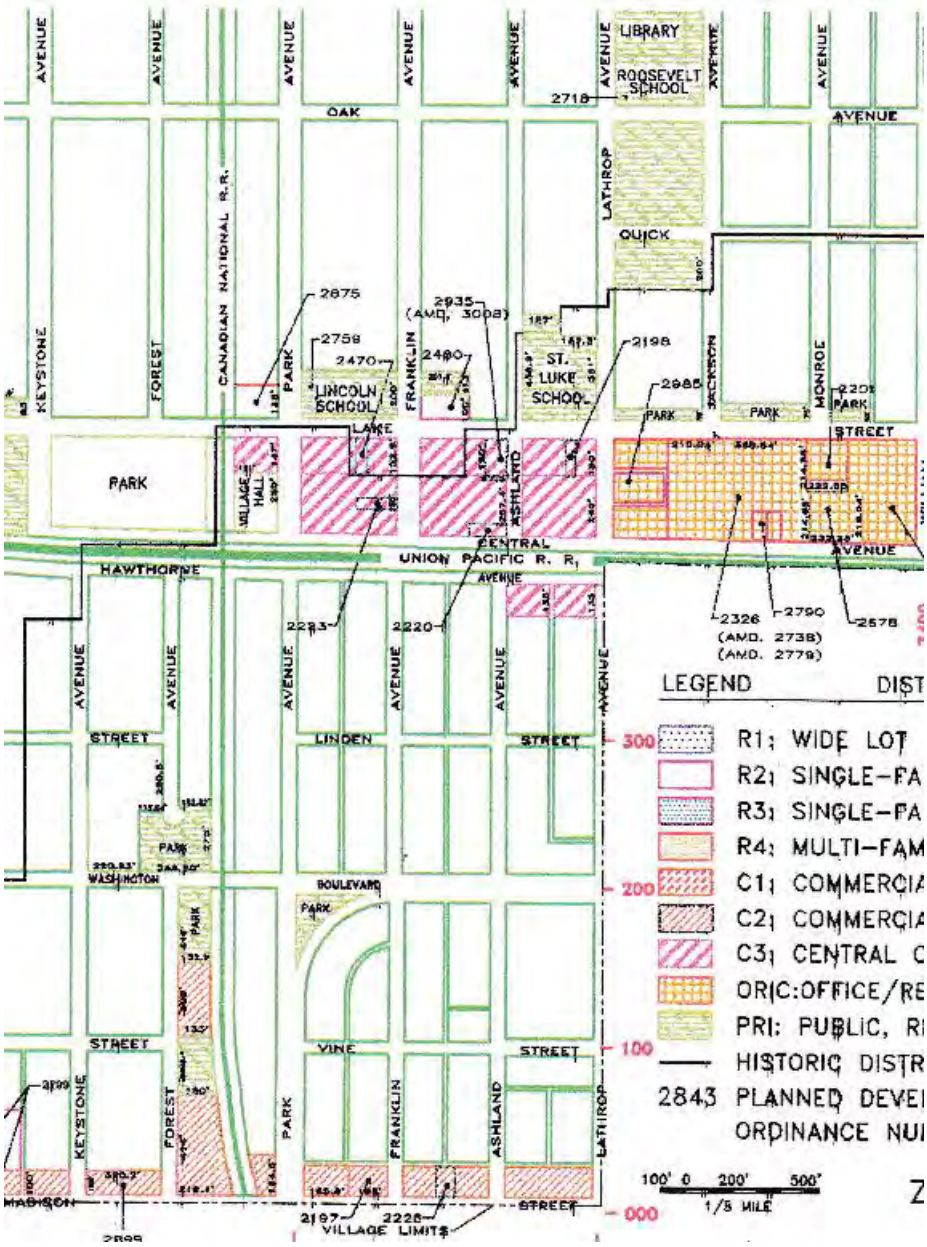
TERRA
CONSULTING GROUP, LTD.
600 Busse Highway, Park Ridge, IL 60068
Phone: 847.698.6400 Fax: 847.698.6401

verizon

AERIAL MAP


Grace Lutheran Church & School
Monroe Ave
Bonnie Brae
Marion St
US Post Office
Concordia University Chicago
Ferguson Art Gallery
Thomas St
Thomas St
West Suburban Temple Har Zion
Harlem Ave
Bonnie Brae
N Marion St
Office of Undergraduate Admission
Concordia Univ Early Childhood...
Augusta St
Augusta St
Augusta St
Augusta St
William
Clinton
Bonnie Br

ZONING MAP


LIBRARY
ROOSEVELT SCHOOL
OAK
LATHROP
QUICK
CANADIAN NATIONAL R.R.
KEYSTONE
FOREST
PARK
LINCOLN SCHOOL
FRANKLIN
ST. LUKE SCHOOL
ASHLAND
JACKSON
MONROE
STREET
VILLAGE HALL
CENTRAL
UNION PACIFIC R. R.
HAWTHORNE
AVENUE
LINDEN
WASHINGTON
BOULEVARD
VINE
MADISON
VILLAGE LIMITS
LEGEND
R1: WIDE LOT
R2: SINGLE-FA
R3: SINGLE-FA
R4: MULTI-FAM
C1: COMMERCIA
C2: COMMERCIA
C3: CENTRAL C
ORIC:OFFICE/RE
PRI: PUBLIC, R
HISTORIC DISTR
2843 PLANNED DEVE
ORDINANCE NU
100' 0 200' 500'
1/5 MILE

LICENSE

State of Illinois

Department of Financial and Professional Regulation

Division of Real Estate

LICENSE NO.
553.000813

The person, firm, or corporation whose name appears on this certificate has complied with the provisions of the Illinois Statutes and/or rules and regulations and is hereby authorized to engage in the activity as indicated below:

EXPIRES:
09/30/2019

CERTIFIED GENERAL REAL ESTATE APPRAISER

MICHAEL GRIMES
1040 NORTH BLVD
OAK PARK, IL 60301

BRYAN A. SCHNEIDER
SECRETARY

KREG T. ALLISON
DIRECTOR

The official status of this license can be verified at www.idfpr.com

11971681

QUALIFICATIONS

Michael Grimes

Experience

Presently the owner of Grimes Real Estate Services at 1040 W. North Blvd. Suite 250 in Oak Park, Illinois, 60301.

Previously engaged as an independent fee appraiser for J. G. Hoppe, Real Property Consultants at 467 North Harlem Avenue, Oak Park, Illinois 60301, as a full time appraiser from April, 1986 through July, 1996.

Previously engaged as an independent fee appraiser with Adams Valuation Corporation, Joseph A. Renzi and Associates, and Kunkel and Associates.

Real Estate Managing Brokers license in the State of Illinois.

Education

Real Estate Appraisal Courses:

Appraisal Institute - Real Estate Appraisal Principals
Basic Valuation Procedures
Standards of Professional Practice-Parts A & B & C
Residential Case Study
Basic Income Capitalization
Advanced Income Capitalization
Advanced Applications
Report Writing and Valuation Analysis

Bachelor of Science in Business Administration from the University of Illinois, Chicago Circle. Major in Management and minor in Statistical Analysis.

Century 21 Real Estate Sales Training Course including Property Analysis and Century 21 Investment Qualification Course.

Completion of the Worldwide ERC Relocation Appraisal Training Program.

Qualifications - Michael Grimes - continued

Membership

Oak Park Board of Realtors. Past associate member of the Board of Directors. Current Director of Grimes Real Estate Services.

Associate member of the Appraisal Institute.

Appraiser Member of Worldwide ERC, the employee relocation council.

Licensure

State of Illinois, State Certified General Real Estate Appraiser # 553.000813. Expiration date 9/30/2019.

F. Adequate utilities, road access, drainage, police and fire service and other necessary facilities already exist or will be provided to serve the proposed use or combination of uses.

This proposed amendment does not propose any change in the number of parking spaces, nor does it alter street traffic or otherwise adversely impact the utilities, road access, drainage, police and fire services or other necessary facilities in relation to the approved planned development.

G. Adequate measures already exist or will be taken to provide ingress and egress to the proposed use or combination of uses in a manner that minimizes traffic congestion in the public streets.

This proposed amendment would not introduce any unique uses or features that would place any demand on existing streets. The proposed amendment would not increase traffic volumes on the streets that border the University.

H. The proposed use or combination of uses will be consistent with the character of the Village.

The proposed use will not change the character of the Village or the University neighborhood. As stated above, the antenna arrays will be surrounded by RF transparent stealth screening to reduce their visibility to residents and pedestrians. The necessary additions to the structure to accommodate the RF transparent stealth screening antenna arrays and equipment are designed to be compatible with the appearance of the existing parking garage.

I. Development of the proposed use or combination of uses will not materially affect a known historical or cultural resource.

Nothing in the University's proposal would negatively impact any known historical or cultural resource.

J. The design of the proposed use or combination of uses considers the relationship of the proposed use or combination of uses to the surrounding area and minimizes adverse effects, including visual impacts of the proposed use or combination of uses on adjacent property.

As noted above, the University and Verizon have taken care to design the proposed facility in the least obtrusive manner possible. As pointed out above, the antenna arrays will be surrounded by RF transparent stealth screening, the additions to the structure are designed to be visually compatible with the existing parking garage. The necessary electronic equipment will be located either within the structure addition or in an open space between the parking garage and an existing University building on the west side of the garage.

K. The design of the proposed use or combination of uses promotes a safe and comfortable pedestrian environment.

This proposed amendment should not have any impact on the pedestrian environment as all facilities will be located on top of the parking garage or between the garage and an existing University building in an area that is not accessible to pedestrians.

L. The applicant has the financial and technical capacity to complete the proposed use or combination of uses and has made adequate provisions to guarantee the development of any buffers, landscaping, public open space, and other improvements associated with the proposed use or combination of uses.

Concordia University and Verizon have the financial capability to fully fund the proposed improvements. Concordia University will continue to own the physical stairway structure. Verizon will own the electronic, mounting, and screening components associated with its transmission equipment. Verizon's letter of financial accountability follows this page.

The rest of this page is intentionally left blank.

Errol F. Outarsingh
Engineer IV RE/Specialist
Great Lakes Market Network Real Estate
Verizon Wireless
1515 E. Woodfield Road Suite 1400
Schaumburg, IL 60173

E-Mail: errol.outarsingh@verizonwireless.com (847) 706-7995

May 22, 2017

Frank Martin, Chair
Development Review Board
c/o Lisa Scheiner
Village of River Forest
400 Park Ave.
River Forest, IL 60305

Re: Letter of Financial Accountability regarding Verizon Wireless' proposed communication facility at Concordia University
Site: Forest Park North

Dear Mr. Martin:

Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") is in the process of entering into a lease agreement with Concordia University for the purpose of installing a communications facility on a structure located on Concordia University Campus, 7400 Augusta Street, River Forest, County of Cook, Illinois 60305 ("Communications Facility"). This letter is intended to guarantee that Verizon Wireless has sufficient funds to complete the development of the Communications Facility.

Verizon Wireless is a Fortune 100 Company with Billions of dollars in assets to cover this transaction. Chicago SMSA Limited Partnership d/b/a Verizon Wireless is a subsidiary of Cellco Partnership, the legal name for Verizon Wireless.

If you should need any additional information, please do not hesitate to contact me.

Sincerely,

By:
Errol F. Outarsingh

EFO/bal

M. The proposed use or combination of uses is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the village (sic) **from the proposed use.**

The proposed improvements should not impose any new or material demands on municipal resources. The proposed addition of wireless voice and data antennas behind RF transparent stealth screening will not impose any special demands on Village services. Rather, the proposal will improve access of students, faculty, staff, neighbors, and visitors in the University community to mobile communication services.

N. The proposed use or combination of uses will meet the objectives and other requirements set forth in this section.

The University addresses below the objectives set out at Section 10-19-1.E of the Zoning Ordinance.

O. *[This standard deals with a proposal for multi-family housing and is not applicable to the University or to this request.]*

Concordia University Chicago's Proposed Improvement plans Meet the Village's Objectives for Planned Developments

Section 10-19-1.E of the zoning ordinance lists certain specific objectives the Village seeks to achieve through the flexibility of the planned development process. Concordia University Chicago addresses these objectives below:

1. Creation of a more desirable environment than would be possible through strict application of other village land use regulations.

The Village has previously approved a planned development for the campus. The proposed change does not require any additional allowances from the Village's land use regulations.

2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities.

This proposed amendment to the previously approved Planned Development is a creative and unobtrusive way to improve wireless voice and data communication facilities that would benefit the faculty and students of the University as well as residents who live in the vicinity of the University.

3. Combination and coordination of the character, the form, and the relationship of structures to one another.

The proposed addition to the west side of the southwest stairway and the new enclosure on top of the southeast corner of the parking garage are to accommodate the improved wireless voice and data communication facilities and are designed to be compatible with the appearance of the parking garage.

4. **Preservation and enhancement of desirable site characteristics such as natural topography, vegetation, and geologic features.**

The proposed amendment does not alter the currently approved site layout. It merely adds wireless voice and date antenna arrays to the west wall of the existing stairway at the southwest corner of the parking garage and on the upper level of the garage at the southeast corner. Both of these antenna arrays will be placed behind RF transparent stealth screening that will be aesthetically compatible with the existing parking garage and similar to the stealth screening surrounding the existing wireless and data antennas.

5. **Provision for the preservation and beneficial use of open space, or an increase in the amount of open space over that which would result from the application of conventional zoning regulations.**

The University is not seeking any allowances for a change in open space or in allowances on floor area ratio or maximum lot coverage.

6. **Encouragement of land uses or combination of uses that maintain the existing character and property values of the village** (sic)**, and promote the public health, safety, comfort, and general welfare of its residents.**

Concordia has addressed these concerns in its initial application for a planned development for the campus and in the 2010 application for cellular and wireless facilities on the parking garage. This proposal does not alter the circumstances the Village has previously considered and approved. In addition, this proposal could improve the safety and general welfare of Village residents through improved cellular and mobile communication service for an additional cellular carrier.

7. **Promotion of long term planning pursuant to a master plan which will allow harmonious and compatible land uses or combination of uses with surrounding areas.**

This proposal should not have any adverse effect on compatible land uses in the surrounding areas. Rather, it should have a positive effect on the University community and its neighbors through improved wireless voice and data communication service.

The rest of this page is intentionally left blank.

VI. Existing Campus Area

a. Existing Contiguous Land Use

The existing contiguous land use surrounding the 7400 Augusta campus is depicted in the following aerial photograph. This photograph shows that residences zoned R-4 face the campus from the east side of Bonnie Brae, zoned R-2, face the campus from the south side of Augusta Street, the west side of Monroe Avenue, and the north side of Division between Monroe and William. The balance of the north side of Division, from west to east, contains Priory Park (River Forest Park District), and the Priory/Dominican University facility.

Grace Lutheran Church and School occupy a lot of 250 feet by 200 feet at the north and east corner of the campus, immediately north of the parking garage.

On the east side of Bonnie Brae Place are: a house, a two-flat, a 6-unit condominium, four two-flats, and a six apartment building between Division and Thomas. From Thomas to Augusta the east side of Bonnie Brae Place contains an eight unit apartment building, a series of duplexes, and a 32-unit condominium building.

b. Natural Topographic Features

Since the Concordia University campus is virtually flat, no natural topographic features are identifiable. This proposed amendment does not seek any changes to topographic features. An aerial photograph showing the neighborhood surrounding the University and the parking garage follows.

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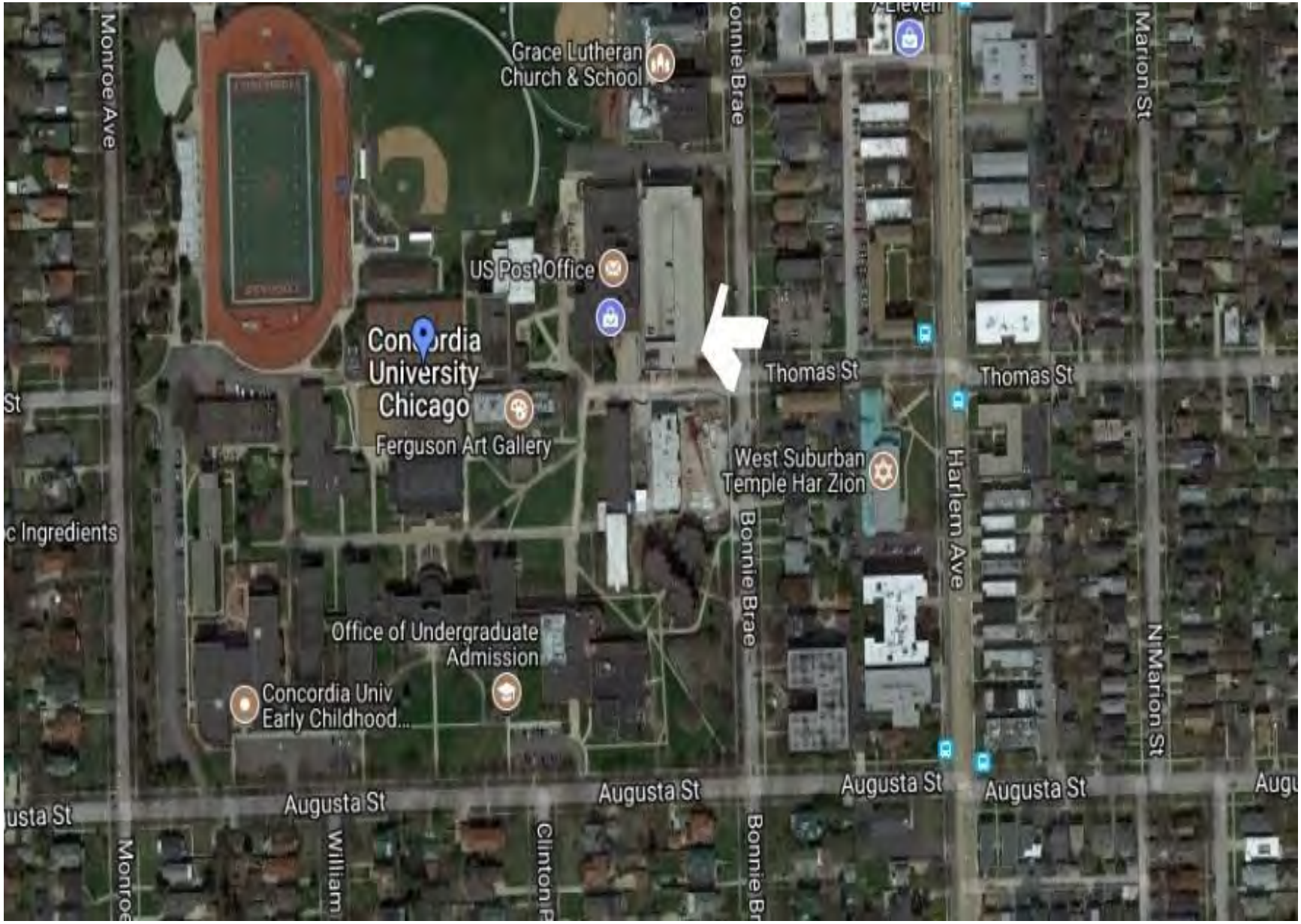
Grace Lutheran Church & School
US Post Office
Concordia University Chicago
Ferguson Art Gallery
Office of Undergraduate Admission
Concordia Univ Early Childhood...
West Suburban Temple Har Zion
Thomas St
Thomas St
Augusta St
Augusta St
Augusta St
Augusta St
Monroe Ave
Bonnie Brae
Bonnie Brae
Harlem Ave
Marion St
N Marion St
William
Clinton
c Ingredients

c. Zoning Districts

The Zoning districts contiguous to the campus are depicted on the following map entitled: “Village of River Forest Zoning Map.”

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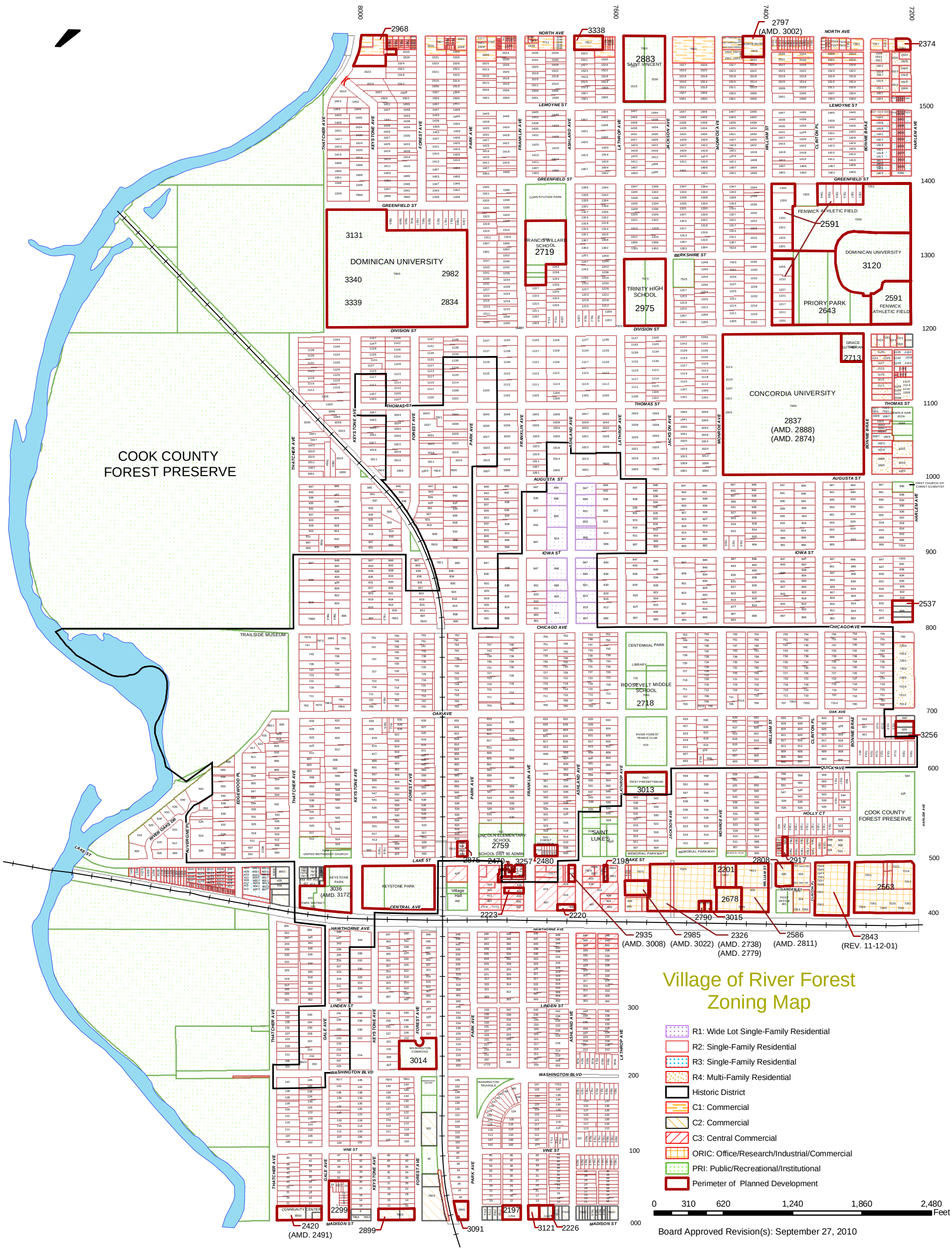

COOK COUNTY FOREST PRESERVE
DOMINICAN UNIVERSITY
3131
3340
3339
2982
2834
2968
2797 (AMD. 3002)
3338
2374
2883 SAINT VINCENT
FENWICK ATHLETIC FIELD
2591
DOMINICAN UNIVERSITY
3120
PRIORY PARK 2643
2591 FENWICK ATHLETIC FIELD
FRANCIS WILLARD SCHOOL 2719
TRINITY HIGH SCHOOL 2975
GRACE LUTHERAN
2713
CONCORDIA UNIVERSITY
2837 (AMD. 2888) (AMD. 2874)
2537
3256
CENTENNIAL PARK
ROOSEVELT MIDDLE SCHOOL 2718
FIRST PRESBYTERIAN 3013
LINCOLN ELEMENTARY SCHOOL 2759
SAINT LUKE'S
COOK COUNTY FOREST PRESERVE
2563
2678
2201
2917
2808
2976
2470
3257
2480
2198
2223
2220
2790
3015
2935 (AMD. 3008)
2985 (AMD. 3022)
2326 (AMD. 2738) (AMD. 2779)
2586 (AMD. 2811)
2843 (REV. 11-12-01)
KEYSTONE PARK 3036 (AMD. 3172)
WASHINGTON COMMONS 3014
2299
2197
2420 (AMD. 2491)
2899
3091
3121
2226
TRAILSIDE MUSEUM
Village Hall
Village of River Forest
Zoning Map
R1: Wide Lot Single-Family Residential
R2: Single-Family Residential
R3: Single-Family Residential
R4: Multi-Family Residential
Historic District
C1: Commercial
C2: Commercial
C3: Central Commercial
ORIC: Office/Research/Industrial/Commercial
PRI: Public/Recreational/Institutional
Perimeter of Planned Development
0 310 620 1,240 1,860 2,480 Feet
Board Approved Revision(s): September 27, 2010

d. Public Thoroughfare

The project covered by this application is fronted by Bonnie Brae Place on the east. Division Street is to the north of the project and Thomas Street to the southeast.

e. Transportation

The project covered by this application will not impact the use of private vehicles, PACE bus service, CTA rapid transit, or Metra trains that serve the Concordia University neighborhood.

f. Utilities

Present utilities are shown on the Plat of Survey for the properties in **Section IV**. Proposed utilities are shown as indicated below.

Water. There is no change from the approved Planned Development Ordinance No. 2874. This project does not require any water supply.

Sewer. There is no change from the approved Amendment Ordinance No. 2874, to the initially approved Planned Development Ordinance No. 2837 or Ordinance No. 3335A dated July 12, 2010. There is no sewer use required for this project.

Electric. The project will require electric power to the locations of the equipment for the Verizon facility. Concordia believes a sufficient power source in in place based upon the already existing cellular facilities at the parking garage.

Gas. There is no change from the approved Planned Development Ordinance No. 2837, Ordinance No. 2874, or Ordinance No. 3335A dated July 12, 2010. There is no gas use required for this project.

Telephone. The cellular telephone and wireless communication service will require telephone service to be extended to the equipment belonging to Verizon. Concordia believes sufficient telephone capabilities are in place based upon existing telephone facilities at the parking garage.

The rest of this page is intentionally left blank.

VII. Scaled Proposed Development

The proposed development will not affect previously approved plans for landscaping, parking, traffic flow, or storm water detention. Nor will the proposed development affect previously approved plans for any other Concordia University building. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of the requirements for a scaled site plan of the area. Accordingly, no scaled site plan is included with this application

The rest of this page is intentionally left blank.

VIII. Schematic Drawings

Schematic drawings showing locations of the proposed Verizon wireless voice and data transmission equipment and the antenna arrays follow.

The rest of this page is intentionally left blank.

CONSULTANT TEAM

PROJECT CONSULTANT: TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
(847) 698-6400

SURVEYOR: WILLIAMS AND WORKS
549 OTTAWA AVE NW
GRAND RAPIDS, MI 49503
(616) 224-1500

APPROVALS

REAL ESTATE: _____

RF: _____

CONSTRUCTION: _____

EQUIPMENT ENGINEERING: _____

OPERATIONS: _____

PROJECT TYPE

PROPOSED LESSEE ANTENNAS TO BE MOUNTED ON PARKING STRUCTURE WITH PLATFORM ON GROUND.

SITE COORDINATES:

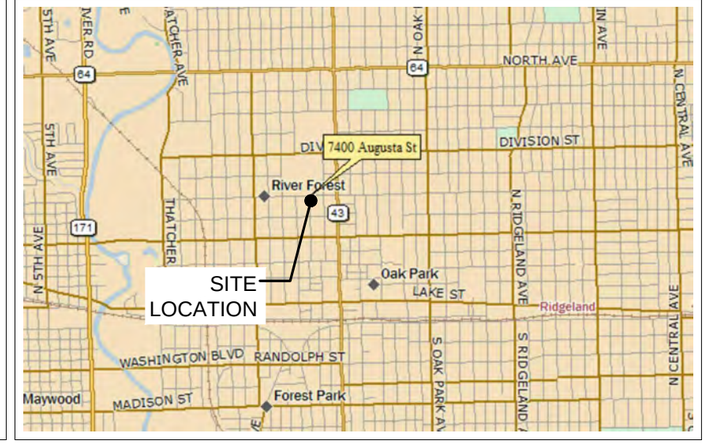
LATITUDE: 41° 53' 59.04" N (1A CERTIFICATION)
LONGITUDE: 87° 48' 27.91" W (1A CERTIFICATION)
ELEVATION: ±628' (1A)

VICINITY MAP

N.T.S.

REGIONAL MAP

N.T.S.



CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

CHICAGO SMSA
limited partnership

CHICAGO SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS
1515 WOODFIELD ROAD, SUITE 1400
SCHAUMBURG, ILLINOIS 60173
PHONE: (847) 619-5397 FAX: (847) 706-7415

LOCATION NUMBER: 418745

7400 AUGUSTA ST
RIVER FOREST, IL 60305

LICENSED PROFESSIONAL ENGINEER
THOMAS A. ZIMMERMANN
062-053210
Exp. 11/30/19
STATE OF ILLINOIS
5/3/18

PROJECT INFORMATION

P.I.N. #: 13-29-120-001-0000

ADDRESS: 7400 AUGUSTA ST
RIVER FOREST, IL 60305

UTILITIES:
POWER: ComEd
FERNANDO FLORES
708-410-431
ACCT # 58590-61005

FIBER: ONE FIBER
MARK ZOLTEK
312-989-2025

JURISDICTION: VILLAGE OF RIVER FOREST

OCCUPANCY: UNINHABITED

ZONING: PLANNED DEVELOPMENT

CONSTRUCTION TYPE: ROOFTOP

GENERATOR TYPE: TAP BOX

PROPERTY OWNER: CONCORDIA UNIVERSITY CHICAGO
7400 AUGUSTA ST
RIVER FOREST, IL 60305

APPLICANT: VERIZON WIRELESS PERSONAL COMMUNICATIONS LP
d/b/a VERIZON WIRELESS
1515 WOODFIELD ROAD, SUITE 1400
SCHAUMBURG, IL 60173
(920) 841-1263

CONSTRUCTION MANAGER: MICHAEL EISENMENGER (847) 619-3043

REAL ESTATE MANAGER: NICK POLYDOROS (224)381-0539

SHEET	DRAWING INDEX	REVISION
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C-1B	PROPOSED CABLE ROUTE	5
C-2	SITE DETAILS	-
C-3	PLATFORM FOUNDATION PLAN	-
ANT-1	SITE ELEVATION & ANTENNA LAYOUT	5
ANT-1A	ANTENNA MOUNTING DETAILS (AT GAMMA SECTOR)	5
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E-4	GROUNDING DETAILS	-
E-5	ELECTRICAL DETAILS	-
SP-1	SPECIFICATIONS	-
SP-2	SPECIFICATIONS	-
P-1	EXISTING SITE PHOTOS	-
	ATTACHMENTS	
SE-1	SITE SURVEY	-
RF-1,2	PRE-EME REPORT (BY OTHERS)	9

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

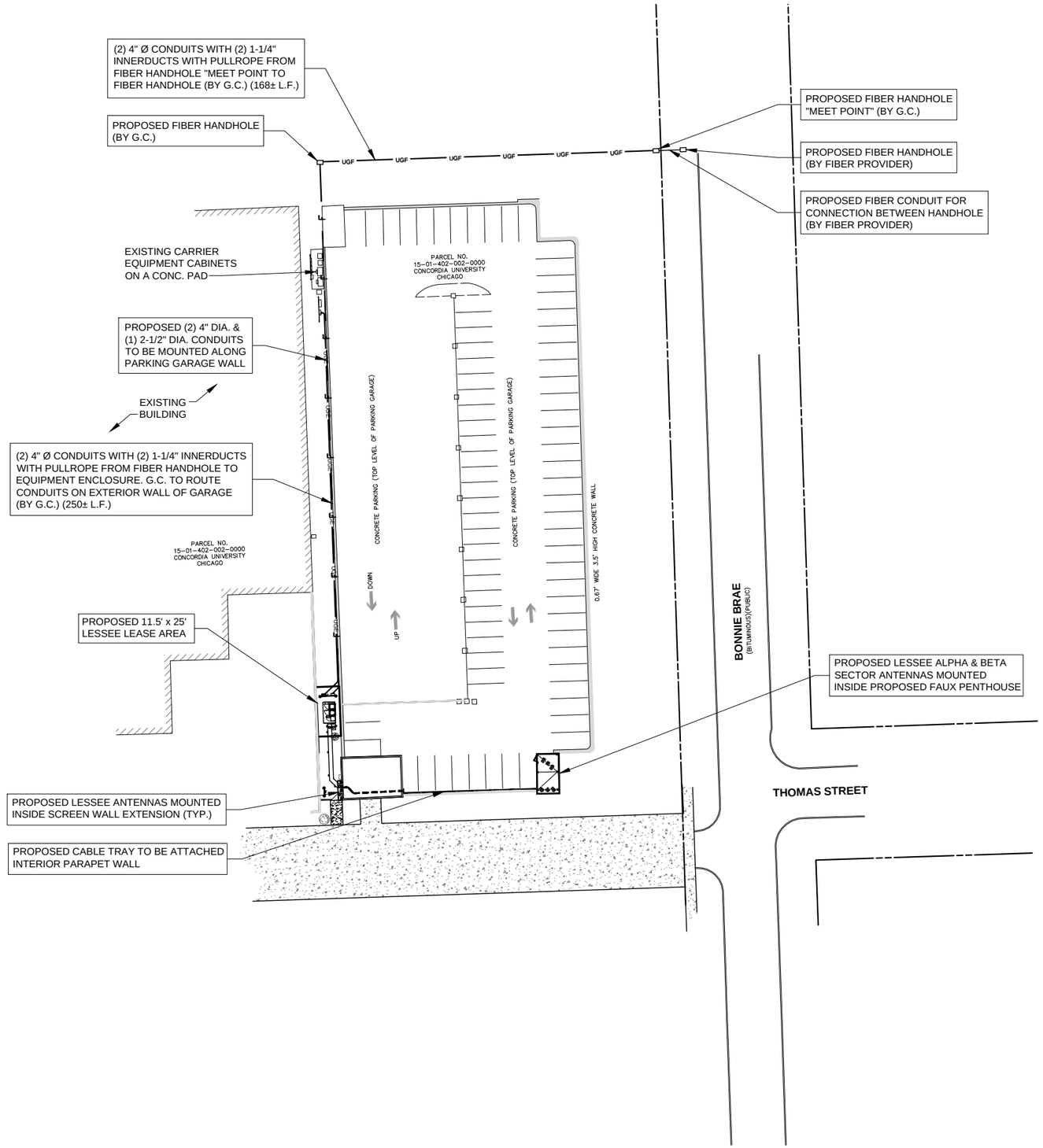
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



1 LOCATION PLAN
SCALE: 1" = 30'

SCALE 1" = 30'

0 15' 30' 60'

22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

OPERATES 24 HOURS A DAY 365 DAYS A YEAR

Call Before You Dig

JULIE ILLINOIS ONE CALL SYSTEM

CALL JULIE TOLL FREE 1(800) 892-0123 48 HOURS BEFORE YOU DIG

CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

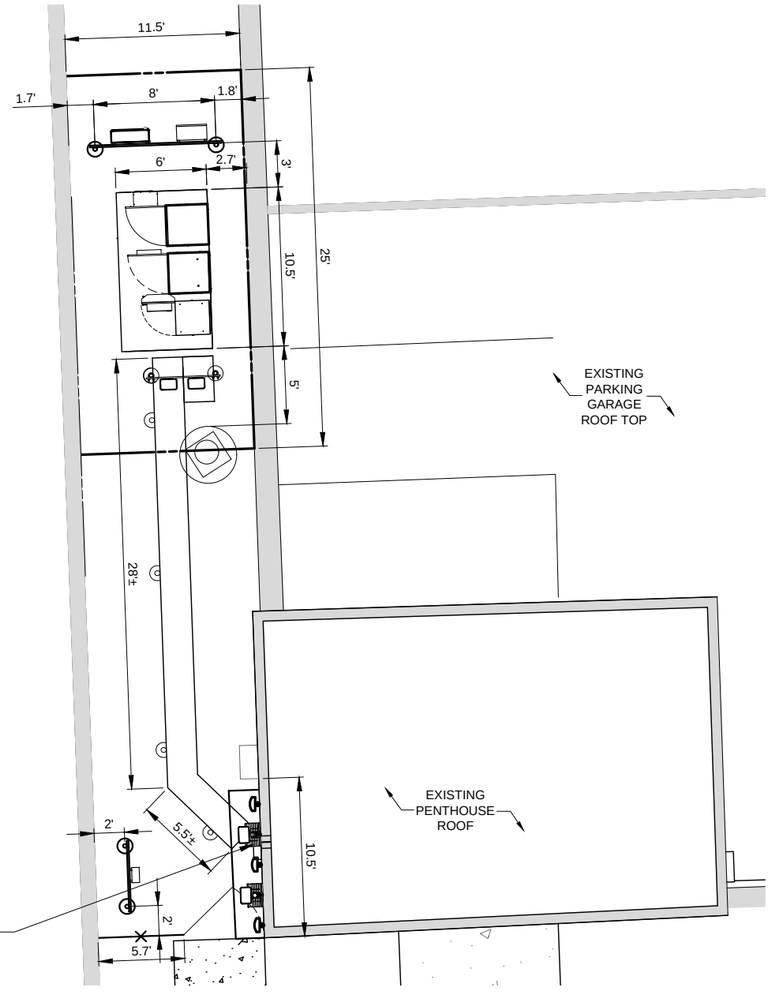
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

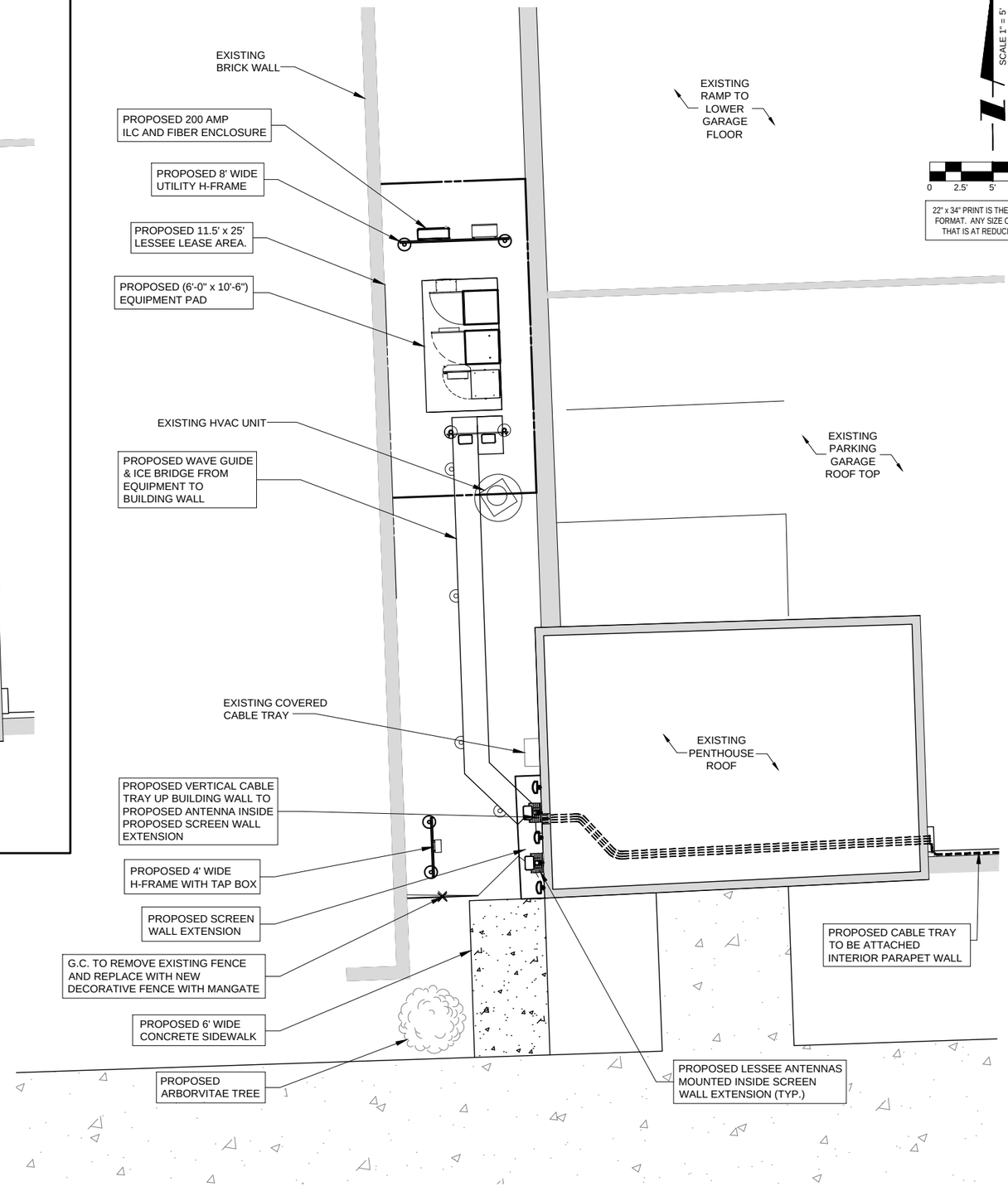
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
LOCATION PLAN

SHEET NUMBER
LP



2 SITE DIMENSION PLAN
SCALE: 1" = 5'



1 ENLARGED SITE PLAN
SCALE: 1" = 5'

SCALE 1" = 5'
0 2.5' 5' 10'

22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

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PARK RIDGE, IL 60068
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FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

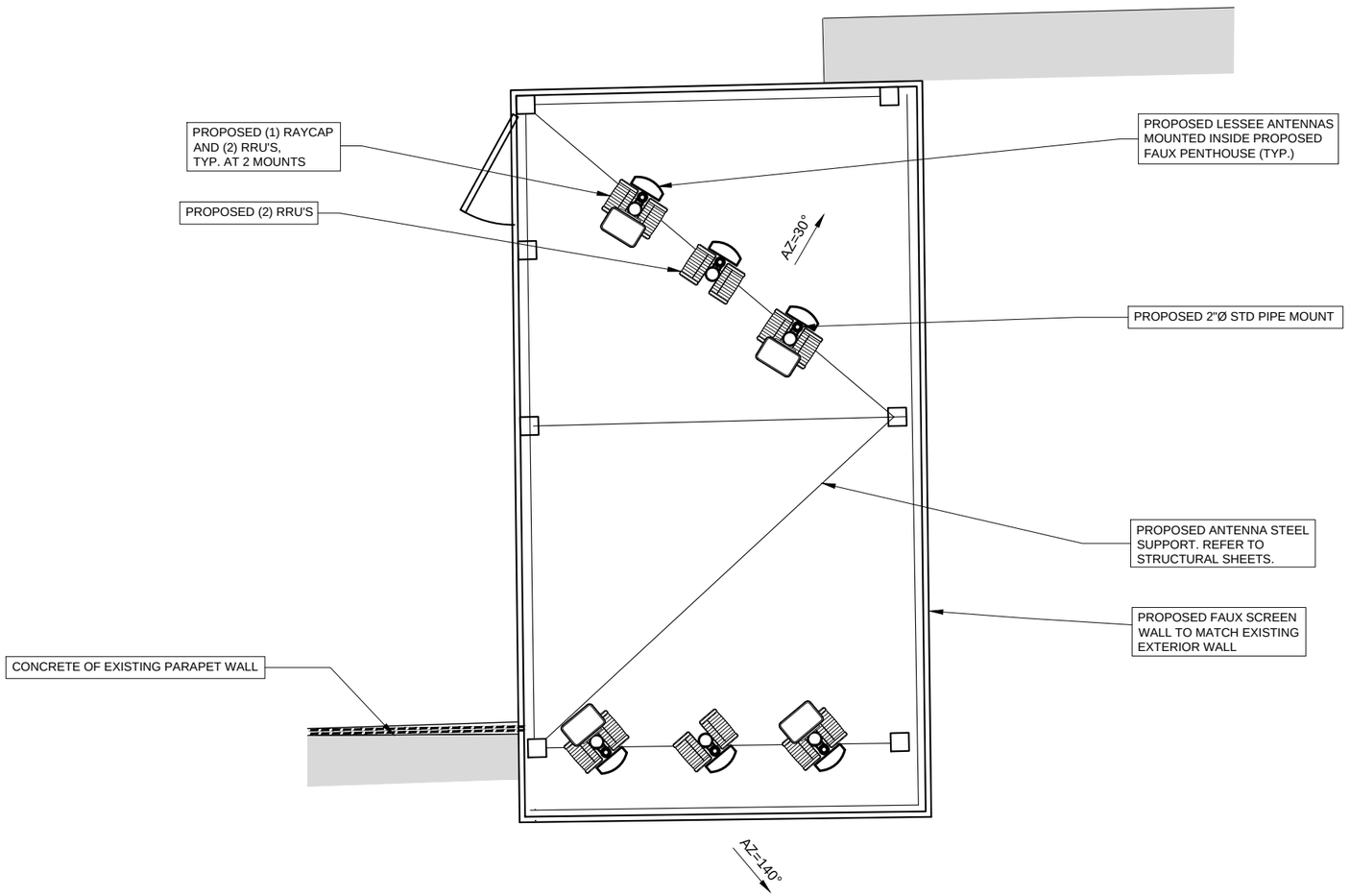
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

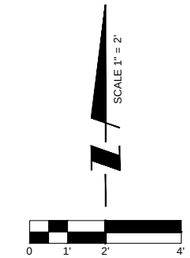
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C-1



1 ANTENNA MOUNTING TO FAUX PENTHOUSE ROOF
SCALE: 1" = 2'-0"



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LOC. # 418745

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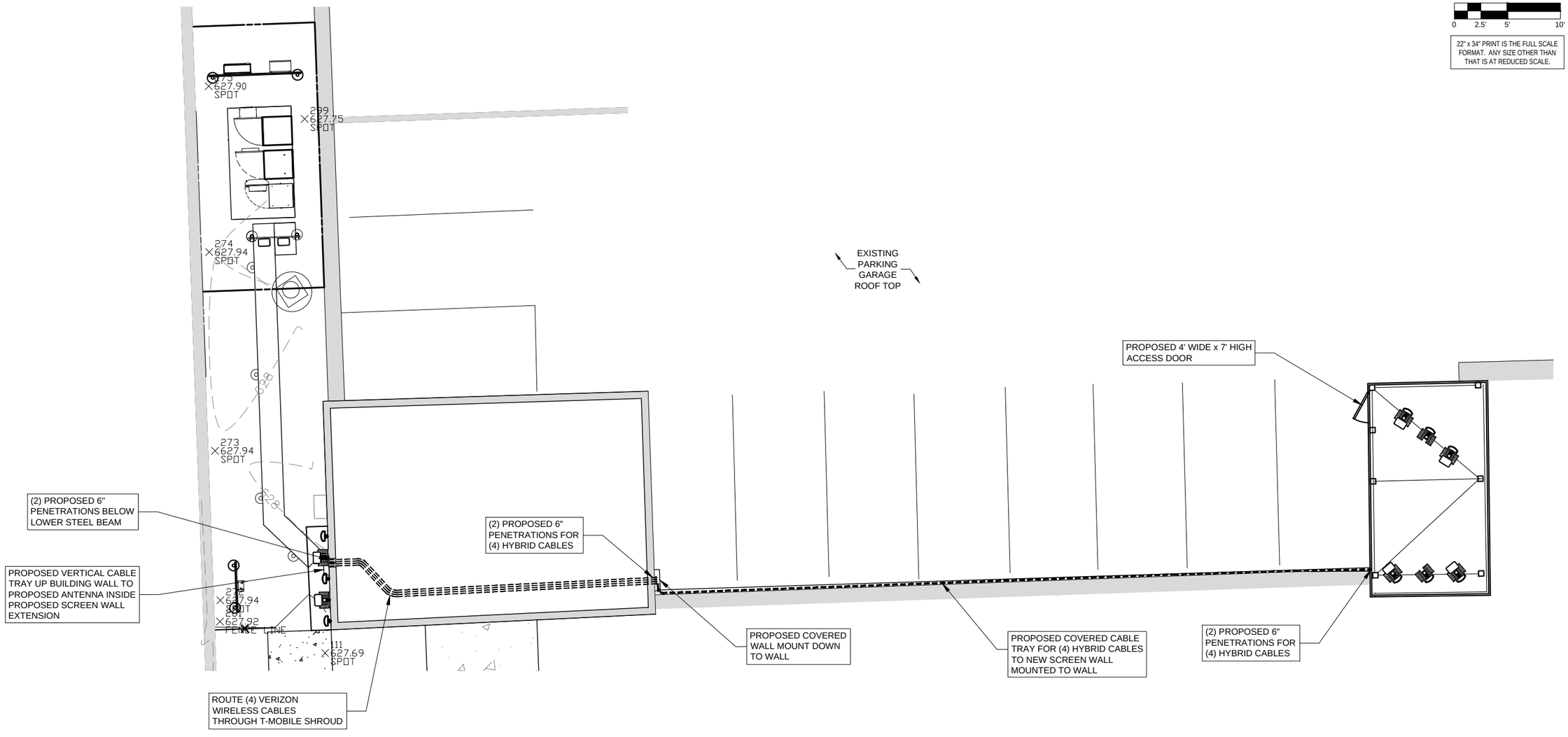
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
ANTENNA MOUNTEND TO FAUX PENTHOUSE

SHEET NUMBER
C-1A



1 CABLE ROUTE TO ALPHA & BETA ANTENNAS
SCALE: 1" = 5'-0"

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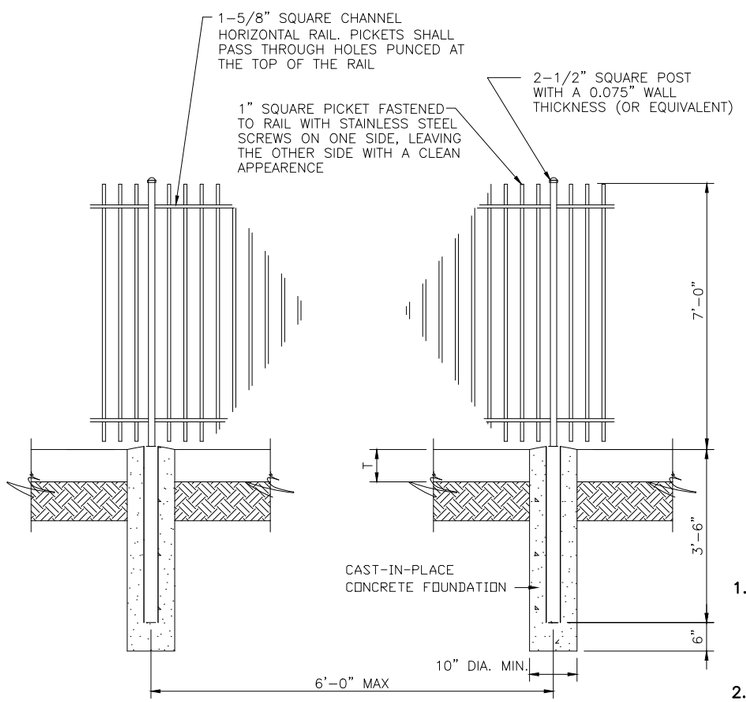
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
PROPOSED CABLE ROUTE

SHEET NUMBER
C-1B



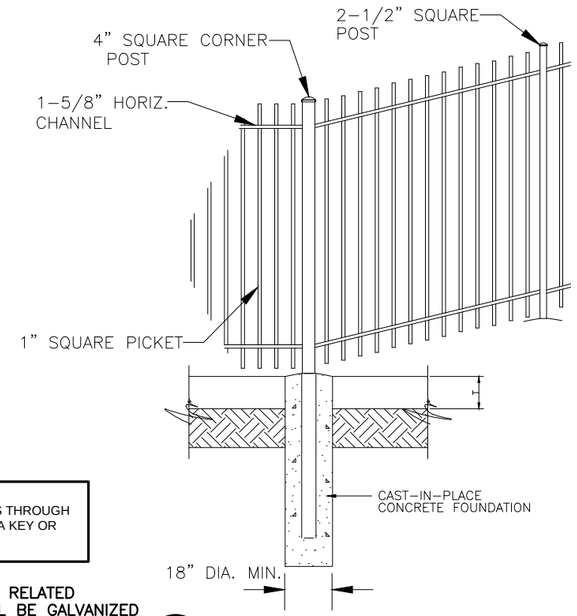
1 STEEL POST

THE FENCE SHALL BE GROUNDED AS SHOWN IN ELECTRICAL DETAILS

N.T.S.

NOTE:
CUC TO HAVE ACCESS THROUGH PROPOSED GATE VIA A KEY OR COMBINATION LOCK

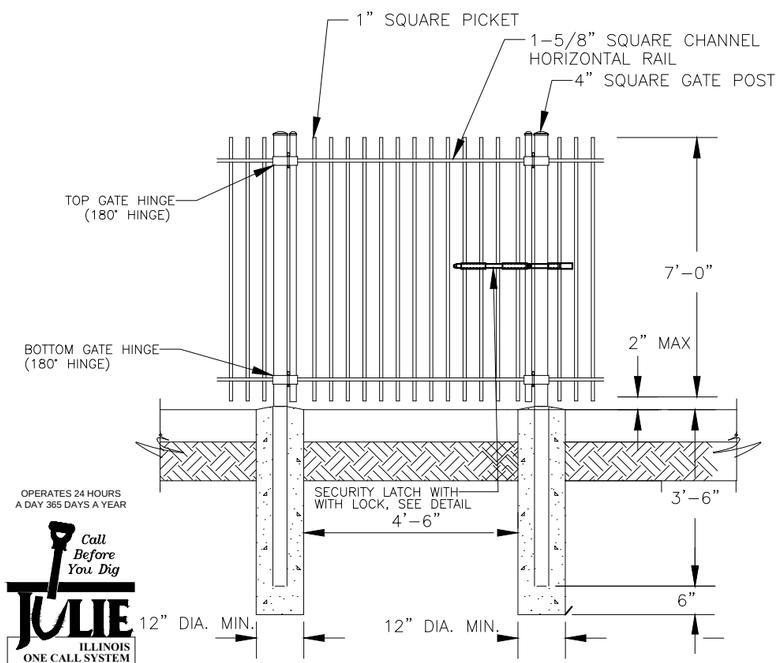
1. ALL FENCING AND RELATED ASSEMBLIES SHALL BE GALVANIZED ZINC FINISH (BARB WIRE-ASTM A585 FABRIC-ASTM A392-84 FRAME WORK-ASTM F669-81)
2. ALL CONCRETE FOOTINGS SHALL BE 6.1 BAG MIX 3000 PSI CONCRETE



2 CORNER POST

THE FENCE SHALL BE GROUNDED AS SHOWN IN ELECTRICAL DETAILS

N.T.S.



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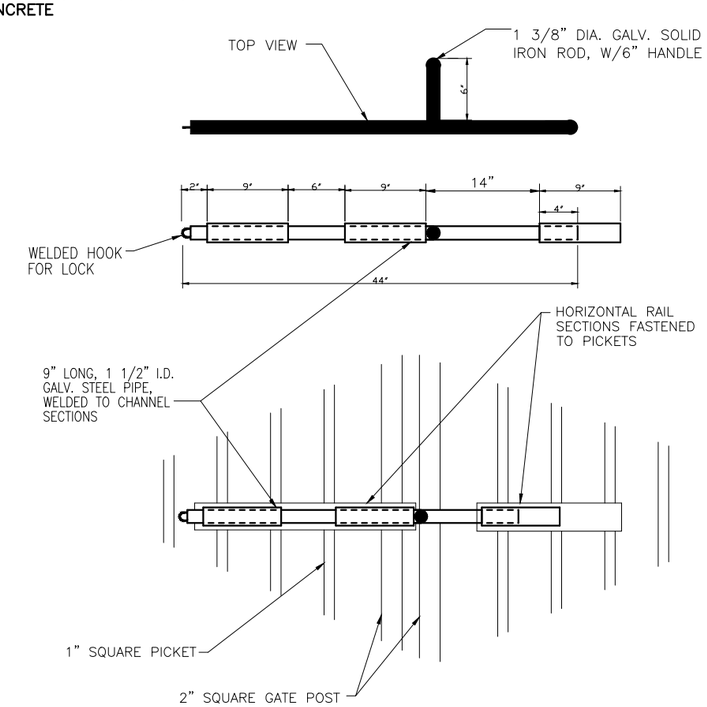
4 4'-0" SWING GATE

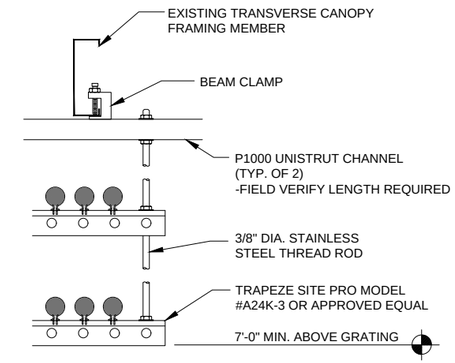
THE FENCE SHALL BE GROUNDED AS SHOWN IN ELECTRICAL DETAILS

N.T.S.



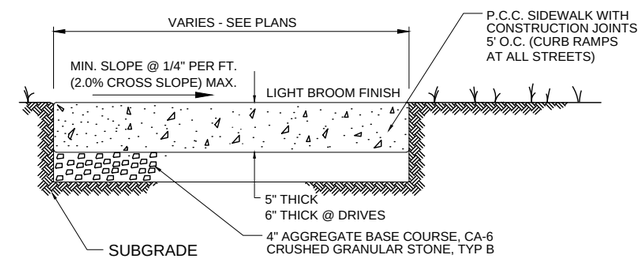
4 SECURITY LATCH DETAIL

N.T.S.



5 COAX TRAPEZE DETAIL (AT PLATFORM)

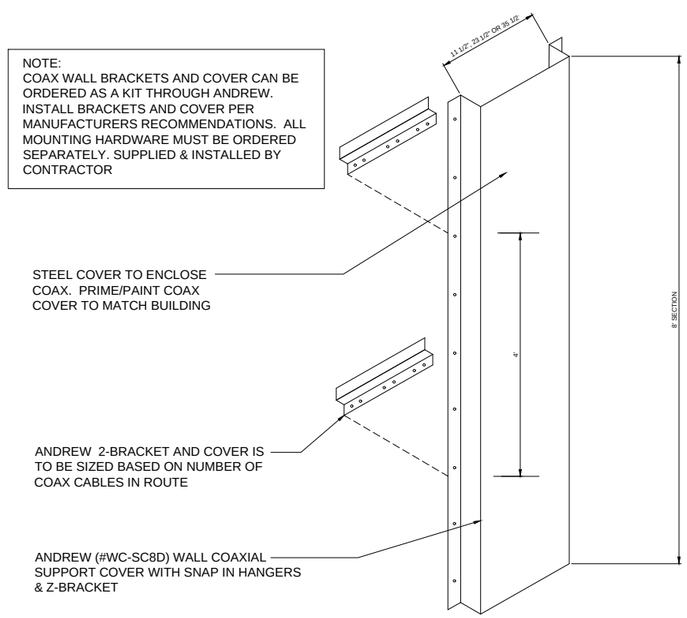
N.T.S.



6 CONCRETE SIDEWALK DETAIL

SCALE: NTS

NOTE:
COAX WALL BRACKETS AND COVER CAN BE ORDERED AS A KIT THROUGH ANDREW. INSTALL BRACKETS AND COVER PER MANUFACTURERS RECOMMENDATIONS. ALL MOUNTING HARDWARE MUST BE ORDERED SEPARATELY. SUPPLIED & INSTALLED BY CONTRACTOR



7 WALL MOUNTED COAX SUPPORT

N.T.S.

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REVISIONS

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LOC. # 418745

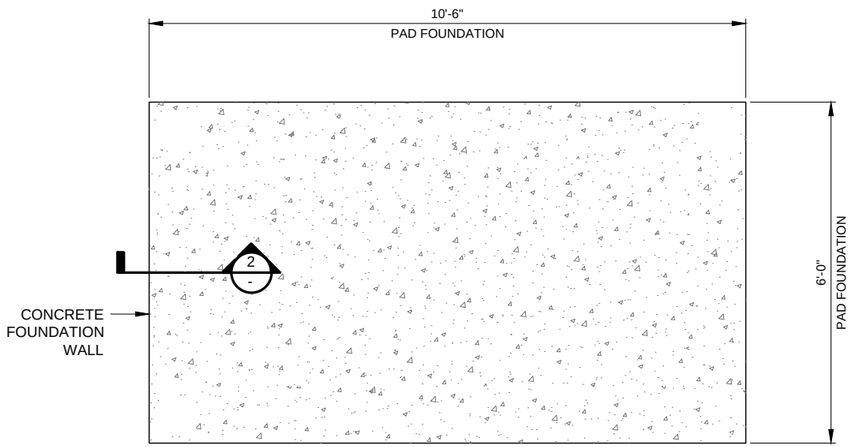
7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

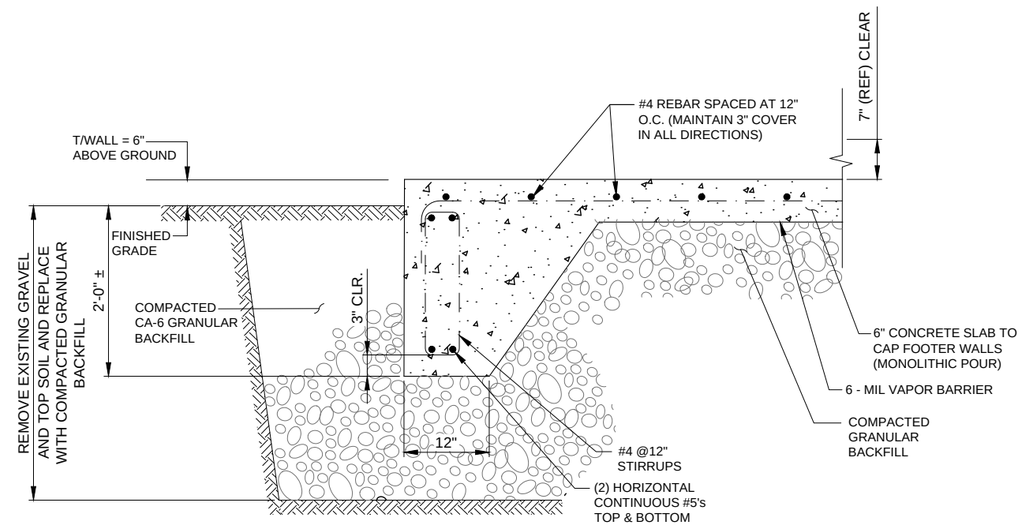
SHEET TITLE
SITE DETAILS

SHEET NUMBER
C-2

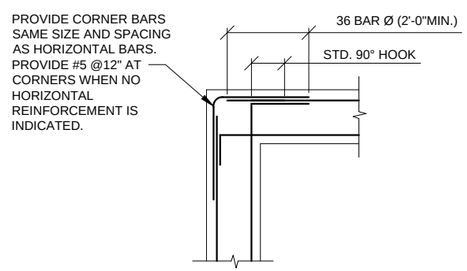
NOTE:
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL.



1 ELEVATED STEEL EQUIPMENT PLATFORM - FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



2 FOUNDATION WALL SECTION
SCALE: N.T.S.



CORNER

3 CONCRETE WALL REINFORCEMENT DETAILS
SCALE: NTS

CONCRETE NOTES:

1, ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.

2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF F'c=4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.

3. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

4. ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES OR TO FROST WHICH EVER IS GREATER.

5. CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW.

6. ALL FOOTINGS TO BEAR ON MINIMUM NET ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF TO BE VERIFIED IN FIELD.

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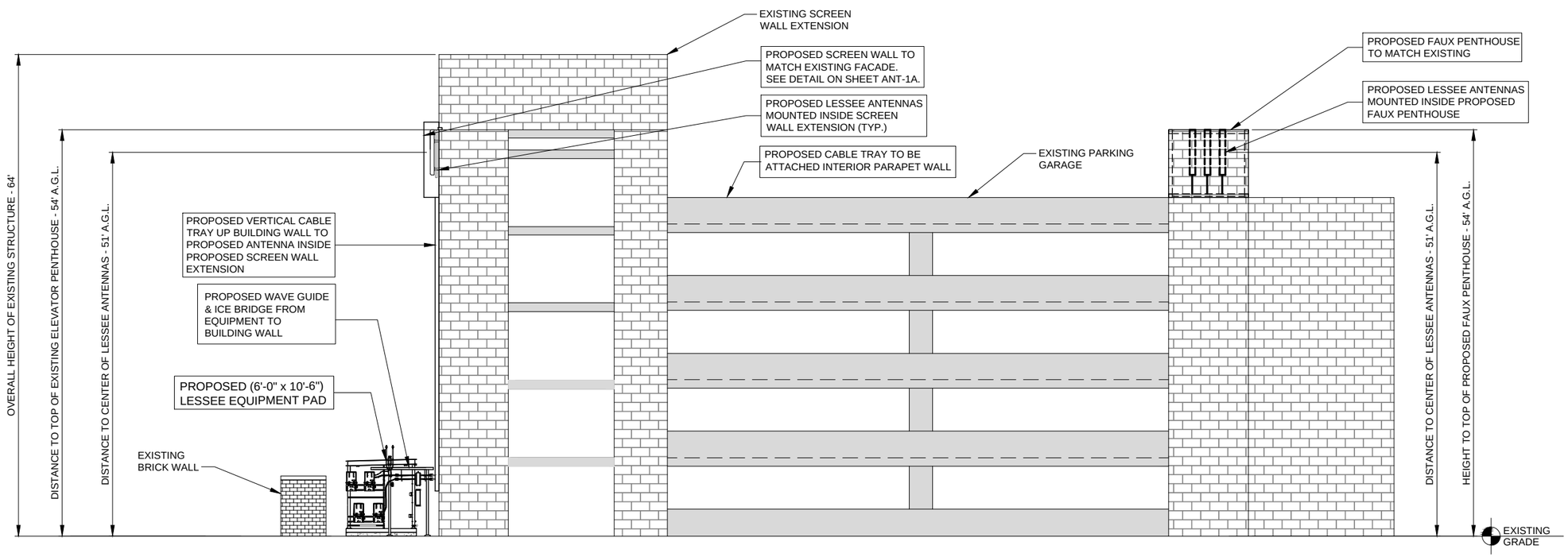
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
FOUNDATION PLAN

SHEET NUMBER
C-3



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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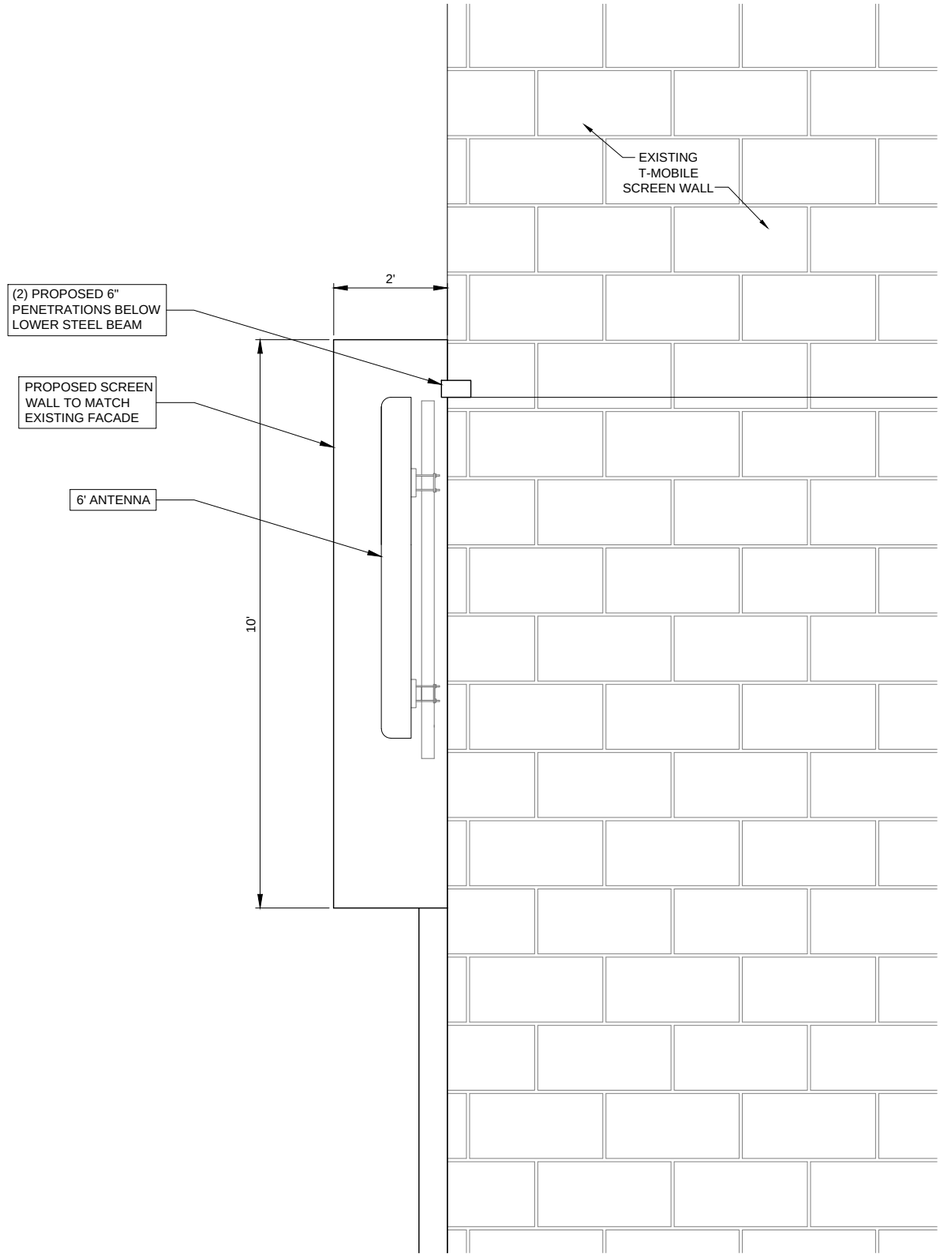
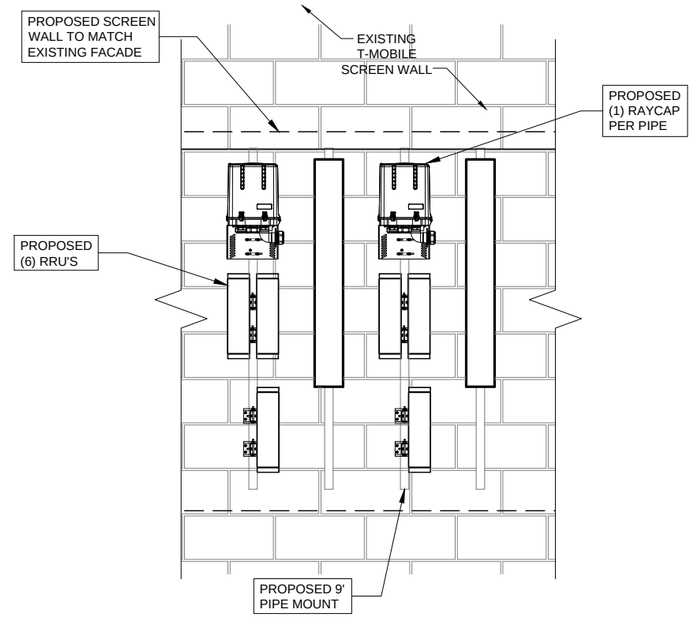
SHEET TITLE
SITE ELEVATION

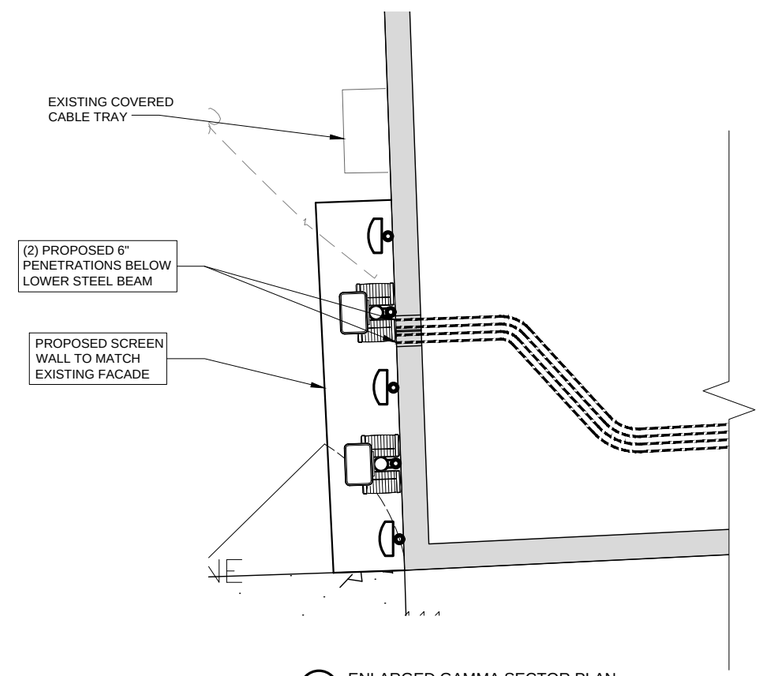
SHEET NUMBER
ANT-1



1 ENLARGED GAMMA SECTOR ELEVATION
SCALE: 3/4" = 1'-0"



2 ENLARGED GAMMA SECTOR (PARTIAL) ELEVATION
SCALE: 1/2" = 1'-0"



3 ENLARGED GAMMA SECTOR PLAN
SCALE: 1" = 2'

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SHEET TITLE
ANTENNA MOUNTING DETAILS (AT GAMMA SECTOR)

SHEET NUMBER
ANT-1A

EQUIPMENT CHANGE REQUEST FORM- ECR

Cell Name	FORESTPK NORTH			Cell ID	
Location Number		RF Engineer	Sabhi Siddiqui	Address	7400 Augusta St
Date of Request	2/20/2017	Market	EL-2	City/State/Zip	River Forest, IL

PROPOSED CONFIGURATION — Configuration: Option-A2

Sector	Pos	Port	RF Path	Antenna Manufacturer	Antenna Model	Antenna Serial Number	Centerline	Azimuth	Variable Tilt	Mechanical Tilt	Action
Alpha	A1	L1 (-45)	L 700 - RxTx0	ANDREW	SBNHH-1D65B		51'	30	2	0	Add- Install
		L2 (+45)	L 700 - RxTx1								
		H1 (-45)	Unused at this time						0		
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time						0		
		H4 (+45)	Unused at this time								
	A2	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	A3	L1 (-45)	L 700/800- RxTx2	ANDREW	SBNHH-1D65B		51'	30	2	0	Add- Install
		L2 (+45)	L 700/850 - RxTx3								
		H1 (-45)	L PCS - RxTx0						1		
		H2 (+45)	L PCS - RxTx1								
		H3 (-45)	L PCS - RxTx2						1		
		H4 (+45)	L PCS - RxTx3								
	A4	L1 (-45)	L CEL - RxTx0	ANDREW	SBNHH-1D65B		51'	30	2	0	Add- Install
		L2 (+45)	L CEL - RxTx1								
		H1 (-45)	L AWS - RxTx0						1		
		H2 (+45)	L AWS - RxTx1								
		H3 (-45)	L AWS - RxTx2						1		
		H4 (+45)	L AWS - RxTx3								
Beta	A1	L1 (-45)	L 700 - RxTx0	ANDREW	SBNHH-1D65B		51'	140	2	0	Add- Install
		L2 (+45)	L 700 - RxTx1								
		H1 (-45)	Unused at this time						0		
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time						0		
		H4 (+45)	Unused at this time								
	A2	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	A3	L1 (-45)	L 700/800- RxTx2	ANDREW	SBNHH-1D65B		51'	140	2	0	Add- Install
		L2 (+45)	L 700/850 - RxTx3								
		H1 (-45)	L PCS - RxTx0						1		
		H2 (+45)	L PCS - RxTx1								
		H3 (-45)	L PCS - RxTx2						1		
		H4 (+45)	L PCS - RxTx3								
	A4	L1 (-45)	L CEL - RxTx0	ANDREW	SBNHH-1D65B		51'	140	2	0	Add- Install
		L2 (+45)	L CEL - RxTx1								
		H1 (-45)	L AWS - RxTx0						1		
		H2 (+45)	L AWS - RxTx1								
		H3 (-45)	L AWS - RxTx2						1		
		H4 (+45)	L AWS - RxTx3								
Gamma	A1	L1 (-45)	L 700 - RxTx0	ANDREW	SBNHH-1D65B		51'	270	2	0	Add- Install
		L2 (+45)	L 700 - RxTx1								
		H1 (-45)	Unused at this time						0		
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time						0		
		H4 (+45)	Unused at this time								
	A2	L1 (-45)	Unused at this time								
		L2 (+45)	Unused at this time								
		H1 (-45)	Unused at this time								
		H2 (+45)	Unused at this time								
		H3 (-45)	Unused at this time								
		H4 (+45)	Unused at this time								
	A3	L1 (-45)	L 700/800- RxTx2	ANDREW	SBNHH-1D65B		51'	270	2	0	Add- Install
		L2 (+45)	L 700/850 - RxTx3								
		H1 (-45)	L PCS - RxTx0						1		
		H2 (+45)	L PCS - RxTx1								
		H3 (-45)	L PCS - RxTx2						1		
		H4 (+45)	L PCS - RxTx3								
	A4	L1 (-45)	L CEL - RxTx0	ANDREW	SBNHH-1D65B		51'	270	2	0	Add- Install
		L2 (+45)	L CEL - RxTx1								
		H1 (-45)	L AWS - RxTx0						1		
		H2 (+45)	L AWS - RxTx1								
		H3 (-45)	L AWS - RxTx2						1		
		H4 (+45)	L AWS - RxTx3								

Comments

PPC CONNECTORS ONLY

1 PROPOSED ANTENNA CONFIGURATION
N.T.S.

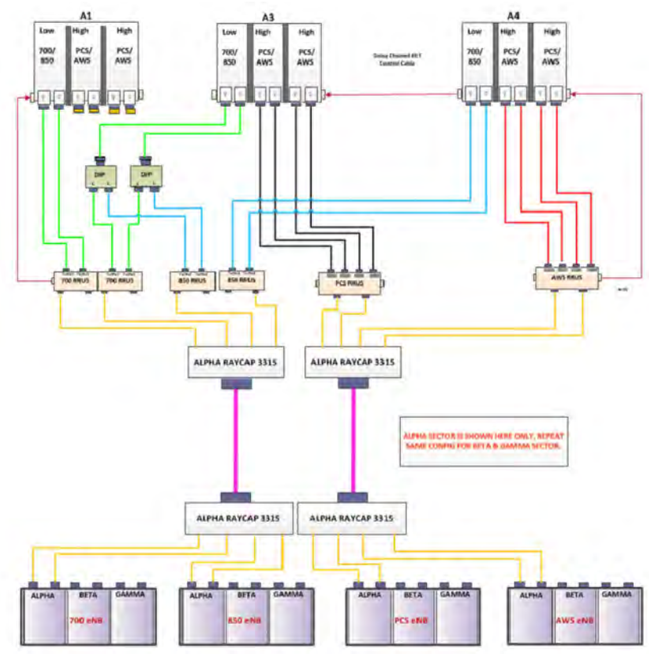
Proposed

	Location	Manufacturer	Component Model	Count	Action
Passive Components	Top (Platform)				
	Top (Platform)	Ericsson	RRUS - 700	6	Install
	Top (Platform)	Ericsson	RRUS - 850	6	Install
	Top (Platform)	Ericsson	RRUS32 - PCS	3	Install
	Top (Platform)	Ericsson	RRUS32 - AWS	3	Install
	Top (Platform)				
	Top (Platform)	Andrew	CBC78-DF-9-DCB	6	Install
	Top (Platform)	Raycap	RCMDC-3315-PF-48	6	Install
	Bottom (Shelter)	Raycap	RCMDC-3315-PF-48	6	Install
	Bottom (Shelter)				

	Sector	Coax Manufacturer	Type	Size	Count	Action
Coax						
	Alpha /Beta /Gamma	Andrew	HFT7208-24549-XXX	1 5/8	5	Install

Comments

2 COMBINER CABLE DATA INFORMATION
N.T.S.



3 CABLE DIAGRAM
N.T.S.

CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

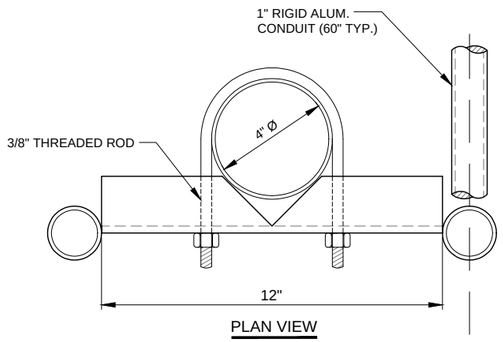
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

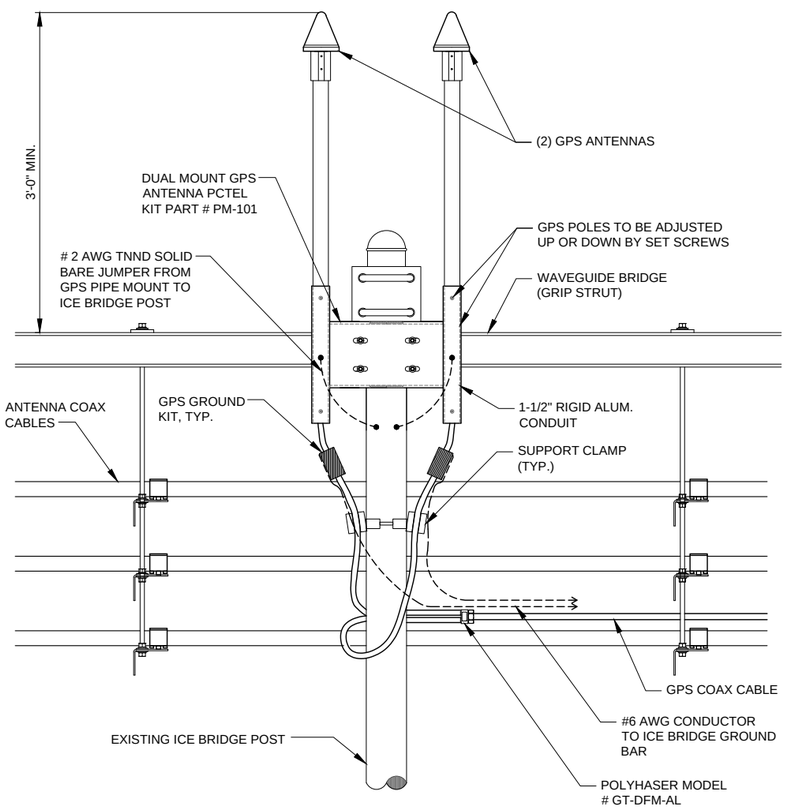
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
ANTENNA INFORMATION

SHEET NUMBER
ANT-2

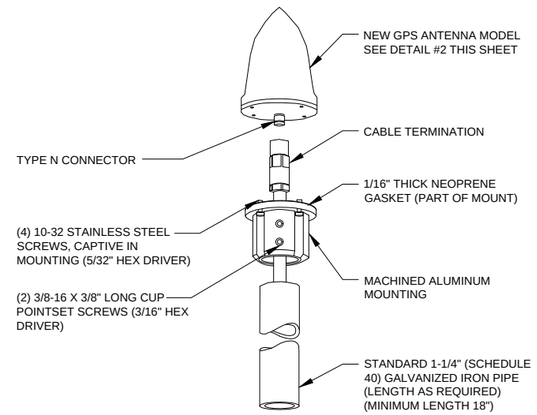


PLAN VIEW



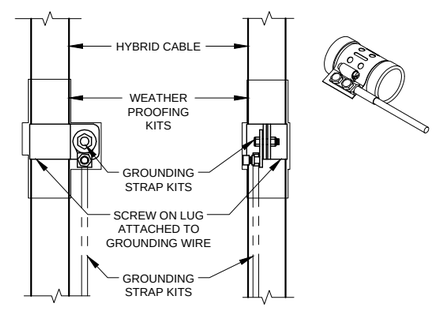
1 GPS MOUNTING DETAIL
N.T.S.

NOTE:
INSTALL EACH GPS ON THE CLOSEST ICE BRIDGE POSTS TO SHELTER (TYP. AT 2 LOCATIONS).

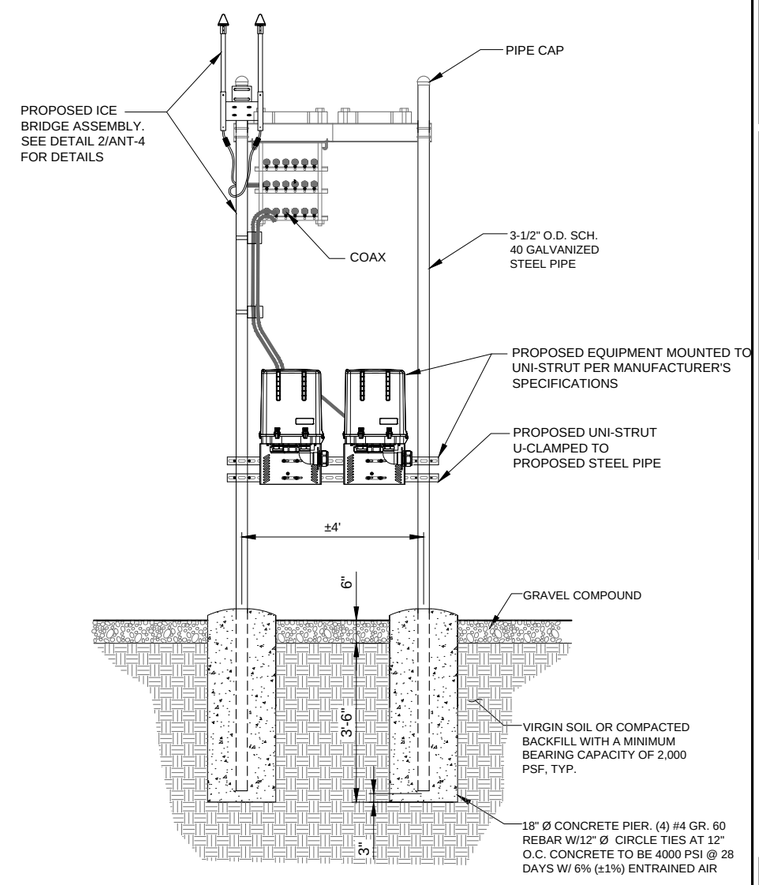


2 TYPICAL GPS DETAIL
N.T.S.

NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. THIS DETAIL IS TYPICAL FOR EACH CABLE WHERE IT IS SPECIFIED TO BE GROUNDED
3. CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.
4. CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.
5. USE ONLY TIN PLATED GROUNDING KITS.



4 COAX/ HYBRID GROUND KIT DETAIL
N.T.S.



3 RAYCAP MOUNT DETAIL - IF APPLICABLE
N.T.S.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
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FAX: 847-698-6401

REVISIONS

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8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

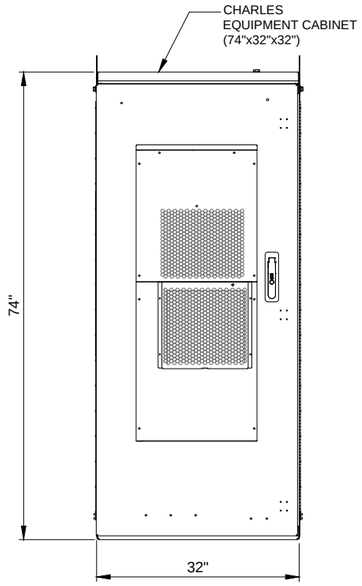
LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
SITE DETAILS

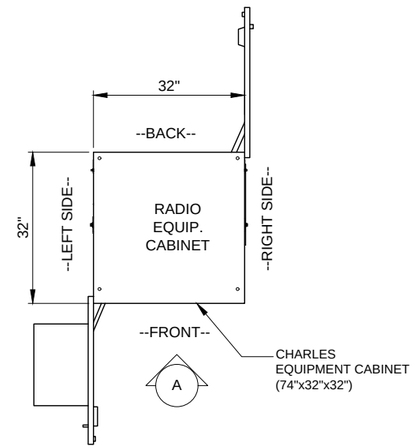
SHEET NUMBER
ANT-3



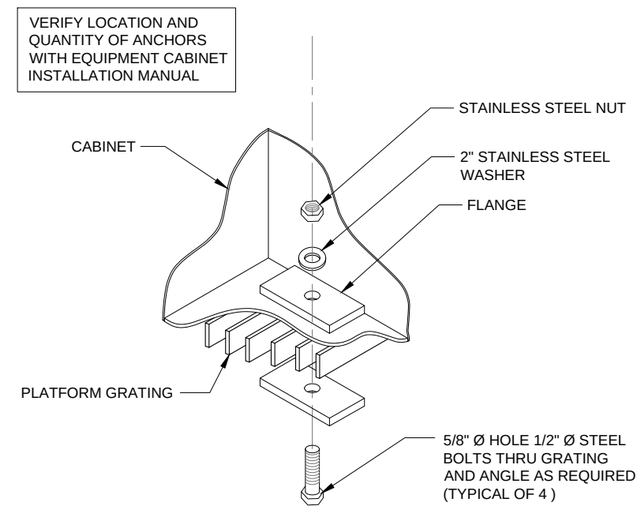
CABINET ELEVATION A

Category	
Dimensions and weight	74"H x 32"W x 32"D 535 lbs. as shipped
23" Front and Rear Equipment Rack Space and Hole Spacing	68" (39RU) EIA spacing with tapped 12 - 24 mounting holes
Color	Off- White
Material	.125" Welded Aluminum
Maximum Heat Dissipation	2900W
10000 BTU Air Conditioner with 2000W heater	Dantherm #1A/CT-B1000
Electrical outlet	One GFCI outlet
-48VDC power system with controller	GE infinity S: NES4824-23-AC5-PS8-DC1E
Bonding and Grounding	(4) 2x8-position Ground Bars
Cable Entrance	REFER TO DETAIL BELOW
Operating Temp. Range, Inside Enclosure	-40° to +149°F, 40° to 65°C
Operating Temp. Range, Outside Enclosure	-40° to +115°F, 40° to 46°C
Humidity	0 to 95% (non-condensing)
Altitude	Up to 2,000 meters (6560')

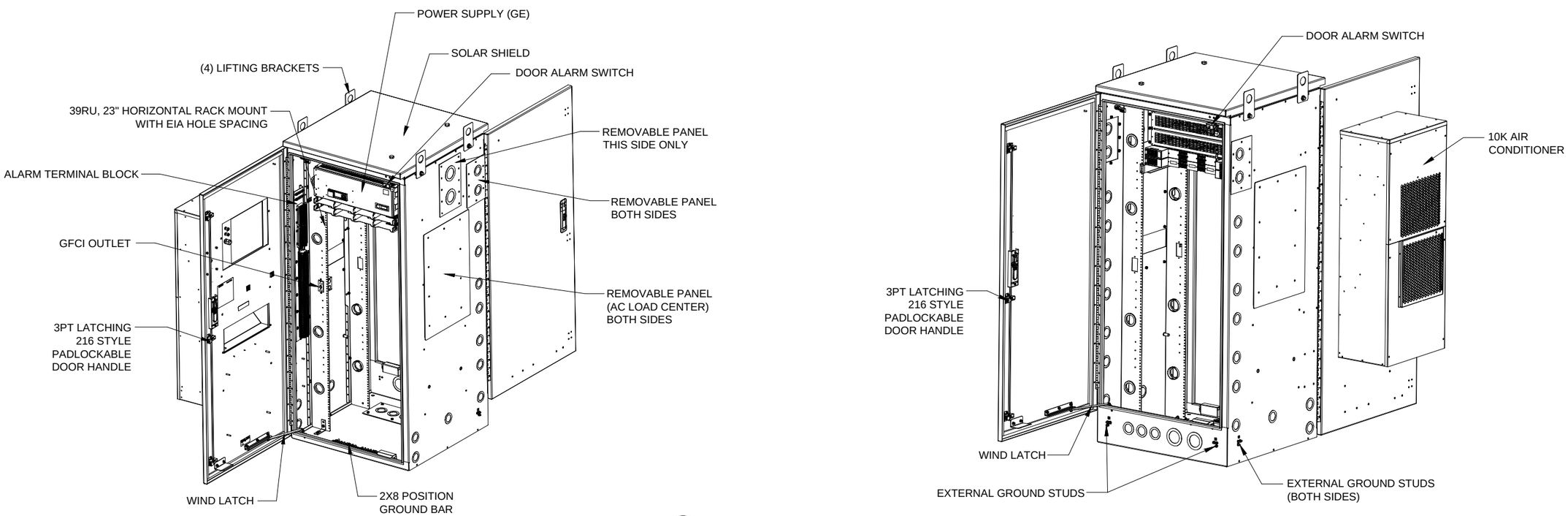
1 CHARLES CUBE-PM63912UN3 CABINET DIMENSIONS
SCALE: N.T.S



2 CHARLES CUBE-PM63912UN3 CABINET DIMENSION PLAN
SCALE: N.T.S



3 TYPICAL CABINET ANCHORING DETAIL
SCALE: N.T.S



4 CHARLES CUBE-PM63912UN3 CABINET COMPONENTS
SCALE: N.T.S

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
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9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

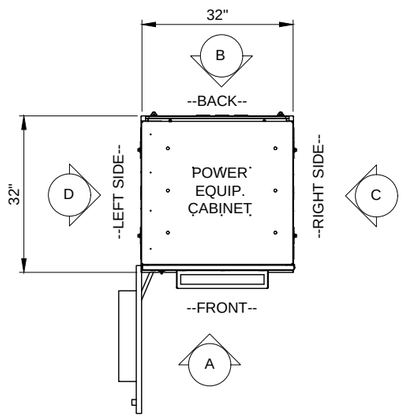
7400 AUGUSTA ST.
RIVER FOREST, IL 60305

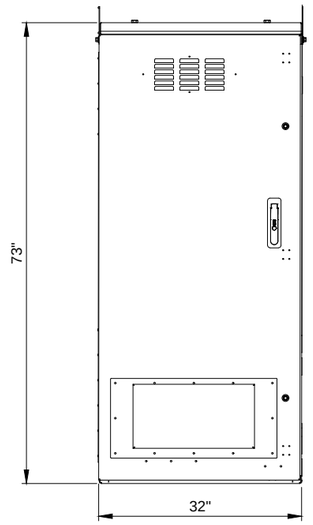
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
EQUIPMENT DETAILS

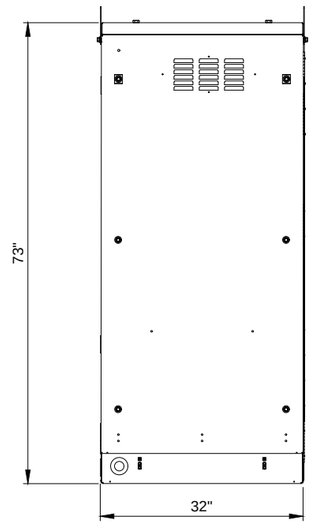
SHEET NUMBER
EQ-1

CHARLES CUBE-BB48E1HN1	
DIMENSIONS	32"W x 32"W x 73"H
WEIGHT	900 LBS (EMPTY)
WEIGHT	2650 LBS (w/NI-Cd BTY)
BATT. SUPPORT	5 STRINGS SAFT TEL. 180,48V
THERMAL	DAC

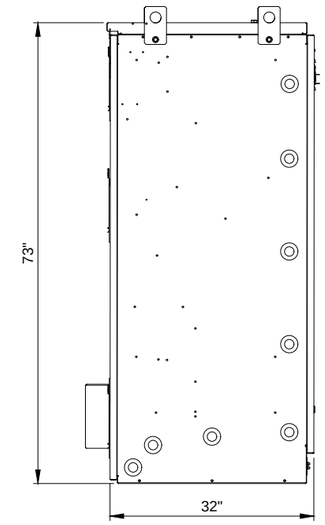




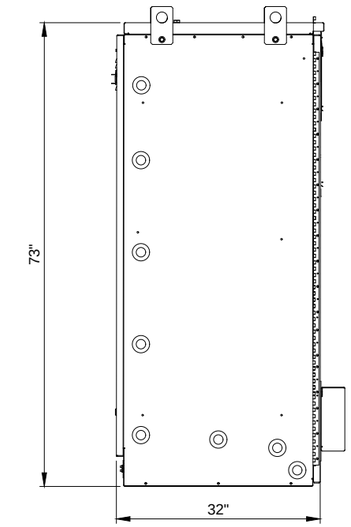
CABINET ELEVATION A



CABINET ELEVATION B



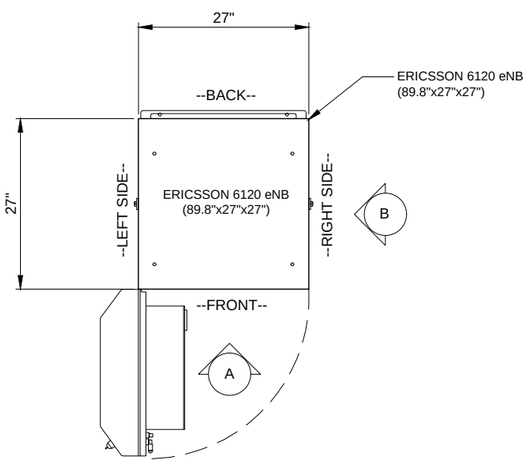
CABINET ELEVATION C

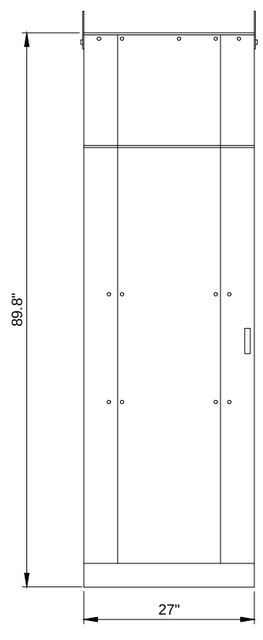


CABINET ELEVATION D

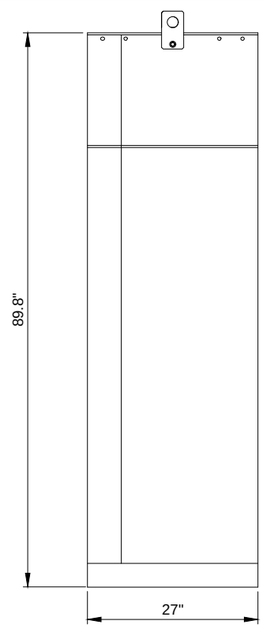
1 CHARLES CUBE-BB48E1HN1 CABINET DIMENSIONS
N.T.S.

ERICSSON 6120 eNB	
DIMENSIONS	27"W x 27"W x 89.8"H
WEIGHT	___ LBS



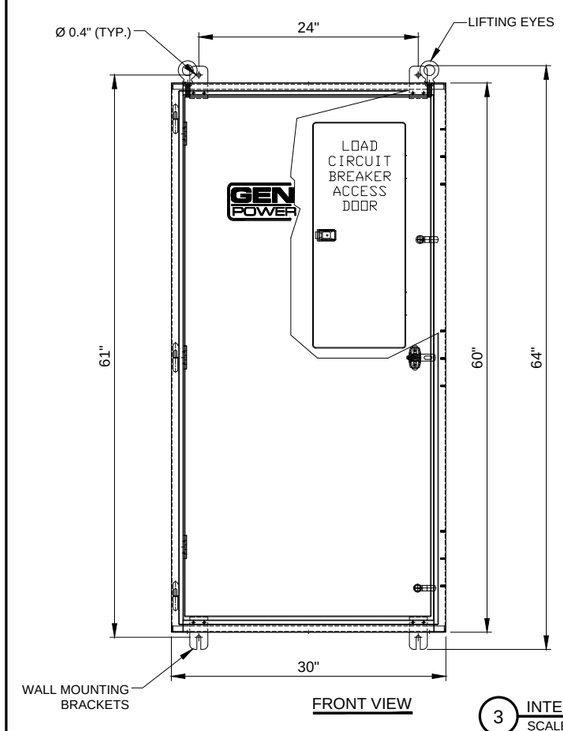


CABINET ELEVATION A



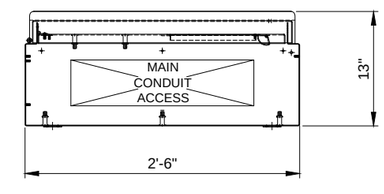
CABINET ELEVATION B

2 ERICSSON 6120 eNB CABINET DIMENSIONS
SCALE: N.T.S



FRONT VIEW

ILC RATED AMPS	Voltage	Phase	Enclosure Height	Enclosure Width	Enclosure Depth	Weight (lbs.)
200	120/240	1	60"	30"	10"	350
200	120/208	3	60"	30"	10"	350



BOTTOM VIEW

3 INTEGRATED LOAD CENTER
SCALE: N.T.S

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
EQ-2

DESIGN LOADS:

CODE: INTERNATIONAL BUILDING CODE 2003

SNOW LOAD =	25	PSF
WIND LOAD =	20	PSF (MIN.)
WIND SPEED =	90	MPH
EXPOSURE =	C	
I =	1.0	

GENERAL STEEL NOTES:

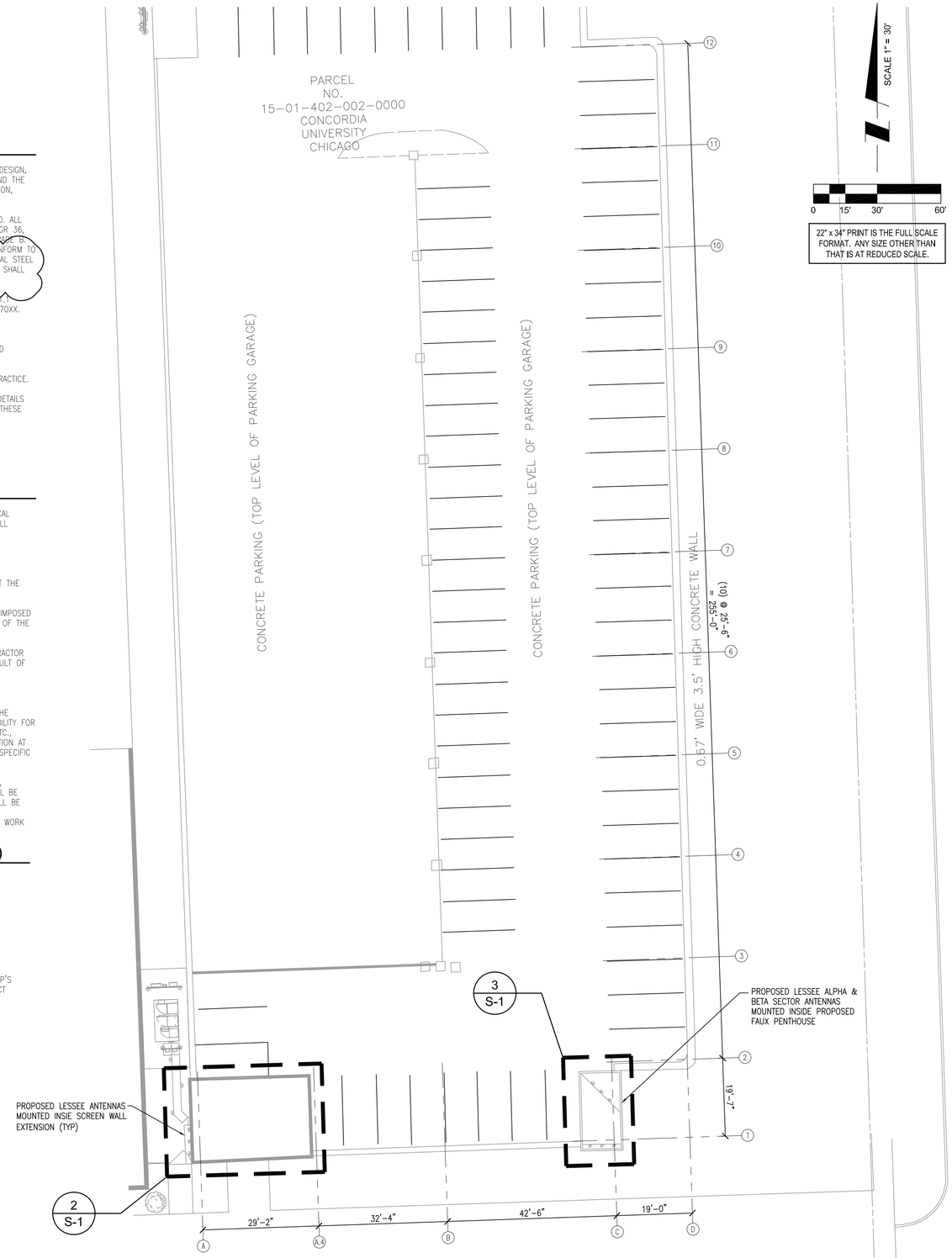
1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
2. ALL STRUCTURAL STEEL W SHAPES SHALL CONFORM TO ASTM A572 OR A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM TO ASTM A36 OR 36, UNLESS NOTED OTHERWISE. COLD FORMED STEEL SHALL CONFORM TO ASTM A500 GRADE B. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR AND U-BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES. ALL STRUCTURAL STEEL BOLTS SHALL BE ASTM A325. ALL STRUCUTURAL STEEL SHAPES, BOLTS AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
3. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
5. IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
6. THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.
8. TAKE NECESSARY PRECAUTIONS WHEN WELDING TO GALVANIZED SURFACES.
9. GALVANIZED TOUCH-UP ALL SURFACES AFTER WELDING.

MISCELLANEOUS NOTES:

1. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.
2. NO OPENINGS, OTHER THAN THOSE SHOWN ON DESIGN DRAWINGS AND APPROVED SHOP DRAWINGS, SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
3. NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
5. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACING AND / OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND / OR SEQUENCES.
6. DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
7. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECTS APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
8. ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PLANS AND / OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT BEFORE THE EFFECTED WORK PROCEEDS.

FIBER REINFORCED PLASTIC NOTES (FRP)

1. FIBER REINFORCED PLASTIC TO HAVE THE FOLLOWING DESIGN PROPERTIES:
   E = 2,800,000 PSI
   F_b = 10,000 PSI
   F_v = 1,500 PSI
2. ALL FIBER REINFORCED PLASTIC SHALL BE MANUFACTURED BY BEDFORD PLASTICS OR APPROVED EQUAL.
3. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.+
4. CALCULATIONS & DRAWINGS BY FRP MANUFACTURER TO BE SIGNED AND SEALED BY FRP'S STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS AND SUBMITTED TO PROJECT ENGINEER FOR REVIEW AND COMMENT.
5. ALL FRP WALL PANELS SHALL BE FROM STEALTH ®
6. ALL FRP BOLTS SHALL BE FIBREBOLTS.



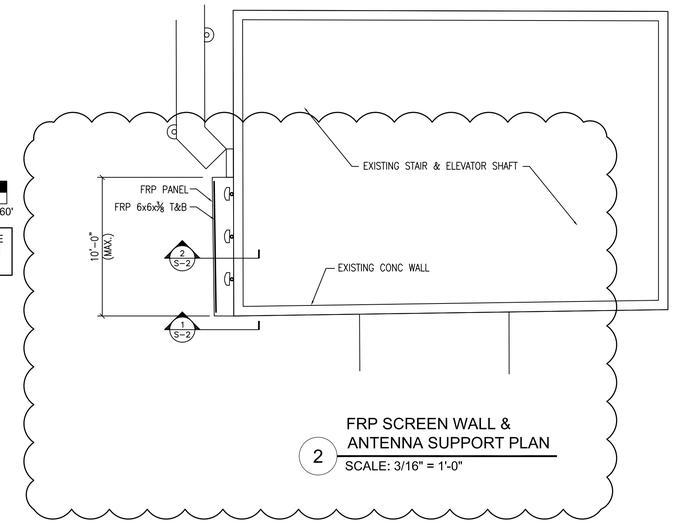
1 LOCATION PLAN
SCALE: 1/16" = 1'-0"

SCALE 1" = 30'

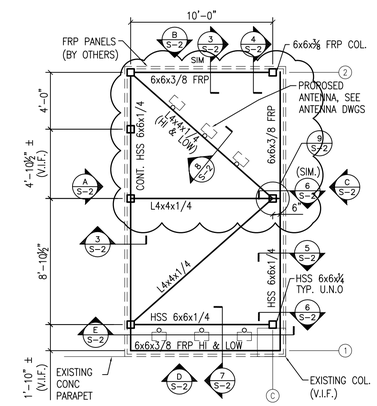
0 15' 30' 60'

22" x 34" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

BONNIE BRAE



2 FRP SCREEN WALL & ANTENNA SUPPORT PLAN
SCALE: 3/16" = 1'-0"



3 FRP ENCLOSURE PLAN
SCALE: 3/16" = 1'-0"

HUTTER TRANKINA ENGINEERING
CONSULTING STRUCTURAL ENGINEERS
HTE JOB #17485
32W273 Army Trail Road, Suite #100, Wayne, Illinois 60184
Tel: (630) 513-6711
E-mail: gen@htedesign.com
WEB SITE: www.htedesign.com

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STATE OF ILLINOIS JOHN L. TRANKINA EXP. 11-18 4/18/18 4901 LICENSED STRUCTURAL ENGINEER

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-8400
Fax: 847/698-8401

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PEER REVIEW COMMENTS	4/18/18	UV

LOC. # 418745

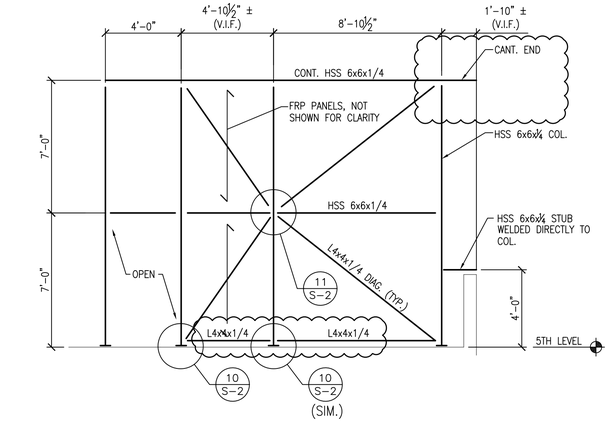
FOREST PARK NORTH

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

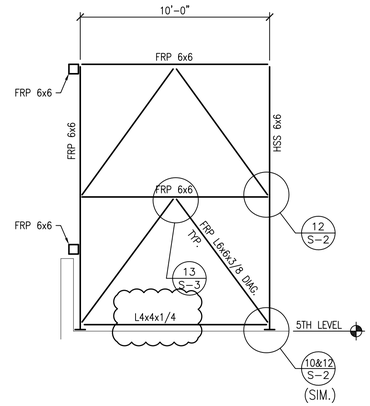
DRAWN BY:	SG
CHECKED BY:	UV
DATE:	2/9/18
PROJECT #:	33-2430

SHEET TITLE
ROOF PLAN

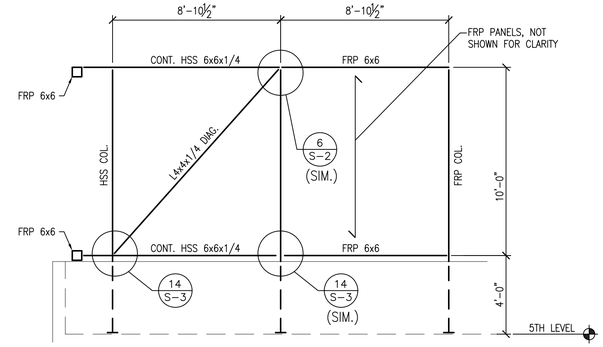
SHEET NUMBER
S-1



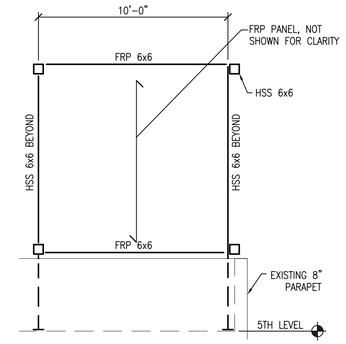
A ELEVATION
SCALE: 1/4"=1'-0"



B ELEVATION
SCALE: 1/4"=1'-0"



C ELEVATION
SCALE: 1/4"=1'-0"



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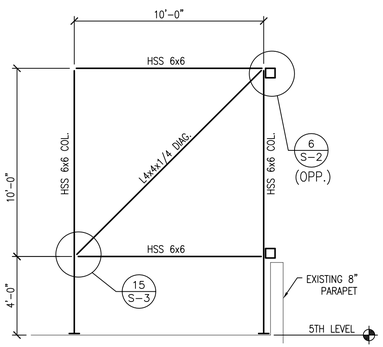
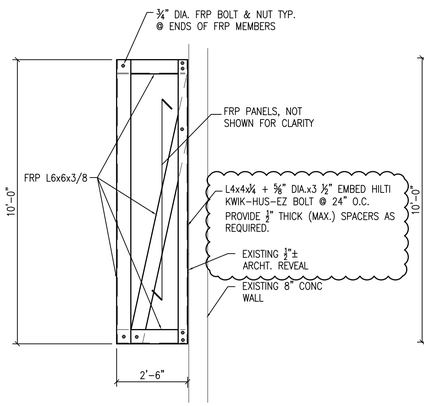


E ELEVATION
SCALE: 1/4"=1'-0"



1 DETAIL
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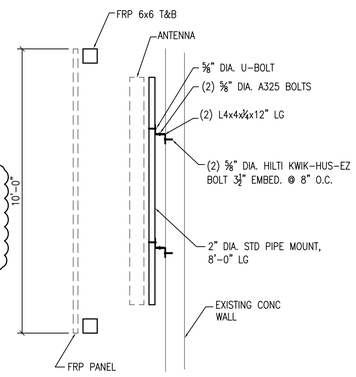

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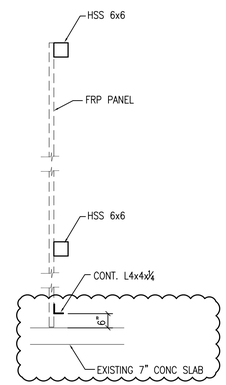

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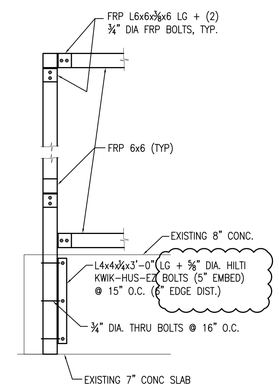

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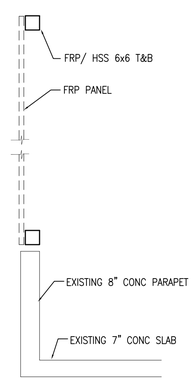

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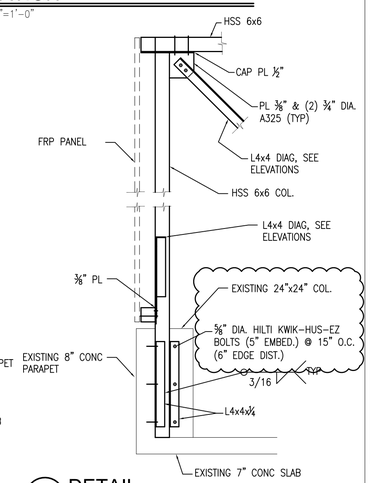

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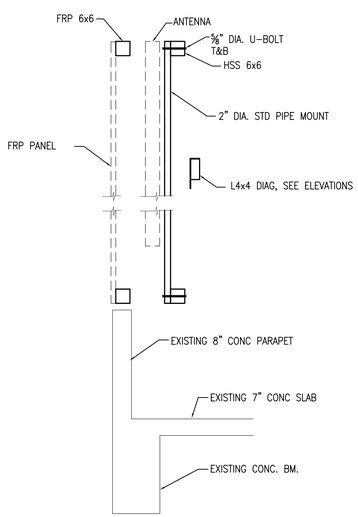

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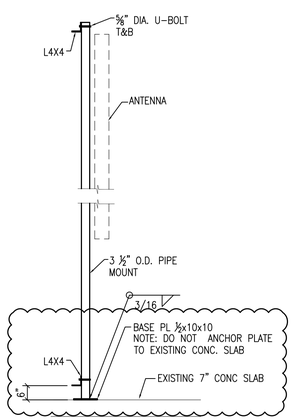
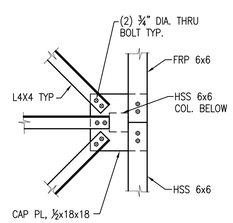


8 DETAIL
SCALE: 3/8"=1'-0"



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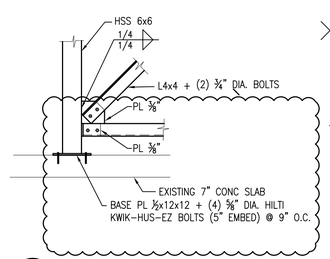

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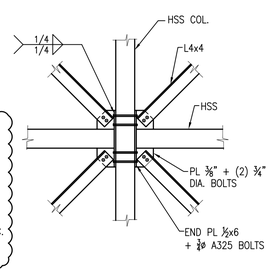
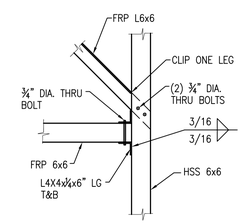
SCALE: 1/2"=1'-0"



11 DETAIL
SCALE: 1/2"=1'-0"



12 DETAIL
SCALE: 1/2"=1'-0"

G.C. SHALL X-RAY/SCAN EXISTING CONCRETE ELEMENTS FOR EXISTING TENDONS/REINF PRIOR TO STEEL FABRICATION AND INFORM ENGINEER IF INTERFERENCE EXISTS.

STATE OF ILLINOIS
JOHN L. TRANKINA
EXP. 11-15
4/18/18
4901
LICENSED STRUCTURAL ENGINEER

HUTTER TRANKINA ENGINEERING
CONSULTING STRUCTURAL ENGINEERS
HTE JOB #17485
32W273 Army Trail Road, Suite #100, Wayne, Illinois 60184
Tel: (630) 513-6711
E-mail: gen@htedesign.com
WEB SITE: www.htedesign.com

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CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-8400
Fax: 847/698-8401

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PEER REVIEW COMMENTS	4/18/18	UV

LOC. # 418745

FOREST PARK NORTH

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	SG
CHECKED BY:	UV
DATE:	2/9/18
PROJECT #:	33-2430

SHEET TITLE
ELEVATIONS AND DETAILS

SHEET NUMBER
S-2

UTILITY NOTES:

WORK INCLUDES:

THESE NOTES AND ACCOMPANYING DRAWINGS COMPLEMENT THE PROVISIONS AND INSTALLATIONS BY THE ELECTRICAL CONTRACTOR, OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL THE ELECTRICAL WORK COMPLETE IN CONNECTION WITH THIS VERIZON WIRELESS SITE AND SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

1. THE PROVISIONS, INSTALLATION, AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A BUILDING AND SECONDARY GROUNDING, CELLULAR TELEPHONE COMMUNICATIONS TOWER AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
2. THE PROVISION AND INSTALLATION OF AN OVERHEAD ELECTRICAL SERVICE OR UNDERGROUND ELECTRICAL SERVICE AND ALL ASSOCIATED WIRE AND CONDUIT AS REQUIRED AND/OR INDICATED ON PLANS.
3. THE PROVISION, INSTALLATION OF CONDUIT AND CONNECTIONS FOR LOCAL TELEPHONE SERVICE.
4. THE FURNISHING AND INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS, CONDUITS, METER SOCKET, AND CONNECTIONS TO THE SERVICE EQUIPMENT WITHIN THE ENCLOSURE.
5. TWO INCH (2") AND THREE INCH (3") DIAMETER PVC CONDUITS SCHEDULE 40.
6. ALL PVC CONDUITS SHOULD BE LEFT WITH NYLON PULL CORD FOR FUTURE USE.
7. EXCAVATION, TRENCHING, AND BACKFILLING FOR CONDUIT(S), CABLE(S), AND EXTERNAL GROUNDING SYSTEM.

CODES, PERMITS, AND FEES:

1. ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS SHALL BE SECURED AND ALL FEES FOR SAME PAID BY CONTRACTOR.
2. THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES: STATE, LOCAL AND NATIONAL, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING AUTHORITIES:

N.E.C.	NATIONAL ELECTRIC CODE
A.N.S.I.	AMERICAN NATIONAL STANDARDS INSTITUTE
I.E.E.E.	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
N.E.M.A.	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
U.L.	UNDERWRITERS LABORATORIES, INC.
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION

RACEWAYS AND WIRING:

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING. PROVIDE JUNCTION AND PULLBOXES FOR CONDUIT RUNS WITH MORE THAN (360) DEGREES OF BENDS.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.
6. ELECTRICAL PANELBOARD SHALL BE FURNISHED AND INSTALLED BY OTHERS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION.
7. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.

GENERAL NOTES:

SEE DETAILS AND SCHEDULES ON DRAWINGS AND SPECIFICATIONS FOR MEANING OF ABBREVIATIONS AND ADDITIONAL REQUIREMENTS AND INFORMATION. CHECK ARCHITECTURAL, STRUCTURAL AND OTHER MECHANICAL AND ELECTRICAL DRAWINGS FOR SCALE, SPACE LIMITATIONS, COORDINATION, AND ADDITIONAL INFORMATION, ETC. REPORT ANY DISCREPANCIES, CONFLICTS, ETC. TO ENGINEER BEFORE SUBMITTING BID. ALL EQUIPMENT FURNISHED BY OTHERS (FBO) SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF (FBO) EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS.

COORDINATION WITH UTILITY COMPANY:

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANY FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS, IF REQUIRED, METER SOCKETS, PRIMARY CABLE RACEWAY REQUIREMENTS, SECONDARY SERVICE, ETC. PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THE BID ANY OPTIONAL OR EXCESS FACILITY CHARGES ASSOCIATED WITH PROVIDING ELECTRICAL SERVICE FROM LOCAL UTILITY COMPANY. VERIFY BEFORE BIDDING TO INCLUDE ALL COSTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE AVAILABLE FAULT CURRENT WITH THE LOCAL UTILITY COMPANY PRIOR TO SUBMITTING BID. ADJUST A.I.C. RATINGS OF ALL OVER CURRENT PROTECTION DEVICES IN DISTRIBUTION EQUIPMENT AS REQUIRED TO COORDINATE WITH AVAILABLE FAULT CURRENT FROM LOCAL UTILITY COMPANY. ALL GROUNDING RODS PROVIDED BY THE POWER OR TELEPHONE UTILITY COMPANIES MUST BE TIED INTO THE MAIN EXTERNAL GROUND RING.

UTILITY CONTACTS:

POWER: ComEd
FERNANDO FLORES
708-410-431
ACCT # 58590-61005

FIBER: ONE FIBER
MARK ZOLTEK
312-989-2025

ELECTRICAL CONTRACTOR SHALL COORDINATE WITH POWER COMPANY FOR ENTRY INTO FENCED AREA BY EITHER MAILING A KEY TO A SLAVE LOCKED CHAIN AT THE FENCE GATE OR CALLING AND LEAVING A COMBINATION.

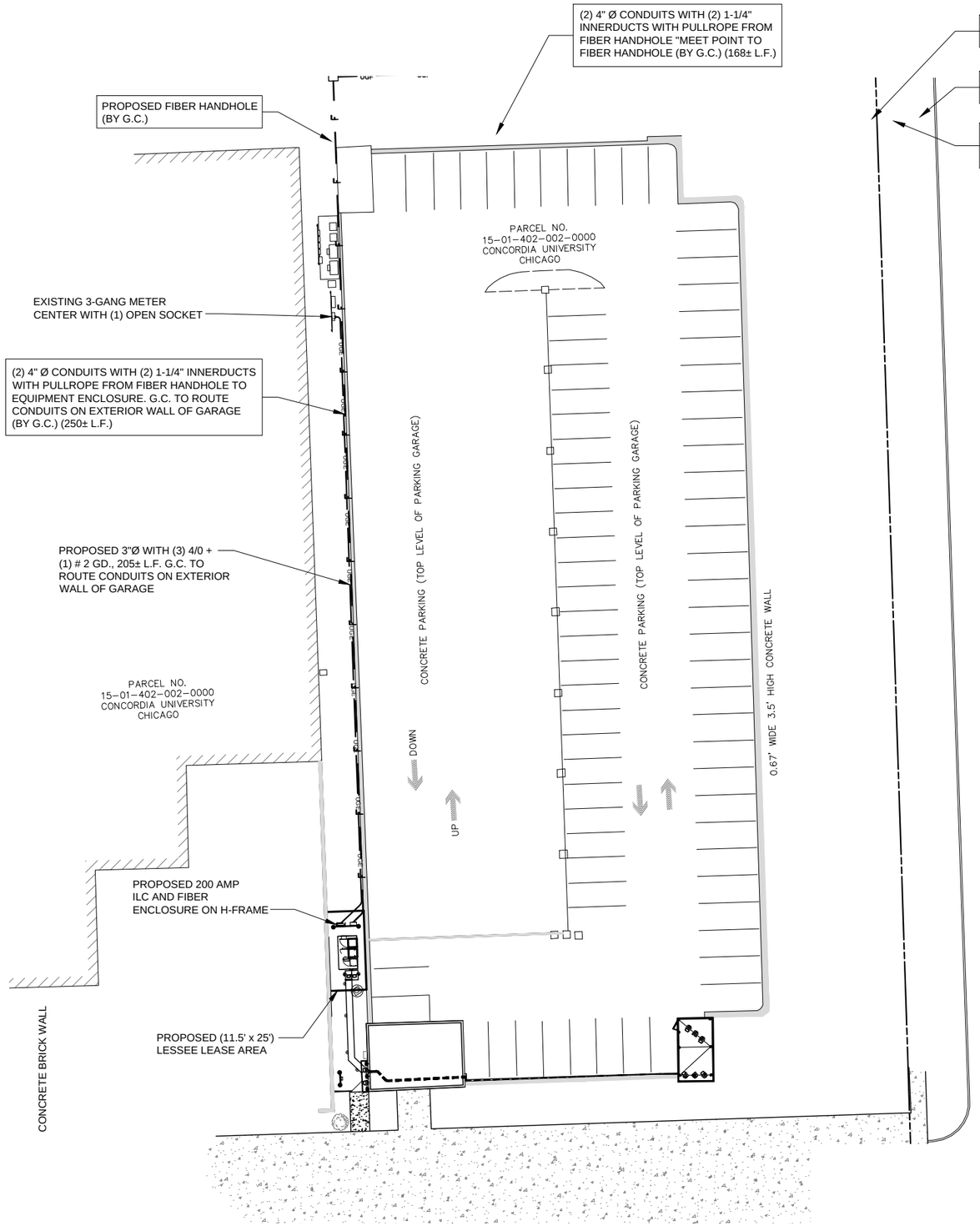
FOR CONTINUATION AND CONNECTION OF ELECTRIC AND FIBER SERVICE. COORDINATE WITH ELECTRIC AND FIBER COMPANY.

OPERATES 24 HOURS A DAY 365 DAYS A YEAR

Call Before You Dig

JULIE ILLINOIS ONE CALL SYSTEM

CALL JULIE TOLL FREE 1(800) 892-0123 48 HOURS BEFORE YOU DIG



1 SITE UTILITY ROUTING PLAN
SCALE: 1" = 20'

OPERATES 24 HOURS A DAY 365 DAYS A YEAR

Call Before You Dig

JULIE ILLINOIS ONE CALL SYSTEM

CALL JULIE TOLL FREE 1(800) 892-0123 48 HOURS BEFORE YOU DIG

NOTE:
CONTRACTOR TO VERIFY ROUTES WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.

CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE

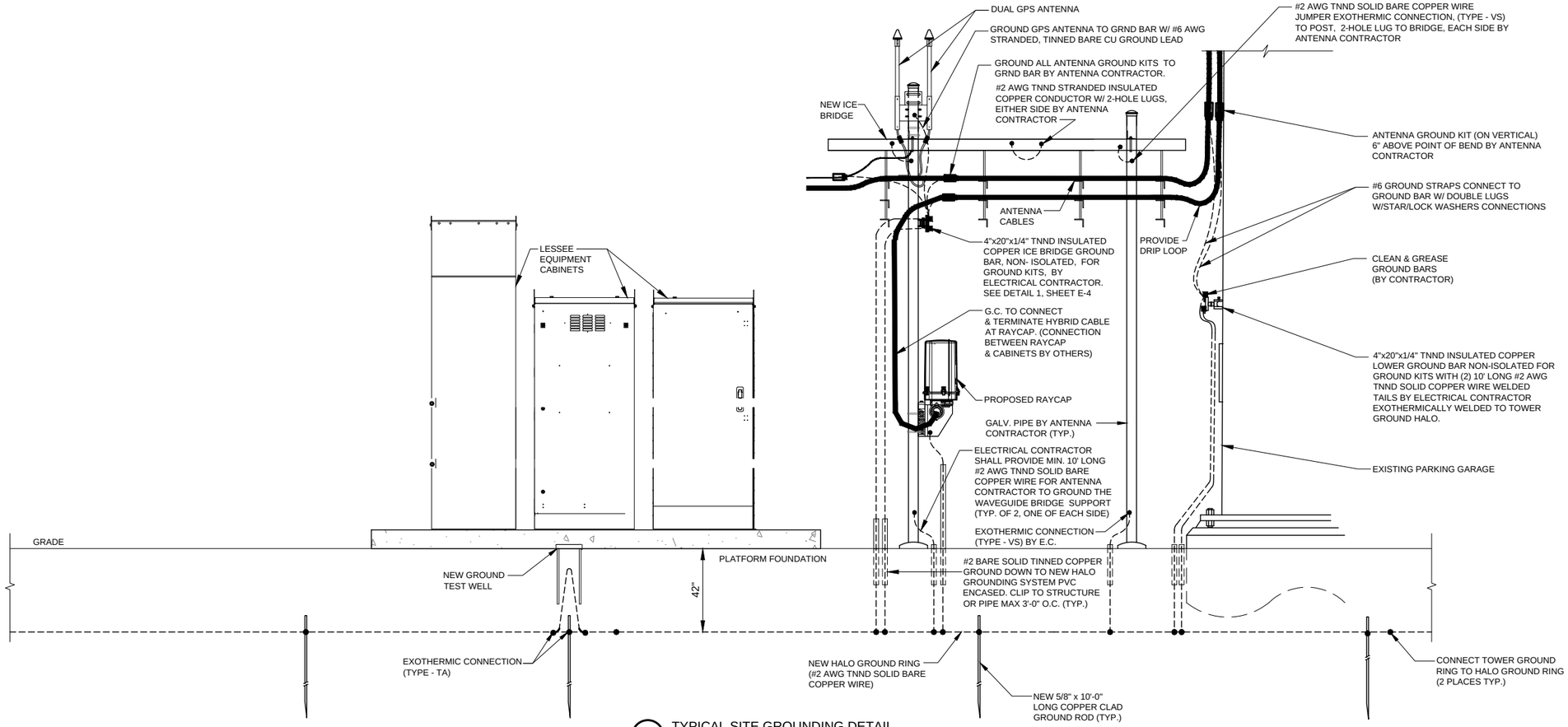
UTILITY ROUTING PLAN

SHEET NUMBER

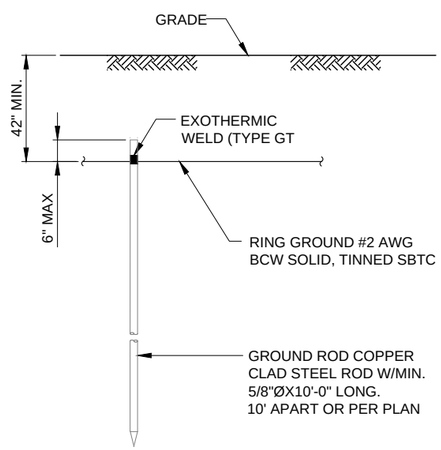
E-1

NOTE:
ANTENNA CABLES SHALL BE GROUNDED AT THE ANTENNA HEIGHT OF TOWER

NOTE:
ALL CABINET GROUND CONNECTION BY OTHERS.



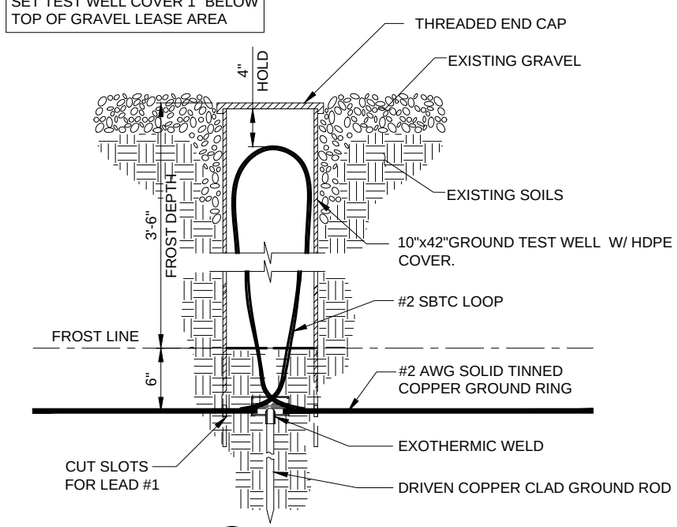
1 TYPICAL SITE GROUNDING DETAIL
SCALE: N.T.S.



NOTE:
GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.

GROUND ROD DETAIL
SCALE: N.T.S.

NOTE:
SET TEST WELL COVER 1" BELOW TOP OF GRAVEL LEASE AREA



TEST WELL DETAIL
SCALE: N.T.S.

CHICAGO SMSA
limited partnership
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7400 AUGUSTA ST.
RIVER FOREST, IL 60305

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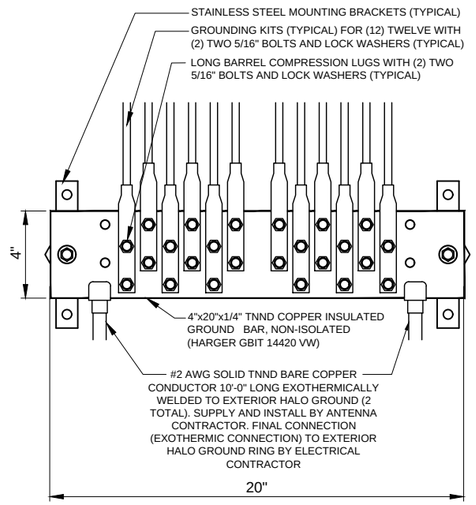
PROJECT #:	33-2430

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
E-2

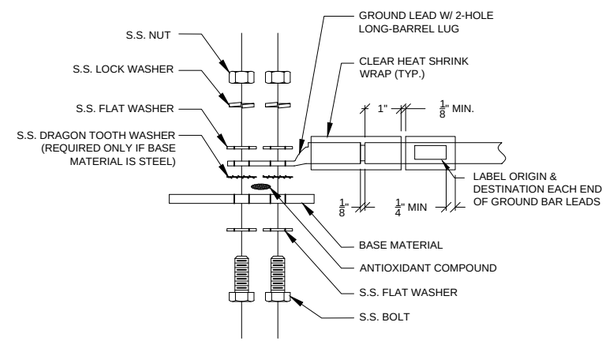
GROUNDING ELECTRODE SYSTEM NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN- WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
5. AFTER INSTALLATION OF THE CANOPY AT THE DOOR, GC/EC IS TO BOND THE CANOPY TO THE DOOR FRAME WITH A #2 CONDUCTOR. USE DOUBLE-LUG CONNECTION. PREP AND PAINT SURFACE TO MATCH AFTER INSTALLATION.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
   1. ONE (1) COPY TO OWNER REPRESENTATIVE
   2. ONE (1) COPY TO ENGINEER
   3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE

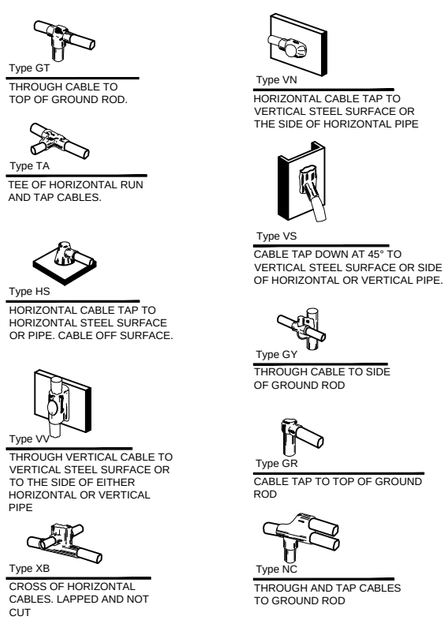


1 EXTERIOR GROUND BAR DETAIL
N.T.S.

NOTES:
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVILLES. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH KOPR-SHIELD.
3. GROUND BARS, INSTALL BOLT HEAD TOWARD WALL
4. ENCLOSURES, INSTALL BOLT HEAD ON OUTSIDE OF ENCLOSURE



2 GROUND LUG INSTALLATION DETAIL
N.T.S.



3 EXOTHERMIC WELD DETAILS
EXOTHERMIC AND HARGER ULTRAWELD OR APPROVED EQUAL

4 SQUARE D TAP BOX DETAILS
SCALE: N.T.S.

CHICAGO SMSA
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LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

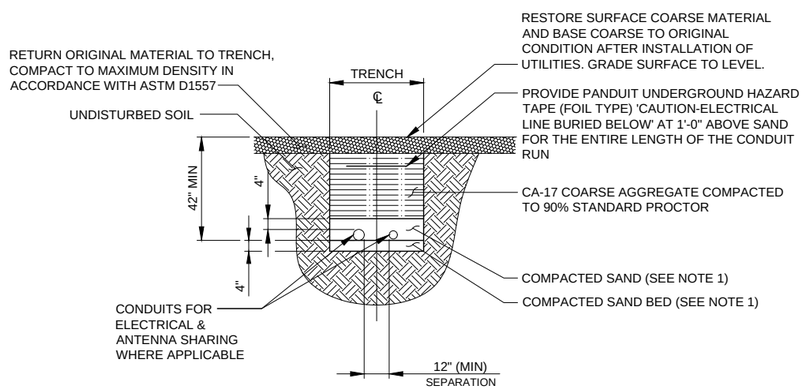
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
GROUNDING DETAILS

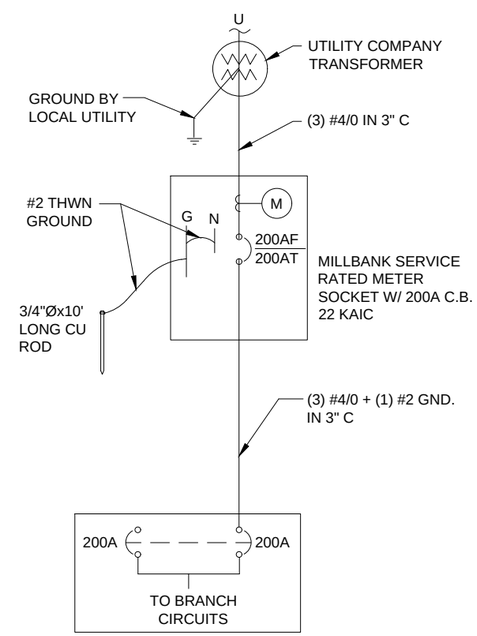
SHEET NUMBER
E-3

NOTES:

1. LEAN CONCRETE, RED-COLORED TOP, MAY BE USED IN PLACE OF COMPACTED SAND.
2. BURY CONDUITS 42" BELOW GRADE OR 6" BELOW FROST LINE, WHICHEVER IS GREATER
3. CONDUIT SIZE, TYPE, QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS



1 UTILITY TRENCH DETAIL
SCALE: N.T.S.



GENERAC 200A 120/240V, 1Ø PANEL BOARD WITH AUTOMATIC TRANSFER

2 SINGLE LINE DIAGRAM
N.T.S.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

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4	UPDATE PER LL COMMENTS	12/03/17	TJS
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7	UPDATE PER LL COMMENTS	04/02/18	RA
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9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-4

GENERAL

THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS

SECTION 01700 - PROJECT CLOSEOUT

PART 1 - GENERAL

A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES.

B. SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.

C. COMPLETE FINAL CLEAN UP REQUIREMENTS. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES.

PART 2 - FINAL CLEANING

1. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.
   a. CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS, RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN-TEXTURED SURFACE.
   b. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE
   c. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURE.
   d. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
   e. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.
   f. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
   g. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY
2. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK

SECTION 02200 - EARTHWORK AND DRAINAGE

PART 1 - GENERAL

1. WORK INCLUDED: SEE SITE PLAN.
2. SEQUENCING
   a. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG EAST FENCE LINE.
   b. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH

PART 2 - EXECUTION

1. INSPECTIONS: LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.
2. PREPARATION
   a. CLEAR TREES, BRUSH AND DEBRIS FROM SITE AS REQUIRED.
   b. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES (6") BELOW GRADE.
   c. UNLESS OTHERWISE INSTRUCTED BY OWNER, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
   d. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
   e. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
3. INSTALLATION
   a. GRADE OR FILL THE SITE AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
   b. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
   c. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
   d. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.
   e. PLACE FILL OR STONE IN SIX INCH (6") MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
   f. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE FOOT (1') BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.
   g. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.
   h. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
   i. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.
   j. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
   k. IN DITCHES WITH SLOPES GREATER THAN 10% MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN THAT 60^ OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET (6') ABOVE THE CULVERT ENTRANCE.
   l. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
   m. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
   n. ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.
4. FIELD QUALITY CONTROL: COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.
5. PROTECTION
   a. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATIVE.
   b. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

SECTION 02830 - FENCING AND GATE(S)

PART 1 - GENERAL

1. WORK INCLUDED - SEE PLAN FOR SITE AND LOCATION OF FENCE
2. QUALITY ASSURANCE
   a. ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE "E" ZINC, 18 OUNCES PER SQUARE FOOT.
3. SEQUENCING
   a. IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.
4. SUBMITTALS
   a. MANUFACTURER'S DESCRIPTIVE LITERATURE.
   b. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 - PRODUCTS

1. FENCE MATERIAL
   a. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
   b. FABRIC SHALL BE SEVEN-FOOT (7') HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
   c. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER
      i. LINE 2" SCHEDULE 40 (2 3/8" O.D.)
      ii. CORNER 3" SCHEDULE 40 (3 1/2" O.D.)
      iii. GATE 3" SCHEDULE 40 (3 1/2" O.D.)
   d. ALL TOP AND BRACE RAILS SHALL BE 1 DIAMETER SCHEDULE - 40 MECHANICAL - SERVICE PIPE.
   e. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL - SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
   f. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
   g. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.
   h. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.
   i. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
   j. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
   k. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.
   l. ALL POST EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
   m. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS, AND TENSION BAND CLIPS.
   n. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.

PART 3 - EXECUTION

1. INSPECTION: TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS,
2. INSTALLATION
   a. FOUNDATIONS SHALL HAVE A MINIMUM SIX INCH (6") CONCRETE COVER UNDER POST.
   b. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ON QUARTER INCH (1/4")
   c. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
   d. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
   e. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO FOOT (2') INTERVALS.
   f. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC AND THE FINAL GRADE.
   g. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
   h. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
   i. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.
3. PROTECTION: UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL. APPLICABLE STANDARDS:

ASTM-A120	SPECIFICATION FOR PIPE, STEEL, BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
ASTM-A123	ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
ASTM-A153	STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
ASTM-A392	SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
ASTM-A491	SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
ASTM-A525	STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
ASTM-A570	SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.

A. FEDERAL SPECIFICATION RR-F-191-FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)

DIVISION 3: CONCRETE

SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS

PART 1 - GENERAL

1. WORK INCLUDED: FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.
2. INSPECTIONS
   a. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.
   b. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE LESSEE'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.
   c. THE LESSEE'S CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
3. QUALITY ASSURANCE
   a. CONSTRUCT AND ERECT CONCRETE FORMWORK IN ACCORDANCE WITH ACI 301 AND ASTM 318.
   b. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
   c. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.
   d. OPEN FOUNDATION TRENCHES SHALL BE INSPECTED BY MES PRIOR TO CONCRETE INSTALLATION.
4. SUBMITTALS: SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY LESSEE CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWING SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.

PART 2 - PRODUCTS

1. REINFORCEMENT MATERIALS
   a. REINFORCEMENT STEEL, ASTM A615, 60 ksi YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.
   b. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE IN FLAT SHEETS, PLAIN FINISH.
   c. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS. SIZED AND SHAPED FOR SUPPORTS OR REINFORCING.
   d. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184.
2. CONCRETE MATERIALS
   a. CEMENT: ASTM C150, PORTLAND TYPE
   b. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED; ONE INCH (1") SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD (1/3) CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
   c. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE
   d. AIR ENTRAINING ADMIXTURE: ASTM C260
   e. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.
   f. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE. CEMENT, WATER REDUCING AND PLASTICISING AGENTS.
3. CONCRETE MIX
   a. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
   b. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
   c. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:
      i. COMPRESSIVE STRENGTH: 4000 psi AT 7 DAYS. SEE SHEET 2-1 FOR CAISSON CONCRETE COMPRESSIVE STRENGTH.
      ii. SLUMP: 3 INCHES

PART 3 - EXECUTION

1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS
   a. THE CONSTRACTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
   b. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.
   c. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENING, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
   d. INSTALL CONRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.
2. REINFORCEMENT PLACEMENT
   a. PLACEMENT REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
   b. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.
   c. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
   d. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE THREE INCHES (3") UNLESS OTHERWISE NOTED.
   e. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED THREE INCHES (3") NOR BE LESS THAN TWO INCHES (2").
3. PLACING CONCRETE
   a. VIBRATE ALL CONCRETE.
   b. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCECURES IF SEASONAL CONDITIONS APPLY.
4. CURING
   a. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.
   b. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.
6. FIELD QUALITY CONTROL
   a. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN FOR EVERY 15 CUBIC YARD OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH ASTM, C-31 AND C-39.
   b. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.
   c. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.
7. DEFECTIVE CONCRETE: MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAILS OR ELEVATIONS AT COST OF GC, AS DIRECTED BY ARCHITECT/ENGINEER.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

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RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER

SP-1

DIVISION 5: METALS

PART1 1 - GENERAL

1. SECTION INCLUDES:

   STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS, AND GROUTING UNDER BASE PLATES.

2. SUBMITTALS:

   SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS, LOADS, AND WELDED SECTIONS.

3. QUALITY ASSURANCE

   A. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

   B. PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

1. MATERIALS:

A. STRUCTURAL STEEL MEMBERS:	ASTM A572, GRADE 50
B. STRUCTURAL TUBING:	ASTM A500, GRADE B
C. PIPE:	ASTM A53, TYPE E OR S, GRADE B
D. BOLTS, NUTS, AND WASHERS:	ASTM A325
E. ANCHOR BOLTS:	ASTM A307
F. WELDING MATERIALS:	AWS 01.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
G. GROUT:	NON - SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
H. SHOP AND TOUCH-UP PRIMER:	SSPC 15, TYPE 1, RED OXIDE
I. TOUCH-UP PRIMER FOR GALV. SURFACES	ZINC RICH TYPE

2. FABRICATION:

   CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINOUS WELDS. GRIND EXPOSED WELDS SMOOTH.

3. FINISH:

   A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCEWITH SSPC SP-1 TO SP-10 PROCEDURES.

   B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

1. EXAMINATION AND PREPARATION:

   VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.

2. ERECTION:

   A. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.

   B. FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.

   C. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.

   D. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRMED OR GALVANIZED WITH TOUCH-UP PRMERS AS SPECIFIED UNDER SECTION 05000, 0METALS, PART 2 - PRODUCTS, H & I. SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.

3. FIELD QUALITY CONTROL:

   FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS, AND TOURQUING

DIVISION 16: ELECTRICAL

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
2. ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
3. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A).
4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU, AND 'UL" LISTED.
5. ALL CONDUIT SHALL HAVE A PULL CORD.
6. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF TH JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
7. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
8. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC AND ALL APPLICABLE CODES.
9. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
10. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-8 LIFT COVERPLATES.

SECTION 1640 - SERVICE AND DISTRIBUTION

1. WIRE AND CABLE CONDUCTORS SHALL BE COPPER, 600V, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECTIFIER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
2. ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED.
3. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY MILBANK OR APPROVED EQUAL, AND SHALL BE UTILITY COMPANY APPROVED.
4. CONDUIT:

   A. RIGID CONDUIT SHALL BE U.L LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE ½ LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.

   B. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE.

   C. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.

   D. ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 42" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY J.U.L.I.E. AT 1-800-892-0123 OR OTHER SUCH NOTIFYING AGENCY FORTY-EIGHT (48) HOURS PRIOR TO DIGGING.

5. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
6. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE ONE FORTH INCH (1/4'). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
7. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR SHALL BE SUBMITTED FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
8. GROUNDING ELECTRODE SYSTEM

   A. PREPARATION

1. SURFACE PREPARATION:

   ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTS

   SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUND. ALL CONNECTIONS ARE TO HAVE A NO-OXIDIZING GENT APPLIED PRIOR TO INSTALLATION.

2. GROUND BAR PREPARATION

   ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.

3. SLEEVES:

   ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.

   B. GROUND BARS

1. ALL GROUND BARS SHALL BE ONE FORTH INCH (1/4" THICK TINNED COPPER PLATE AND OF AND OF SIZE INDICATED ON DRAWINGS.
2. ALL CONNECTIONS TO THE GROUND BAR SHALL OBSERVE THE FOLLOWING SEQUENCE:

   A. BOLT-HEAD

   B. 2-HOLE LUG

   C. TINNED COPPER BUSS BAR

   D. STAR WASHER

   E. NUT

   C. EXTERNAL CONNECTIONS

1. ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEE'S, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.
2. ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDIER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS. CONNECTIONS TO STRUCTURAL STEEL SHALL BE EXOTHERMIC WELDS.

   D. GROUND RODS

   ALL GROUND RODS SHALL BE 5/8 -INCH DIAMETER X 10' -0" LONG "COPPERWELD" OR APPROVED EQUAL, OF THE NUMBER AND LOCATIONS INDICATED. GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.

   E. GROUND RODS

   ALL GROUND RODS SHALL BE STANDARD TINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

   F. LUGS

1. LUGS SHALL BE 2 - HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE

   SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548_ _BE OR EQUIVALENT

A. 535 MCM DLO	54880BE
B. 262 MCM DLO	54872BE
C. #1/0 DLO	54862BE
D. #4/0 THWN AND BARE	54866BE
E. #2/0 THWN	54862BE
F. #2 THHN	54207BE
G. #6 DLO	54205BE

2. WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:

	GROUNDING CONDUCTOR SIZE	MINIMUM BENDING RADIUS TO INSIDE EDGE
NO.	6 AWG TO NO. 4 AWG	6 INCHES
NO.	2 AWG TO NO. 1/0 AWG	8 INCHES
NO.	2/0 AWG TO 4/0 MCM	12 INCHES
	250 MCM TO 750 MCM	24 INCHES

G. GROUND RING

1. THE EXTERNAL GROUND RING ENCIRCLING THE TOWER (IF APPLICABLE) AND BETWEEN

   BETWEEN THE EQUIPMENT SHELTER PLATFORM ANCHORS SHALL BE MINIMUM NO. 2 A.W.G SOLID TINNED BARE COPPER CONDUCTOR IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR BENDS SHALL HAVE A

   MINIMUM BENDING RADIUS OF EIGHT INCHES (8").

2. ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUNGS OR CLAMPS WILL BE ACCEPTED.

H. FENCE/GATE

GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON DRAWING GROUND CONNECTIONS TO FENCE POST AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH COLD-GALVANIZED PAINT.

3. I.E.E.E. FALL POTENTIAL TESTS

A. FOR RAW LAND SITE

1. GROUND TESTS SHALL BE PERFORMED AS INDICATED ON DRAWINGS. A BIDDLE GROUND OHMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS (AS DESCRIBED IN I.E.E.E. STANDARDS NO. 81-1983, PART 1) MAY BE USED. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE SUFFICIENTLY FAR AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCALIZED DO NOT OVERLAP. THE TEST POINT WILL BE GROUND ROD AND WILL CONSIST OF THE THREE POINT FALL OF POTENTIAL MEGGER TEST METHOD, USING THE BIDDLE NULL-BALANCE EARTH TESTER (MEGGER #250220-2 OR EQUIVALENT)
2. CONTRACTOR TO CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS:

   B. EQUIPMENT PAD

1. FIRST TEST - SHALL BE WITH FOUR GROUND RODS INSTALLED, ONE AT EACH CORNER OF THE PAD BUT NOT CONNECTED TO THE MAIN GROUNDING BUS. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL FOUR GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 35 OHMS OR MORE, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL FOUR RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST- SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST TEN (10) DAYS. THE MAXIMUM ALLOWABLE READING IS 5 OHMS TO GROUND. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

   C. TOWER

1. FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST- SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST (10) DAYS, THE MAXIMUM ALLOWABLE READING IS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.

   D. EQUIPMENT PAD AND TOWER

1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPETE A MEGGER CHECKER OF THE GROUND SYSTEM SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS AREA OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS
(SINGLE MAST AND SELF SUPPORTING TOWERS)

1. GENERAL

   A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED

   B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.

   C. GROUNDING:

   GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE.

NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT

SECTION 16745- TELECOMMUNICATIONS WIRING COMPONENT
(COAXIAL ANTENNA CABLE)

1. GENERAL

   A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.

   B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS

   C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS

   a. COAXIAL CABLE:

1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE FEET (3') IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.
2. ALL COAX RUN LENGTHS GREATER THAN 175 FEET SHALL BE 1-5/8", ALL COAX. RUN LENGTH BETWEEN 101 FEET AND 174 FEET SHALL BE 1-1/4', AND IN LENGTH LESS THAN OR EQUAL TO 100 FEET SHALL BE 7/8".
3. ANTENNA AND COAXIAL CABLE GROUNDING

   a. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)

4. COAXIAL CABLE IDENTIFICATION

   a. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, PLASTIC TAGS SHALL BE USED AT THE FOLLOWING LOCATIONS:

1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).
2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.

   b. USE ANDREW CABLE TIES (PT. # 7290) TO SECURE IDENTIFICATION TAGS.

5. TESTING

   LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR IS TO PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR IS TO PROVIDE LESSEE WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER

SP-2

1 EXISTING OVERALL SITE
SCALE: N.T.S.

2 EXISTING ACCESS DRIVE
SCALE: N.T.S.

3 EXISTING ANTENNA LOCATION
SCALE: N.T.S.

4 EXISTING METER CENTER/ FRAME
SCALE: N.T.S.

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7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
EXISTING SITE PHOTOS

SHEET NUMBER
P-1

verizon

Radio Frequency Exposure
FCC Compliance Assessment

☒ Pre-Activation ☐ Post-Activation

SITE-SPECIFIC-INFORMATION			
Site Name	FORESTPK NORTH	Multi-Licensee Facility	☐ YES ☒ NO
Street Address	7400 Augusta St.	Is Verizon a Significant Contributor to Co-Locator Areas Requiring Mitigation?	☐ YES ☐ NO ☒ N/A
City, State, Zip	River Forest, IL 60305		
Verizon's Max % MPE (Measured - Occupational)	N/A	Verizon's Max % MPE (Predictive - Occupational)	130.3%
Structure Type	ROOFTOP	Assessment Date	N/A
Broadcast (AM/FM/TV) Co-Locators	☐ YES ☒ NO	Assessment Purpose	MODIFICATION
Total Access Points	1	Total Report Revisions	1
Original Report Date	03/07/2018	Report Revision Date	N/A
Compliance Status	☐ COMPLIANT AS DESIGNED ☐ COMPLIANT PER RF SAFETY PLAN SUBMISSION ☒ MITIGATION IS REQUIRED		

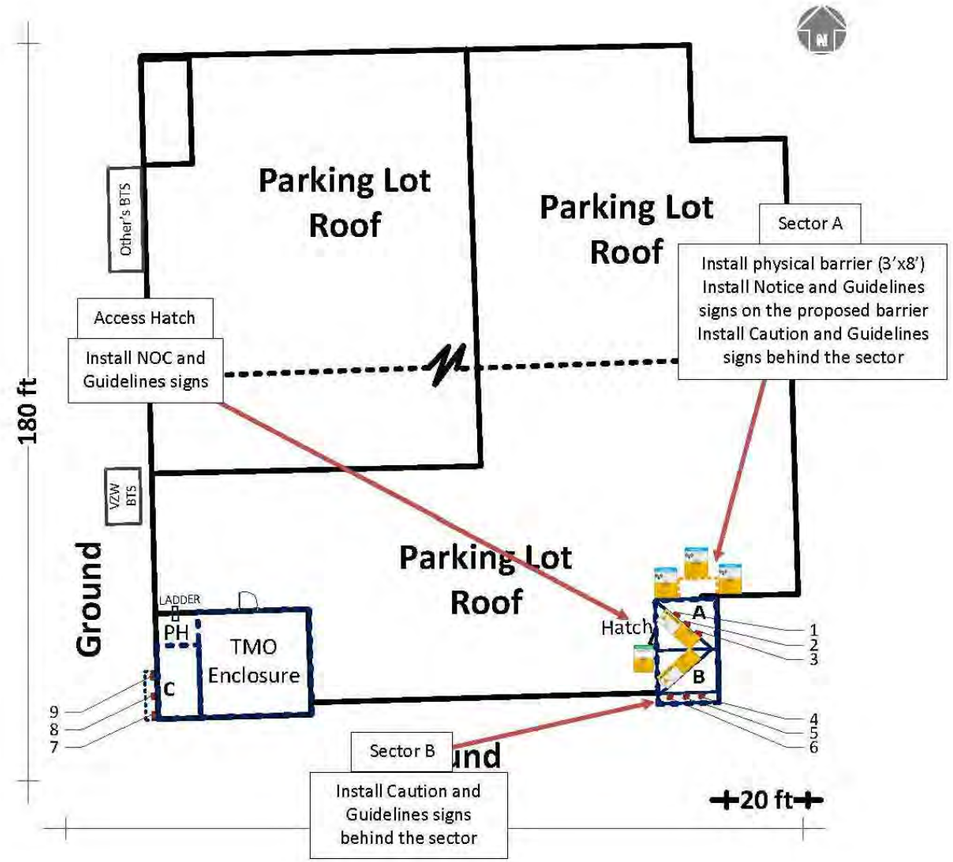
VERIZON'S WORST-CASE RF EMISSIONS IN ACCESSIBLE AREAS AT THIS FACILITY	
☐	BELOW the General Population MPE limit
☐	ABOVE the General Population MPE limit and BELOW the Occupational MPE limit
☒	ABOVE the Occupational MPE limit and BELOW 10x the Occupational MPE limit
☐	ABOVE 10x the Occupational MPE limit

Final Compliant Configuration							
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER	
Access Point(s)	☒[1]	☐[#]	☐[#]	☐[#]	☒[1]	☐	dimensions
Alpha	☒[4]	☒[3]	☒[1]	☐[#]	☐[#]	☒	3'x8'
Beta	☒[1]	☐[#]	☒[1]	☐[#]	☐[#]	☐	dimensions
Gamma	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐	dimensions

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location; also in Sec. 4 (B)

Additional Compliance Requirements(s):			
Inform the property owner that NOC should be contacted if work will be performed near the antennas			
Consultant Legal Name	Telnet Inc.	Phone/Fax	301-840-7110
Address	7630 Standish Place, Rockville, MD 20855		

b. Signage/Barrier Diagram



CARRIER ANTENNA: VERIZON | AT&T | SPRINT | T-MOBILE | METRO PCS | CRICKET | UNKNOWN

TELNET, INC., 7630 Standish Place, Rockville, MD 20855; Phone: 888-883-5638 / Fax: 301-840-0162; Web: www.Telnet-Inc.com

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LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
PRE-EME REPORT (BY OTHERS)

SHEET NUMBER
RF-1

Final Compliant Configuration							
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER	
Access Point(s)	☒[1]	☐[#]	☐[#]	☐[#]	☒[1]	☐	dimensions
Alpha	☒[4]	☒[3]	☒[1]	☐[#]	☐[#]	☒	3'x8'
Beta	☒[1]	☐[#]	☒[1]	☐[#]	☐[#]	☐	dimensions
Gamma	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐	dimensions

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location.

c. Signage/Barrier Installation Detail

Mitigation Actions Required/Taken												
	GUIDELINES		NOTICE		CAUTION		WARNING		NOC INFO		BARRIER/MARKER	
Access Point(s)	☒[1]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☒[1]	☐[#]	☐	dimensions
Alpha	☒[4]	☐[#]	☒[3]	☐[#]	☒[1]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☒	3'x8'
Beta	☒[1]	☐[#]	☐[#]	☐[#]	☒[1]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐	dimensions
Gamma	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐[#]	☐	dimensions
	ADD	REM	ADD	REM	ADD	REM	ADD	REM	ADD	REM	ADD ONLY	

NOTE: The table represents either the signage/barriers installed / removed OR items required by the market (if mitigation is not installed by consultant/vendor).

SPECIAL MITIGATION INSTRUCTIONS	
Items to be Installed	**Access Point:** Install NOC and Guidelines signs at sector A and B Hatch **Sector A:** Install physical barrier (3'x8') Install Notice and Guidelines signs on the proposed barrier Install Caution and Guidelines signs behind the sector **Sector B:** Install Caution and Guidelines signs behind the sector
Items to be Removed	N/A
Items to be Repaired/Replaced	N/A

d. Summary

Inform the property owner that NOC should be contacted if work will be performed near the antennas

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c. RF Signage

Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage MUST be viewable regardless of the viewer's position.

GUIDELINES	NOTICE	CAUTION	WARNING
This sign will inform anyone of the basic precautions to follow when entering an area with transmitting radiofrequency equipment.	This sign indicates that RF emissions may exceed the FCC General Population MPE limit.	This sign indicates that RF emissions may exceed the FCC Occupational MPE limit.	This sign indicates that RF emissions may exceed at least 10x the FCC Occupational MPE limit.

NOC INFORMATION	
Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.	

d. Physical Barriers

Physical barriers are control measures that require awareness and participation of personnel. Physical barriers are employed as an additional administration control to complement RF signage and physically demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example**: chain-connected stanchions

e. Indicative Markers

Indicative markers are visible control measures that require awareness and participation of personnel, as they cannot physically prevent someone from entering an area of potential concern. Indicative markers are employed as an additional administration control to complement RF signage and visually demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example**: paint stripes

Confidential & proprietary material for authorized Verizon Wireless personnel only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement. | Verizon Wireless

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

TERRA CONSULTING GROUP, LTD.
600 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: 847-698-6400
FAX: 847-698-6401

REVISIONS

NO.	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
PRE-EME REPORT (BY OTHERS)

SHEET NUMBER
RF-2

Elevations showing the southwest corner of the garage depicting the Verizon proposal.

Site Survey follows this page;

Overall site plan follows this page;

Enlarged site plan was previously provided to Village staff;

Tower elevation follows this page.

Four computer generated illustrations showing the existing and proposed view of the Verizon installation at the parking garage from ground level and from the top level of the parking garage follow the construction drawings.

Maps showing the increased coverage for Verizon in northeast River Forest follow the construction drawings and computer generated photos.

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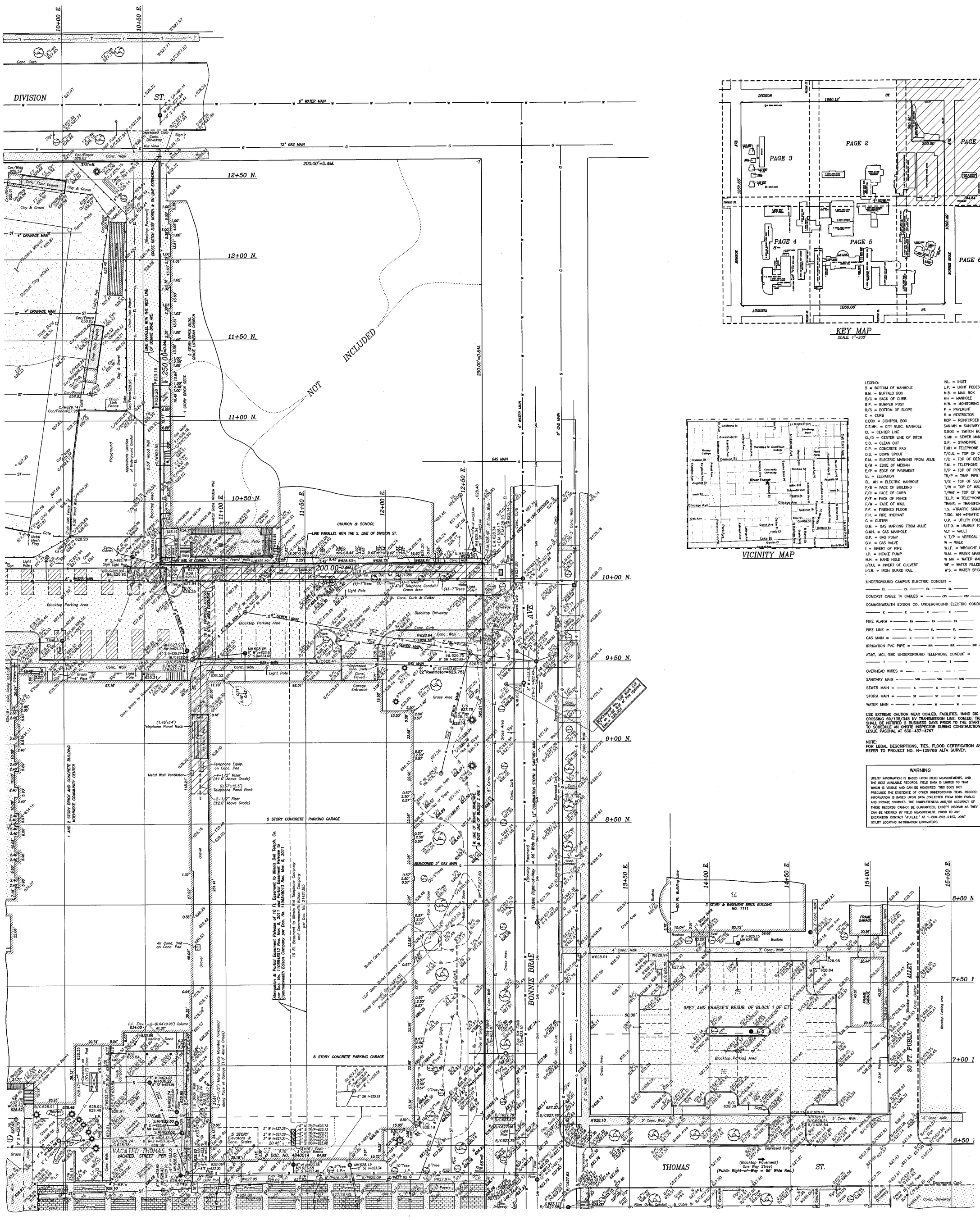
NATIONAL SURVEY SERVICE, INC.

Plat of Topography

KNOWN AS: 7400 W. AUGUSTA STREET, RIVER FOREST, ILLINOIS.
TOPOGRAPHY FOR: CONCORDIA UNIVERSITY.

SURVEY NO.		DATE:
N-125763	TOPOGRAPHY	NOV. 10, 2004
N-127993	TOPOGRAPHY	MAR. 12, 2009
	UTILITY INFORMATION ADDED	JUL. 27, 2009
N-128446	UTILITIES	DEC. 10, 2010
N-128783	SURVEY & TOPOGRAPHY	JAN. 4, 2012
N-129291	SURVEY & TOPOGRAPHY	MAR. 21, 2014
N-129475	SURVEY & TOPOGRAPHY	OCT. 2, 2014
N-129786	TOPOGRAPHY	FEB. 12, 2016
N-129962	SURVEY	NOV. 22, 2016



SURVEY NO.		DATE:
N-129962	SURVEY	NOV. 22, 2016
N-129786	TOPOGRAPHY	FEB. 12, 2016
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	UTILITY INFORMATION ADDED	JUL. 27, 2009
N-127993	TOPOGRAPHY	MAR. 12, 2009
N-125763	TOPOGRAPHY	NOV. 10, 2004

THERE ARE 582 REGULAR PARKING SPACES AND 0 HANDICAPPED PARKING SPACES INSIDE PARKING GARAGE

PARKING SPACES IN CAMPUS OUTSIDE OF GARAGE

(2H) DENOTES NUMBER OF HANDICAPPED PARKING SPACES
TOTAL NUMBER OF HANDICAPPED PARKING SPACES =19

(25) DENOTES NUMBER OF REGULAR PARKING SPACES
TOTAL NUMBER OF REGULAR PARKING SPACES =228

NOTE:
ELEVATIONS ARE SHOWN IN RELATION TO BENCH MARK FROM OAK PARK TOWNSHIP (T-39-N AND R-13-E) COOK COUNTY HIGHWAY DEPARTMENT NO. 160701
ELEV. = 629.518 (N.G.S DATUM)
BENCH MARK LOCATED NEAR NORTHWEST CORNER OF SECTION 7, SOUTHEAST CORNER MAPLE AND SUPERIOR STREETS.
A STANDARD COUNTY DISK SET IN CONCRETE MONUMENT. 34.40 FT. EAST OF CENTERLINE OF MAPLE AVE. AND 20.85 FT. SOUTH OF CENTER-LINE OF SUPERIOR ST., 17.75 FT. NORTHWEST OF NORTHWEST CORNER OF BUILDING NO. 328 MAPLE AVE.
ELEVATIONS ARE SHOWN THUS: X 628.11

HATCHING LEGEND

REVISED UNDERGROUND UTILITY TUNNEL

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

ABBREVIATION LEGEND:

BLDG. = BUILDING
CONC. = CONCRETE
COR. = CORNER
D = DEED
DOC. NO. = DOCUMENT NUMBER
M (MEAS) = MEASURED
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCING
R = Rec. = RECORD
SECT. = SECTION
NE = NORTHEAST
NW = NORTHWEST
SE = SOUTHEAST
SW = SOUTHWEST
E = EAST
N = NORTH
S = SOUTH
W = WEST

IMPORTANT

NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE PLAT.

DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF. THUS: 4.57' MEANS 4 FEET AND 57/100 FEET, OR IN FEET AND INCHES, THUS: 4'-6 13/16"

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT REFER TO YOUR ABSTRACT DEED CONTRACT AND LOCAL BUILDING LINE REGULATIONS. WE RECOMMEND THAT THE MOST RESTRICTIVE LINES BE USED IN PLACEMENT OF BUILDING.

CONTRACTORS AND BUILDERS SHOULD BE NOTIFIED TO CAREFULLY TEST AND COMPARE ON THE GROUND THE POINTS, MEASUREMENTS, ETC. AS NOTED ON THIS PLAT WITH THE STAKES, POINTS, ETC. GIVEN ON THE PROPERTY BEFORE BUILDING ON THE SAME, AND AT ONCE REPORT ANY SEEMING OR APPARENT DIFFERENCE BETWEEN THE SAME TO THE SURVEYORS SO THAT THE MISUNDERSTANDING OR DISPLACEMENT OF POINTS MAY BE CORRECTED BEFORE DAMAGE IS DONE.

UTILITY DATA OTHER THAN PHYSICAL EVIDENCE VISIBLE ON THE GROUND IS SHOWN AS PER RECORDS OBTAINED FROM PRIVATE AND PUBLIC SOURCES AS INDICATED AND SHOULD BE ASSUMED TO BE APPROXIMATE.

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State of Illinois, County of Cook. } ss.

We Hereby Certify that the measurements shown hereon are based upon actual field survey and that the above plat is a true representation of said topography. Dimensions are corrected to a temperature of 62° Fahrenheit. This professional service conforms to the current Illinois minimum standards for topographic surveys.

NATIONAL SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS
30 S. MICHIGAN AVENUE, SUITE 200
CHICAGO, ILLINOIS 60603
WWW.NATIONALSURVEYSERVICE.COM
TEL: 312-630-9480 FAX: 312-630-9484

BY Joseph A. Lima
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3080
jlima@nationalsurveyservice.com DRAWN BY S.M.

JOSEPH A. LIMA 3080 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS CHICAGO, IL
MY LICENSE EXPIRES 11/30/2018

PROTECTION

CIVIL 3D PROJECTS 2016\N129962\9962-TOPO-P1.DWG CD-34
9962-TOPO-XREF.DWG

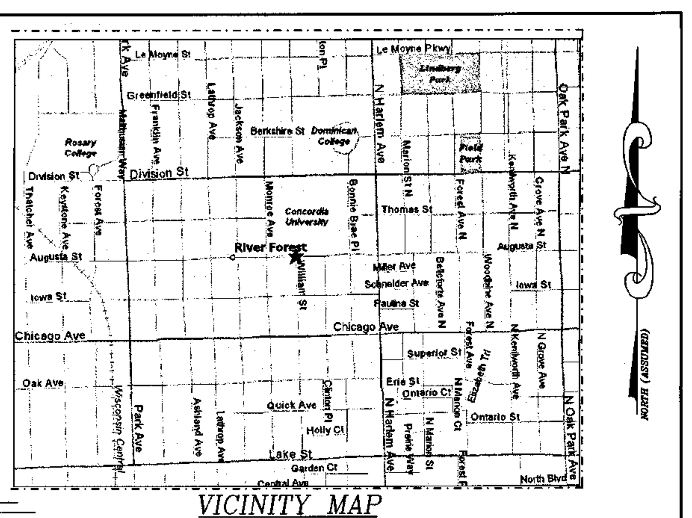
NATIONAL SURVEY SERVICE, INC.

Plat of Topography

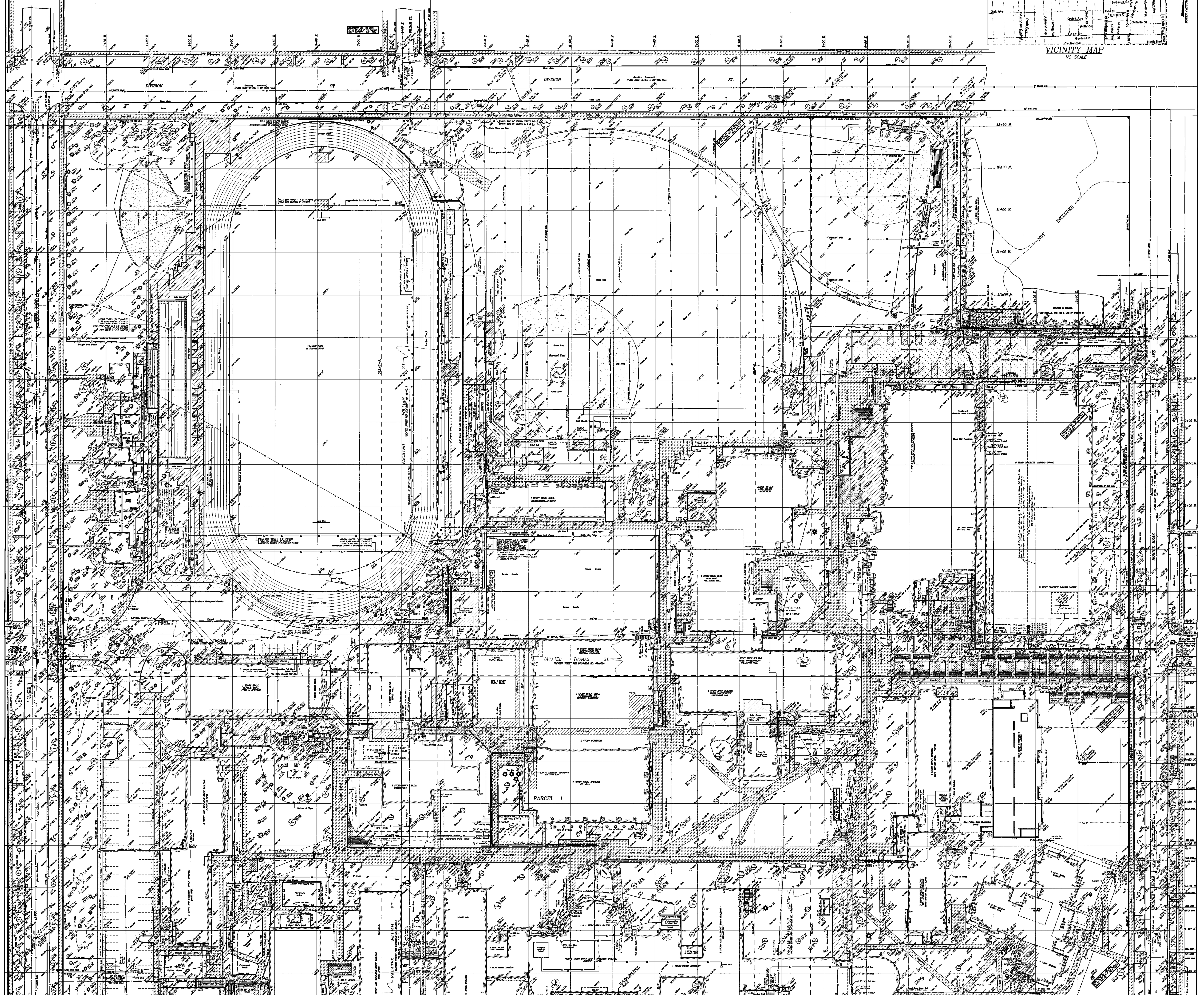
KNOWN AS: 7400 W. AUGUSTA STREET, RIVER FOREST, ILLINOIS.
TOPOGRAPHY FOR: CONCORDIA UNIVERSITY.

SURVEY NO. N-129962 OVERALL TOPOGRAPHY
ADDED BUILDING FOUNDATIONS

DATE: NOV. 22, 2016
JAN. 11, 2017



VICINITY MAP
NO SCALE



LEGEND FOR NEW & EXISTING TREES:
per "Overall Exhibit – Concordia College Landscape Improvements" (Proj. No. 1500 Sheet No. 1)

- Tag #1 = Serbian Spruce
- Tag #2 = Pagoda Dogwood
- Tag #3 = Autumn Flame Maple
- Tag #4 = Norway Spruce
- Tag #5 = Prairiefire Crabapple
- Tag #6 = Floribunda Crab
- Tag #7 = Armstrong Red Maple
- Tag #8 = Bowhall Red Maple
- Tag #9 = Frontier Elm
- Tag #10 = Swamp White Oak
- Tag #11 = Snowdrift Crabapple
- Tag #12 = Kentucky Coffee Tree
- Tag #13 = Shademaster Honey Locust
- Tag #14 = Mission Arborvitae
- Tag #15 = Frontier Elm
- Tag #16 = Skyline Honey Locust
- Tag #17 = Sargent Crab
- Tag #18 = Royal Raindrop Crab
- Tag #19 = Amur Maple
- Tag #20 = Zumi Crabapple
- Tag #21 = Japanese Lilac Tree
- Tag #22 = Eastern Redbud
- Tag #23 = Shagbark Hickory

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HATCHING LEGEND

REVISED UNDERGROUND UTILITY TUNNEL

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ELEVATIONS ARE SHOWN THUS: X 628.11

USE EXTREME CAUTION NEAR COM.ED. FACILITIES. HAND DIG WHILE CROSSING 69/138/345 KV TRANSMISSION LINE. COM.ED. TRANSMISSION SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF WORK. TO SCHEDULE AN ONSITE INSPECTOR DURING CONSTRUCTION, CONTACT
LESLIE PASCHAL AT 630–437–4767

NOTE:
FOR LEGAL DESCRIPTIONS, TIES, FLOOD CERTIFICATION AND ALTA CERTIFICATE REFER TO PROJECT NO. N–129786 ALTA SURVEY.

GRAPHIC SCALE

-40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

LEGEND:

- B = BOTTOM OF MANHOLE
- B.B. = BUFFALO BOX
- B/C = BACK OF CURB
- B.P. = BUMPER POST
- B/S = BOTTOM OF SLOPE
- C = CURB
- C.BOX = CONTROL BOX
- C.E.MH. = CITY ELEC. MANHOLE
- CL = CENTER LINE
- CL/D = CENTER LINE OF DITCH
- C.O. = CLEAN OUT
- C.P. = CONCRETE PAD
- D.S. = DOWN SPOUT
- E.M. = ELECTRIC MARKING FROM JULIE
- E/M = EDGE OF MEDIAN
- E/P = EDGE OF PAVEMENT
- EL = ELEVATION
- EL. MH = ELECTRIC MANHOLE
- F/B = FACE OF BUILDING
- F/C = FACE OF CURB
- F/F = FACE OF FENCE
- F/W = FACE OF WALL
- F.F. = FINISHED FLOOR
- F.H. = FIRE HYDRANT
- G = GUTTER
- G.M. = GAS MARKING FROM JULIE
- G.MH. = GAS MANHOLE
- G.P. = GAS PUMP
- G.V. = GAS VALVE
- I = INVERT OF PIPE
- I.P. = INTAKE PUMP
- H.H. = HAND HOLE
- I/CUL = INVERT OF CULVERT
- I.G.R. = IRON GUARD RAIL
- INL. = INLET
- L.P. = LIGHT PEDESTAL
- M.B. = MAIL BOX
- MH = MANHOLE
- M.W. = MONITORING WELL
- P = PAVEMENT
- R = RESTRICTOR
- RCP = REINFORCED CONCRETE PIPE
- SAN.MH = SANITARY MANHOLE
- S.BOX = SWITCH BOX
- S.MH = SEWER MANHOLE
- S.P. = STANDPIPE
- T.MH = TELEPHONE MANHOLE
- T/CUL = TOP OF CULVERT
- T/D = TOP OF DEBRIS
- T.M. = TELEPHONE MARKING FROM JULIE
- T/P = TOP OF PIPE
- TR/P = TRAP PIPE
- T/S = TOP OF SLOPE
- T/W = TOP OF WALL
- T/WAT = TOP OF WATER
- TEL.P. = TELEPHONE PEDESTAL
- TRANS. = TRANSFORMER
- T.S. =TRAFFIC SIGNAL
- T.SIG. MH =TRAFFIC SIGNAL MANHOLE
- U.P. = UTILITY POLE
- U.T.O. = UNABLE TO OPEN
- VLT = VAULT
- V T/P = VERTICAL TOP OF PIPE
- W = WALK
- W.I.F. = WROUGHT IRON FENCE
- W.M. = WATER MARKING FROM JULIE
- W MH = WATER MANHOLE
- WF = WATER FILLED
- W.S. = WATER SPIGOT

UNDERGROUND CAMPUS ELECTRIC CONDUIT = —— EL —— EL —— EL —— EL ——
COMCAST CABLE TV CABLES = —— CTV —— CTV ——
COMMONWEALTH EDISON CO. UNDERGROUND ELECTRIC CONDUIT = —— E —— E —— E ——
FIRE ALARM = —— FA —— FA —— FA ——
FIRE LINE = —— FL —— FL —— FL ——
GAS MAIN = —— G —— G —— G ——
IRRIGATION PVC PIPE = —— IRR —— IRR —— IRR ——
AT&T, MCI, SBC UNDERGROUND TELEPHONE CONDUIT = —— T —— T —— T —— T ——
OVERHEAD WIRES = — · — · — · —
SANITARY MAIN = —— SAN —— SAN —— SAN ——
SEWER MAIN = —— S —— S —— S ——
STORM MAIN = —— ST —— ST —— ST ——
WATER MAIN = —— W —— W —— W ——

WARNING

UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS, AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND ITEMS. RECORD INFORMATION IS BASED UPON DATA COLLECTED FROM BOTH PUBLIC AND PRIVATE SOURCES. THE COMPLETENESS AND/OR ACCURACY OF THESE RECORDS CANNOT BE GUARANTEED, EXCEPT INSOFAR AS THEY CAN BE VERIFIED BY FIELD MEASUREMENT. PRIOR TO ANY EXCAVATION CONTACT "J.U.L.I.E." AT 1–800–892–0123, JOINT UTILITY LOCATING INFORMATION EXCAVATORS.

ABBREVIATION LEGEND:

- BLDG. = BUILDING
- CONC. = CONCRETE
- COR. = CORNER
- D = DEED
- DOC. NO. = DOCUMENT NUMBER
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- P.O.B. = POINT OF BEGINNING
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- NW = NORTHWEST
- SE = SOUTHEAST
- SW = SOUTHWEST
- E = EAST
- N = NORTH
- S = SOUTH
- W = WEST

JOSEPH A. LIMA 3080 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS CHICAGO, IL.

MY LICENSE EXPIRES 11/30/2018

ADDED BUILDING FOUNDATIONS JAN. 11, 2017
SURVEY NO. N–129962 OVERALL TOPOGRAPHY DATE: NOV. 22, 2016

State of Illinois, County of Cook, } ss.

We Hereby Certify that the measurements shown hereon are based upon actual field survey and that the above plat is a true representation of said topography. Dimensions are corrected to a temperature of 62° Fahrenheit. This professional service conforms to the current Illinois minimum standards for topographic surveys.

NATIONAL SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS
30 S. MICHIGAN AVENUE, SUITE 200
CHICAGO, ILLINOIS 60603
WWW.NATIONALSURVEYSERVICE.COM
TEL: 312–630–9480 FAX: 312–630–9484

BY ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3080
jlima@nationalsurveyservice.com

PROTECTION

DRAWN BY S.M.

CIVIL 3D PROJECTS 2016\N129962\9962–Topo–Overall 40 Scale.DWG CD–34

BEFORE

AFTER

View from South looking North

TERRA
CONSULTING GROUP, LTD.
600 Busse Highway, Park Ridge, IL 60068
Phone: 847.698.6400 Fax: 847.698.6401

verizon

BEFORE

AFTER

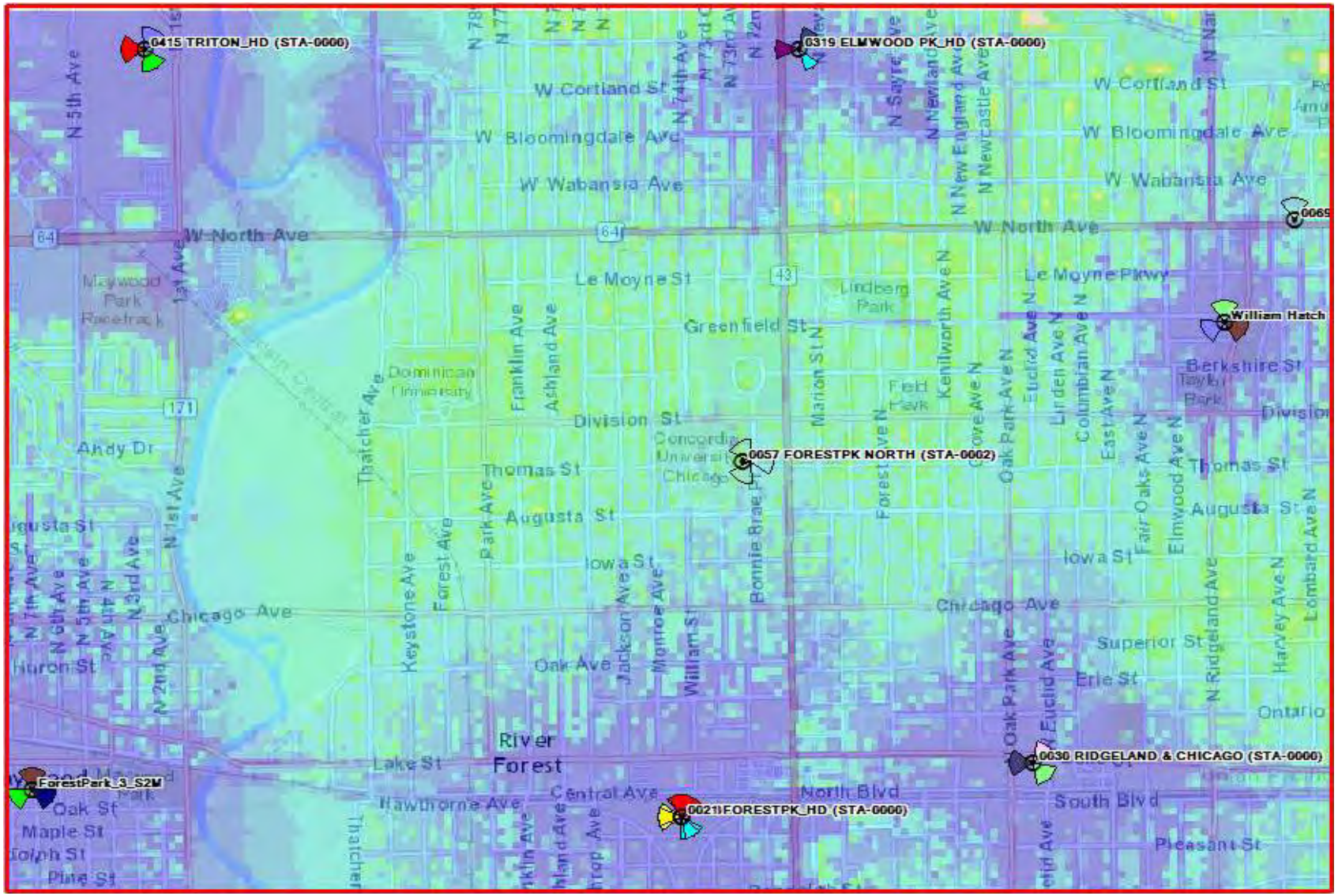
View from West looking East

TERRA
CONSULTING GROUP, LTD.
600 Busse Highway, Park Ridge, IL 60068
Phone: 847.698.6400 Fax: 847.698.6401

verizon

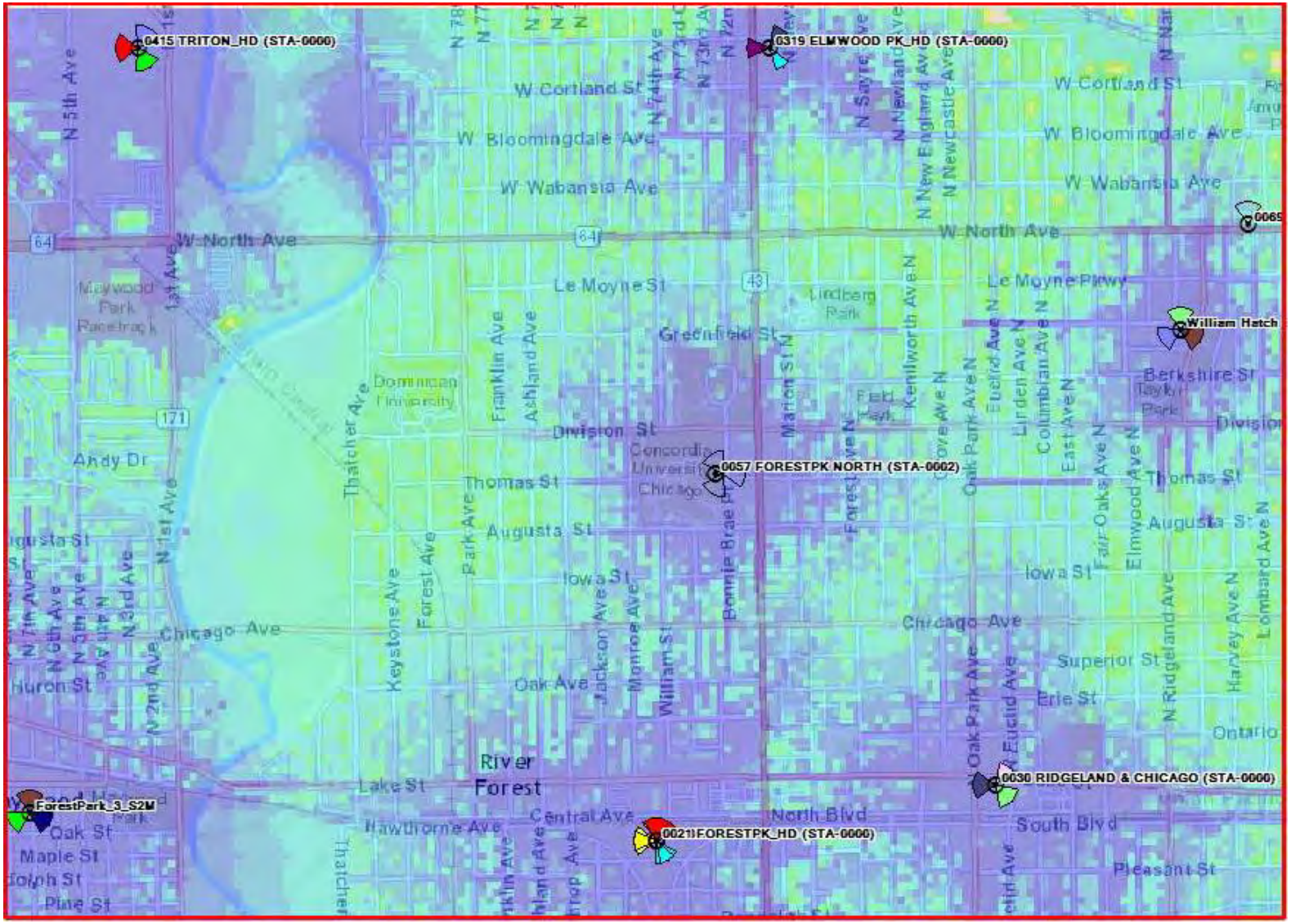
CURRENT COVERAGE

- RELIABLE IN-RESIDENCE
- UNRELIABLE IN-RESIDENCE
- RELIABLE IN-VEHICLE
- UNRELIABLE IN-VEHICLE
- RELIABLE ON-STREET

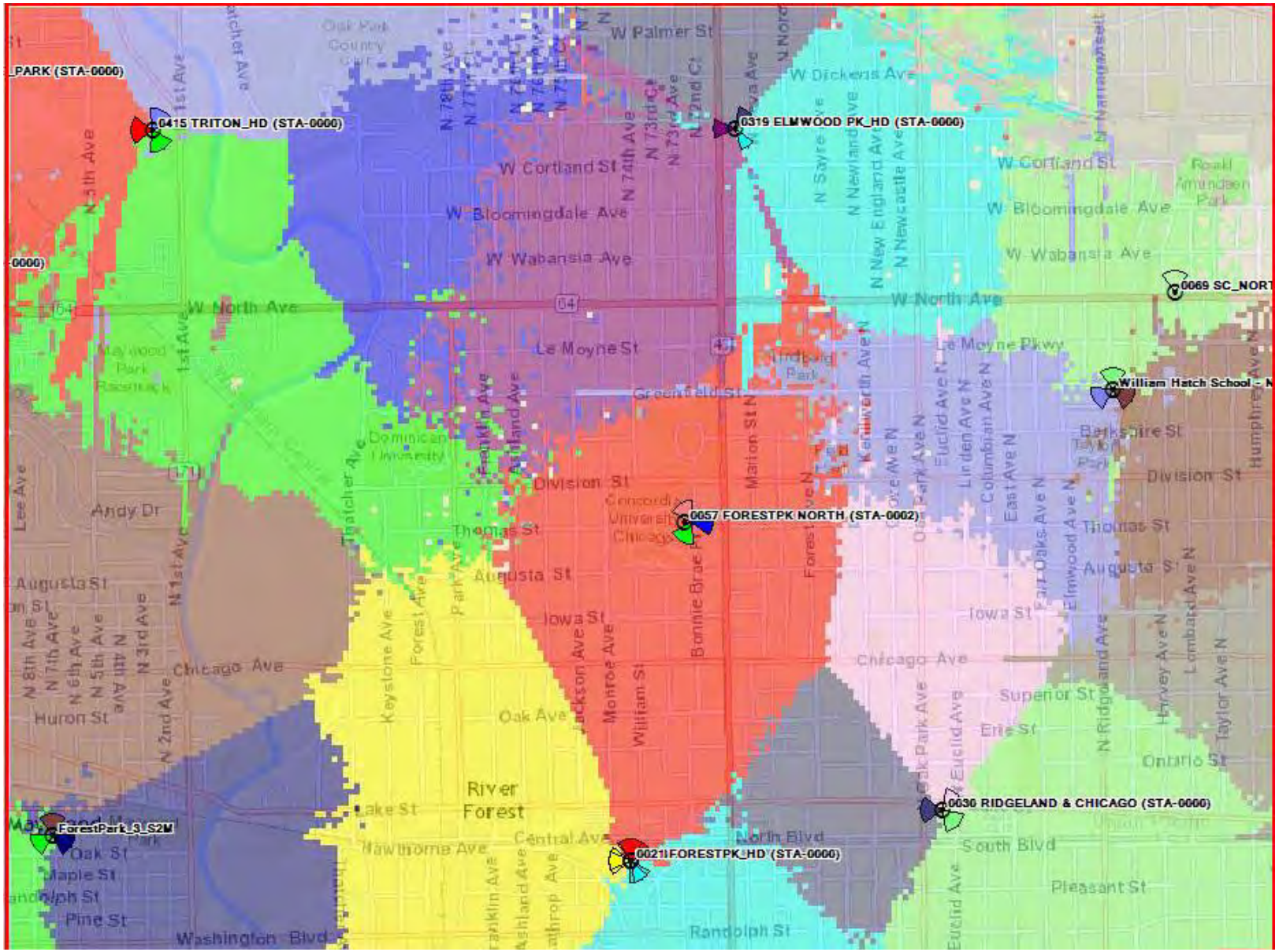


PROPOSED COVERAGE

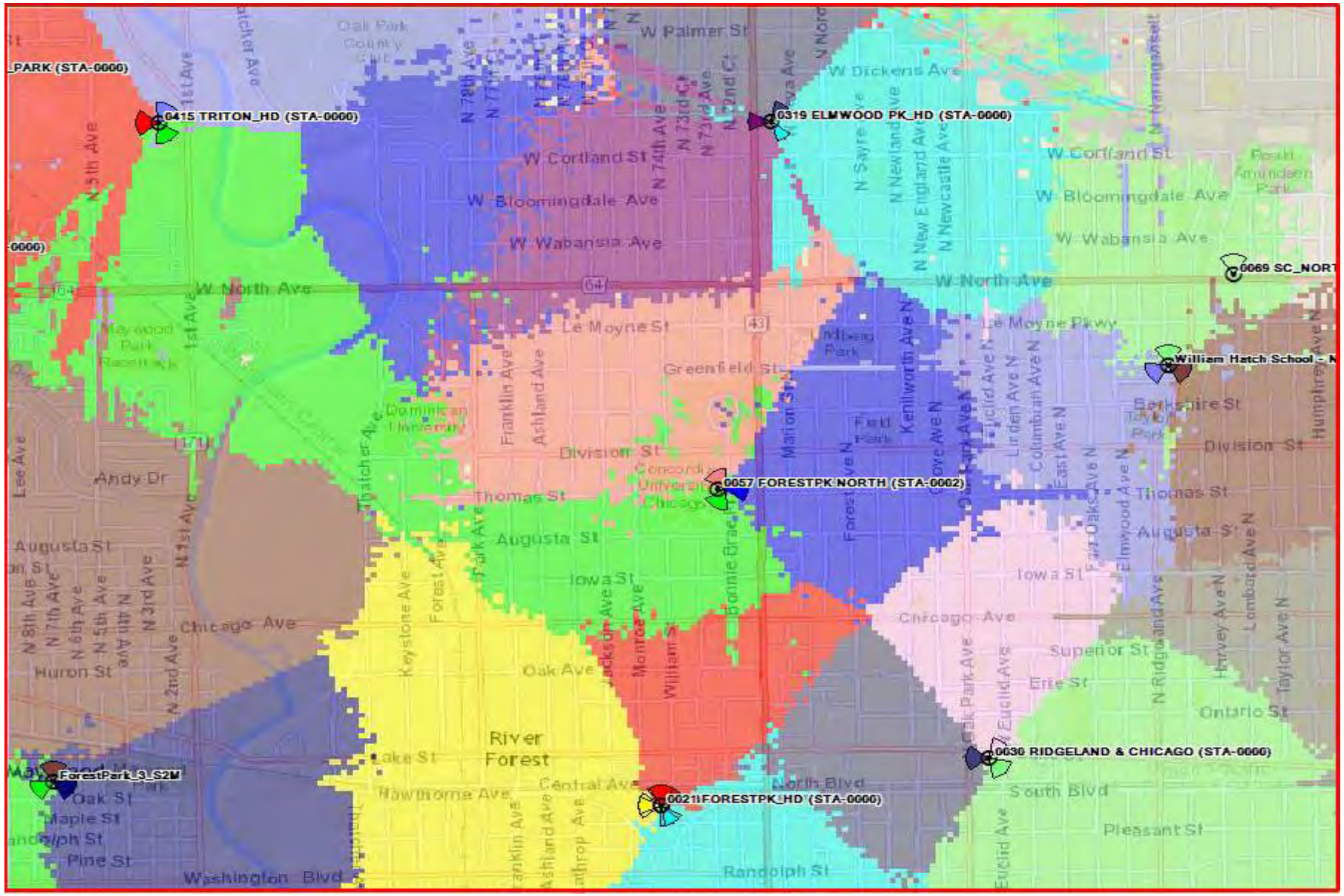
- RELIABLE IN-RESIDENCE
- UNRELIABLE IN-RESIDENCE
- RELIABLE IN-VEHICLE
- UNRELIABLE IN-VEHICLE
- RELIABLE ON-STREET



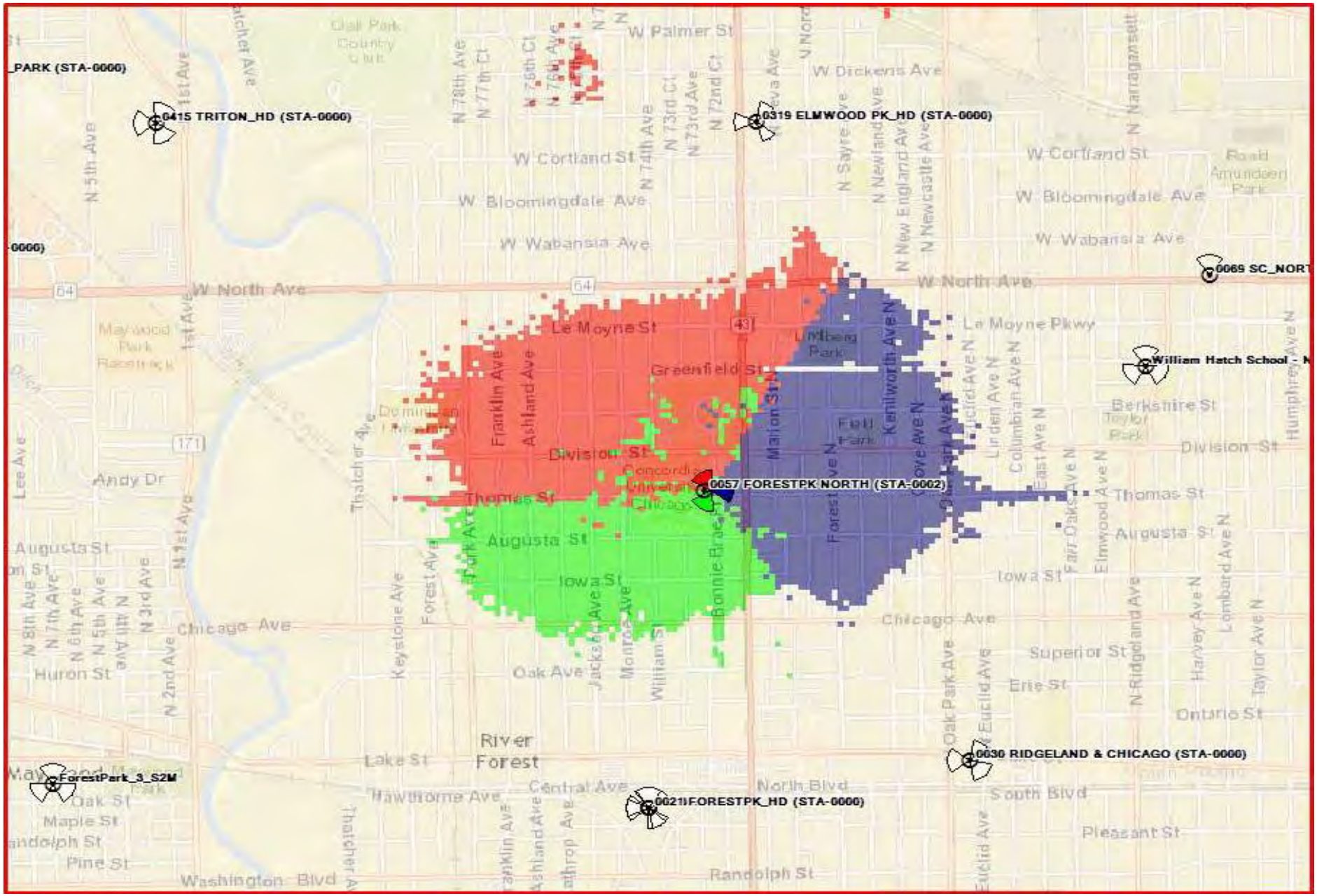
BEFORE COVERAGE WITH NEW SITE



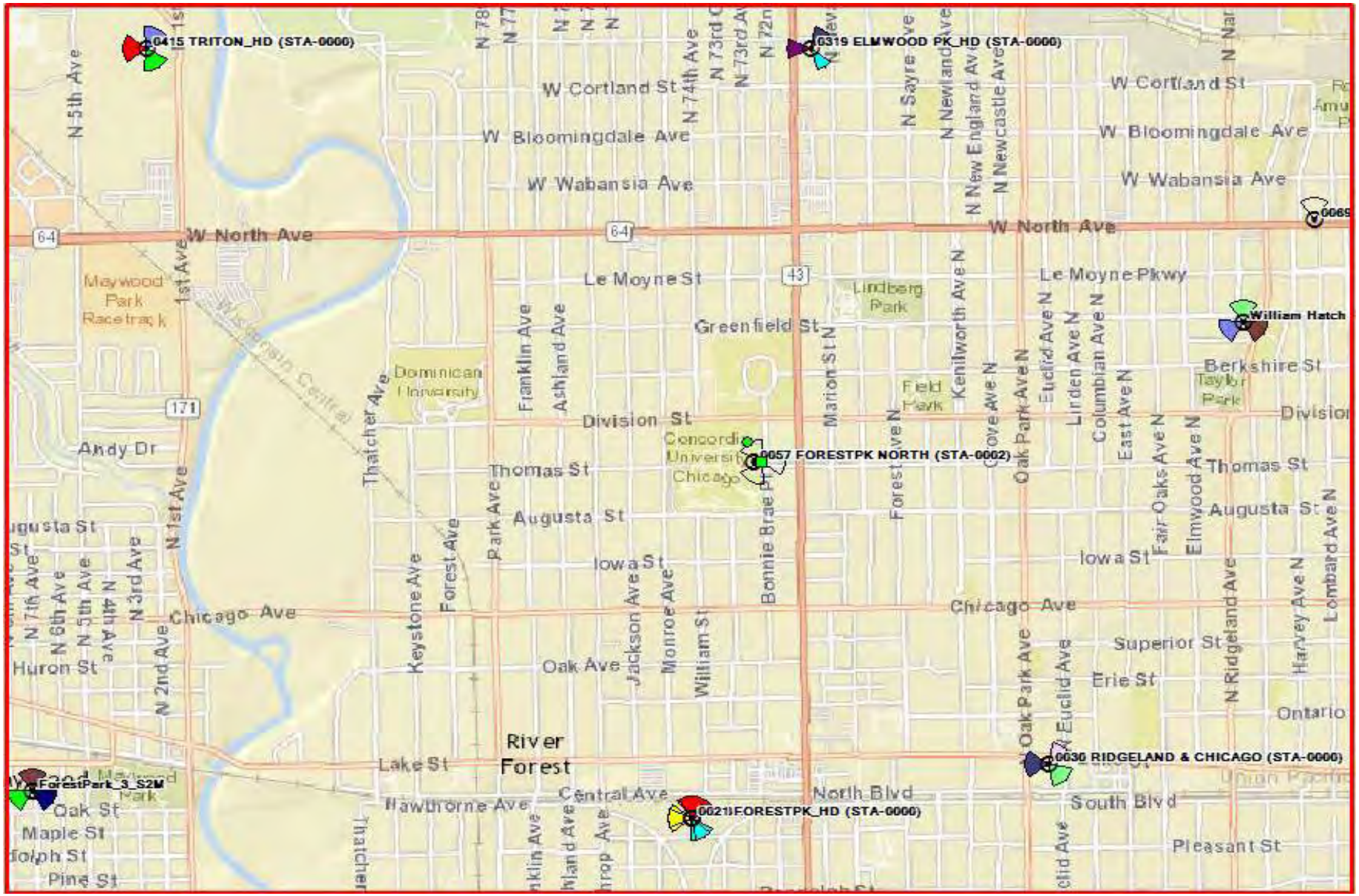
AFTER COVERAGE WITH NEW SITE



INDIVIDUAL COVERAGE



EXISTING SITES



IX. Landscaping Plan

The proposed development will not change the previously approved landscaping plans. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. Accordingly, Concordia is not submitting any drawings depicting landscaping.

The rest of this page is intentionally left blank.

X. Covenants, Easements, Other Restrictions

Concordia does not anticipate any change in existing easements to accommodate this project. The easements were updated in 2010 along with the initial cellular project the Village Approved that year.

The rest of this page is intentionally left blank.

XI. Schedule of Development

a. Beginning Date

The beginning date depends upon when permits are issued and when the carriers receive the necessary regulatory approvals. The University anticipates construction could begin in the fall of 2018.

b. Completion Date

Verizon estimates construction could take between three to seven weeks.

The rest of this page is intentionally left blank.

XII. Statement Acknowledging Responsibility of Applicant

a. Applicant's Responsibility to File with the Cook County Recorder of Deeds Office

The Applicant who is the owner, Concordia University Chicago, hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to record with the Cook County Recorder of Deeds a certified copy of the ordinance granting a planned development permit.

b. Provide Evidence of Filing within 30 Days of Planned Development

The Applicant, Concordia University Chicago, owns the property and hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to provide the Village with evidence of recording the above document within 30-days of passage of the Ordinance.

The rest of this page is intentionally left blank.

XIII. Professional Traffic Study

The proposed development will not impact traffic flow or volume on any of the streets adjacent to the University. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. On February 15, 2018, Concordia presented the Development Review Board with an update on the status of the project. At that meeting, the Development Review Board approved leaving the waiver for the traffic study in place. Therefore, no professional traffic study is required.

The rest of this page is intentionally left blank.

XIV. Professional Economic Study

a. Financial Capability

Concordia University Chicago has the financial capacity to assure completion of the proposed development. Concordia will continue to own the physical parking garage; Verizon will own the electronic, mounting, and screening components associated with its transmission equipment. Verizon will pay for the improvements for this planned development.

Verizon is a publicly traded company with billions of dollars of assets through its network of cellular communication sites throughout the United States and other countries. Verizon has constructed and maintains hundreds of cellular communication sites in the Chicago metropolitan area alone. Verizon has the financial capability to construct and maintain this cellular communication site on the Concordia campus and commits its resources to do so.

The out-of-pocket expenses attributable to the University will be minimal.

b. Economic Viability and Impact

The proposed use is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village.

The proposed improvements are not of a nature to impose any new, material demands on municipal resources. The proposed improvements do not change the nature of activities on campus or impose any special demands on Village services. Rather, the proposed improvements should provide benefits for University faculty, staff, and students.

The Village and neighbors of the University should benefit from the proposed development through improved wireless voice and data communication capabilities. In addition, please refer to the report of Michael Grimes attached to Section V.E. above.

The rest of this page is intentionally left blank.

XV. Copies of Environmental Impact Studies

The proposed development does not require the filing of any environmental impact studies as referenced in Section 10-19-6.B.14 of the Village of River Forest Zoning Ordinance. Prior studies have shown no environmental impact in the area of this project. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. Accordingly, Concordia will not include an environmental impact study with this application.

The rest of this page is intentionally left blank.

XVI. Estimated Demand on Village Services

The University does not anticipate this proposed development will require any additional services from Village departments or staff except as the Village may already provide directly or indirectly. Since the Police Department utilizes Verizon for some of its communication, the University believes that when the new equipment goes into service the Police Department communications will improve in the northeast corner of River Forest.

The University will continue to make its staff and facilities available for Village departments and activities to assist the Village wherever and whenever possible in accordance with current practice.

The rest of this page is intentionally left blank.

XVII. Off-Site Utility Improvements Required

Concordia University anticipates that any utility improvements that Commonwealth Edison or Verizon may need to make to accommodate this proposal would be made within their existing service facilities. This project will not require any off-site improvements to utilities as sufficient electric and telephonic improvements were made in connection with the cellular communication improvements which the Village approved in 2010 and which were constructed that year.

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XVIII. Site Drainage Plan

The plat at 7400 Augusta has a drainage system already installed. Based on the original platting of this area and subsequently utilized in the University's development, no new major installations are envisioned. This project will not create any drainage issues since construction envisions placing any equipment at the location previously approved in 2010 for this type of equipment. Nor will this project create any drainage issues since the Village Board approved the drainage plan that accompanied the construction of a new residence hall immediately south of the parking garage in Ordinance No. 3602 dated July 12, 2016. Accordingly, there is no need to update the previously approved site drain

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XIX. Written Summary

a. Official Record of Resident's Meeting

Pursuant to the notice mailed on February 24, 2017, to all owners of record within 500 feet of any corner of the parking garage in compliance with the Village of River Forest Code Section 10-19-5.A.1.d, a neighborhood meeting is scheduled in the Oak Park River Forest Room of the Koehneke Community Center on the Campus of Concordia University Chicago beginning at 7:00 p.m. on March 15, 2017.

A summary of the public comments follows this page.

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CONCORDIA UNIVERSITY CHICAGO
Cellular-Verizon Neighbor Meeting
March 15, 2017
7:00 pm

Name	Address	Phone	Email
Felice Maciejewski	1120 Thomas St. OP	920-321-6613	fmaciejewski@yahoo.com
Ed Burke	1009 Bonnie Brae PT	708-366-7947	EDMONDBURKE75@GMAIL.COM
Astrid Oettinger	1120 Thomas St	804-484-2099	Bemorr@comcast.net
Mary Studemann	1120 Thomas St	708-848-8944	
Calvin Gray	1120 Thomas St.	708 921 6938	Calvingray58@Yahoo.Com
Ruth Gray	1120 Thomas St.	708 921 6938	

CONCORDIA UNIVERSITY CHICAGO
SPEAKER LIST
Cellular-Verizon Neighbor Meeting
March 15, 2017

No.	Name	Address
1	Felice Maciejewski	1120 Thomas St Oak Park, IL
2	ED BURKE	1009 BONNIE BRAE RIVER FOREST, IL
3	Mary Strudemann	1120 Thomas O.P.
4	Calvin Gray	1120 Thomas St.
5	Ruth Gray	↓
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		

SUMMARY OF RESIDENTS' COMMENTS
Neighbor Meeting, March 15, 2017
(Section XIX a.)

Pursuant to Section 10-19-6 B. 18 of the Village Code, the following is a summary of residents' comments made at the meeting held pursuant to notice to all owners of record of properties located within 500 feet of the Concordia University Chicago campus.

Attached is the sign-in sheet identified residents who attended and the sign-in

Concordia University Chicago vice-President for Administration, Dennis Witte, presided at the meeting which began at 7:06 pm in the Oak Park River Forests Room at the Koehneke Community Center building on the Concordia campus. The meeting ended at approximately 7:45 pm. Resident comments follow with Concordia responses to inquiries shown in *italics (unless otherwise noted, the responses are from Dr. Witte)*:

Dr. Witte	At 7:06 p.m., Dr. Witte began the meeting with an introduction and overview of the project. The proposal seeks to add ten feet in height, from 65 feet to 75 feet to the southwest stairway tower of the University parking garage. Dr. Witte showed computer generated renderings that depict the southwest tower now and as it is proposed to look.
Felice Maciejewski	She lives at 1120 Thomas, Oak Park. She says that from her windows she can see the bell tower at Grace Lutheran and a chimney about which she is concerned. She had photos on her cell phone.
Glen Steiner (CUC)	Mr. Steiner looked at the photos and determined that the chimney does not belong to Concordia, but rather to the condominium building at the northwest corner of Harlem and Thomas.
Felice Maciejewski	She showed another photo that looked more along Thomas.
Glen Steiner	He viewed this photo and could not see the Concordia parking garage.
Mary Strudeman	She lives on the second floor at 1120 Thomas, Oak Park. Her concern is anything that would obstruct the beautiful sunsets she can now see from the windows of her condominium.
Glen Steiner	Mr. Steiner pointed out that the tower is 12-feet by 18-feet and that the 12 foot side faces east, toward her condominium.
Mary Strudeman	She pointed out that this is a beautiful community but that what is being built in central Oak Park "is a mess." She said that is not how a village should look. She said the beauty is this residential community. She said the proposal is an obstruction.

Astrid Oettinger	She also lives at 1120 Thomas, Oak Park. She inquired about the height of the new residence hall.
Glen Seiner	Mr. Steiner responded that the building parapet will be approximately 59 feet and that some HVA equipment on the roof would be about 64 feet. He said the proposed stairwell tower addition would be close in height to the residence hall, but much lower than the Grace Lutheran bell tower.
Dr. Witte	He added that using the stairwell tower for the cellular antennas keeps them away from people.
Mary Strudeman	She further identified her building as the red brick condominium building and the yellow brick one is at the southeast corner of Harlem and Thomas.
Dr. Witte	He showed slides depicting coverage for Verizon customers both before and after completion of this proposal. He explained that the purpose of the project is to greatly improve cellular communication capabilities in northeast River Forest.
Ed Burke	He lives at 1009 Bonnie Brae, River Forest. He asked if there are any other cellular facilities.
Dr. Witte	He informed that both students and employees are excited about this project because it would improve their cell phone coverage. He said no one wants to build steel towers [in an area such as this] to provide cellular communication.
Mary Strudeman	She asked when this would be built.
Claire Blunk (VZN)	She said construction is aimed to start in January 2018.
Mare Strudeman	Are there other possibilities?
Claire Blunk	We looked elsewhere. There was no other feasible location. Our preference is to place antennas on existing buildings. She related that when she drove through the area, she asked a University employee about cellular antennas in the area. She said the employee directed her to the parking garage and that even though she is in the business of developing cellular sites, she could not see the antennas at the parking garage. She explained that the southwest tower is the best location because any other location at the garage would have reduced available parking spaces which was not an option acceptable to the University. She also said Verizon will be paying a lot of money to upgrade the side of the T-Mobile facility to achieve the consistent look that the Village requested.
Mary Strudeman	It doesn't look that attractive from my window.

Ed Burke	Are there others [cellular providers] who want to come here?
Dr. Witte	We initially had an agreement with Sprint to locate on the southwest tower, but Sprint backed out. He stated he does not know if the University could accommodate Sprint if it came now to the University.
Mary Strudeman	Are there plans to consider doing more?
Dr. Witte	If Sprint called, we would probably look at the other end. But, we cannot keep going up. People in the Village want improved Verizon coverage.
Mary Strudeman	Do people want more?
Dr. Witte	We would probably go to another corner.
Mary Strudeman	I think the extra ten feet is pretty obstructive.
Calvin Gray	1120 Thomas, Oak Park. Is there any blockage with this?
Claire Blunk	There will not be any interference between Verizon and the other carriers. All use different frequencies.
Mary Strudeman	When does this project go to the Village?
Dr. Witte	In a couple of weeks, we will have a pre-filing conference with the Development Review Board. There will be a hearing, probably in June.
Glen Steiner	There will be another notice to all the neighbors when that happens.
Lisa Scheiner (VRF)	She explained the Village approval process consisting of a series of hearings with at least two more notices to residents of those meetings. After the DRB hearing, the matter will go to the Village Board, also with notice to the neighbors.
Glen Steiner	You will get another letter.

The meeting concluded at approximately 7:45 p.m.

The sign in sheet showing six people from the neighborhood in attendance and the Speaker List are attached with these notes.

b. Evidence of Proper Notice of Residents Meeting

The mailing list of property owners used for the announcement of the neighborhood meeting was prepared by Property Insight, LLC., 400 S. Jefferson, Chicago, IL 60607, based upon the specifications in the ordinance to notify owners of record of properties within the radius specified in the Village Code. Village officials approved the mailing list after known corrections and additions were made.

The required notice was sent to approximately 663 addresses. A copy of the Notice, mailing list, and certificate of mailing follow this page.

On May 22, 2018 the University sent a second letter to those who received the Notice of the neighbor meeting to advise them that the University is filing this Application and that the University anticipates the Village would notify them of the hearing dates. A copy of this letter is attached.

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NOTICE OF NEIGHBOR MEETING

NOTICE IS HEREBY GIVEN THAT Concordia University intends to file a petition with the Village of River Forest to receive all necessary approvals for the addition of Verizon cellular service facilities to the parking garage along Bonnie Brae Place. The proposed addition of cellular service will add approximately ten feet of height to the stairwell at the southwest corner of the parking garage. The location is approximately near the northwest corner of Bonnie Brae and Thomas.

Pursuant to the direction of the Village of River Forest, a Neighbor Meeting will be held on **March 15, 2017,** at **7:00 PM**, to discuss the proposed project. All interested parties are invited to attend the public meeting and will be given an opportunity to be heard.

*Meeting Location: Concordia University Chicago
Koehneke Community Center
Oak Park Room – 2nd floor
7400 Augusta Street
River Forest, IL 60305

*A Concordia University Campus map is on the reverse side of this Notice

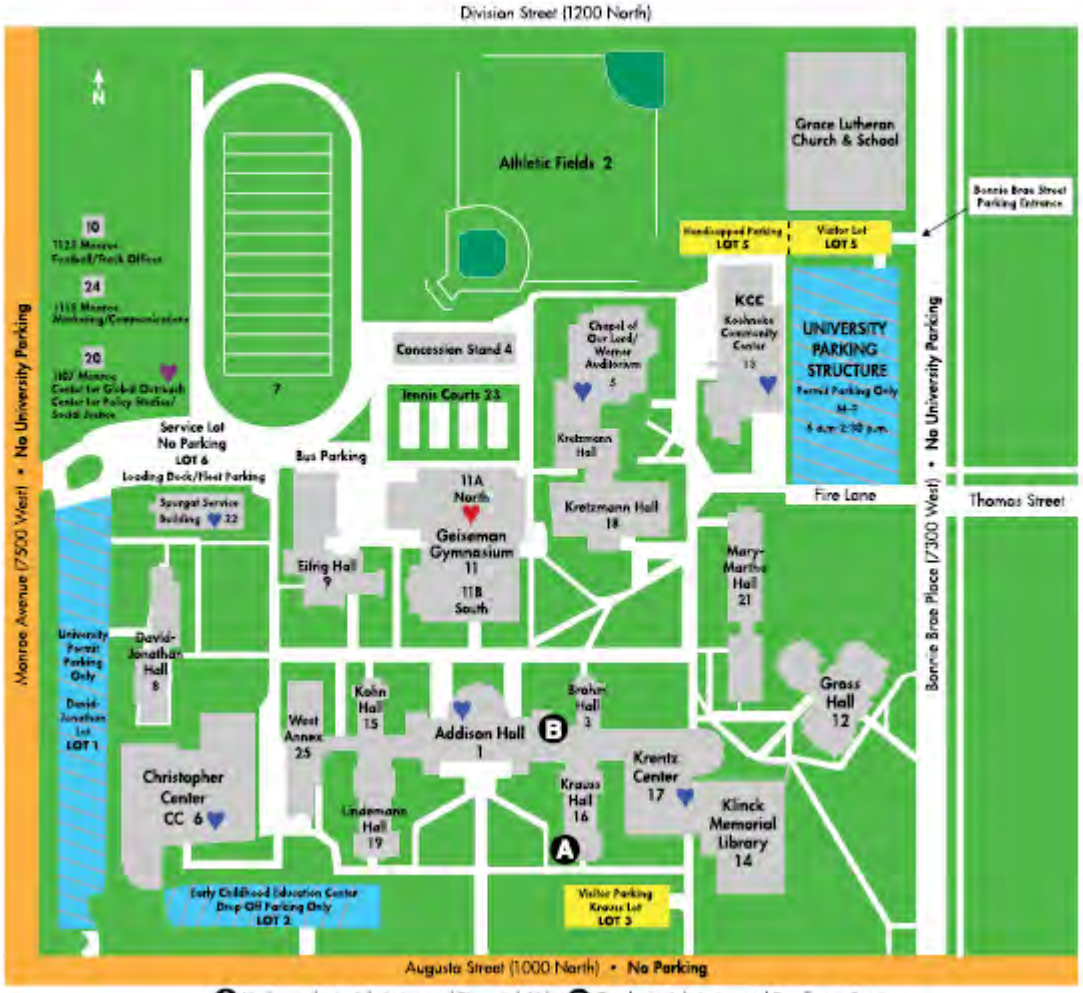
Please call Glen Steiner at 708-209-3328 if you have any questions regarding this Notice.

Thank you.

Concordia University

Concordia University Chicago Campus Map

Main address: 7400 Augusta Street, River Forest, Illinois 60305-1499
Main phone: 708-771-8300 Website: CUChicago.edu



A Undergraduate Admission and Financial Aid B Graduate Admission and Enrollment Services

PUBLIC NOTICE
DEVELOPMENT REVIEW BOARD
RIVER FOREST, ILLINOIS

Public notice is hereby given that a Public Hearing will be held by the Development Review Board of the Village of River Forest, County of Cook, State of Illinois, on Thursday, June 21, 2018, at 7:30 p.m. in the Community Room of the River Forest Village Hall, 400 Park Ave., River Forest Illinois, on the following matters;

> Application # 18-03: Application for Amendment to Planned Development. The Applicant proposes add cellular antennas behind stealth enclosures on the southwest and southeast corners of the parking garage.

The address of the property is 7400 Augusta, River Forest, IL 60305. A legal description of the property is provided on page 2 of this Notice.

The applicant is Concordia University Chicago, 7400 Augusta, River Forest, IL 60305.

All interested persons will be given the opportunity to be heard at the Public Hearing. A copy of the application will be available to the public at the Village Hall as of Wednesday, June 6, 2016, or online at www.vrf.us.

Any questions regarding this project of the Planned Development process can be directed to:

Lisa Scheiner
Assistant Village Administrator
lscheiner@vrf.us
(708) 714-3554.

If you cannot attend the Public Hearing but would like to provide comments to the Development Review Board, you may submit comments in writing, via letter or email, no later than Wednesday, June 20, 2018.

Concordia University Chicago

Glen Steiner
Associate Vice President, Operations
Concordia University Chicago

The legal description of the property is as follows:

BLOCKS 2, 3, 4, 5, 6, AND 7 IN BOGUE'S ADDITION TO OAK PART, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6, AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK OUNTY, ILLINOIS EXCEPTING THREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.

CONCORDIA UNIVERSITY CHICAGO
1864

7400 Augusta Street
River Forest
Illinois 60305-1499
708-771-8300
fax 708-209-3176
www.CUChicago.edu

Certificate of Mailing Notice of Village Board Meeting

I, GLEN STEINER, Associate Vice President for Operations at Concordia University Chicago, certify that I caused the attached letter to be mailed to 663 property owners on the list provided to Village staff by causing the letters to be deposited postage paid, first class mail, in the mail box at the Oak Park postal substation at Concordia University, 7400 Augusta, River Forest, Illinois 60305, before the hour of four o'clock p.m. on May 22, 2018.

I further certify that the list of property owners is the same as the one previously prepared by Property Insight, and previously submitted to Village staff.

Dated: May 22, 2018

Glen Steiner
Associate Vice President for Operations
Concordia University Chicago

15-01-215-013-0000
Ms. Noreen Powers
Trinity High School
7574 Division St.
River Forest, IL 60305

15-01-216-009-0000
T R CUNNINGHAM
1240 MONROE AV
RIVER FOREST, IL 60305

15-01-216-010-0000
VANKER
1234 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-011-0000
JOHN A MORRISSEY III
1230 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-012-0000
IWEI HUANG
1224 MONROE AV
RIVER FOREST, IL 60305

15-01-216-013-0000
IWEI HUANG
1224 MONROE AV
RIVER FOREST, IL 60305

15-01-216-023-0000
ROBERT J KELLY
1220 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-026-0000
CHRISTINE SHOW
1200 MONORE AV
RIVER FOREST, IL 60305

15-01-216-027-0000
STEPHEN M GRVZLO
1206 MONROE ST
RIVER FOREST, IL 60305

15-01-216-037-0000
WILLIAM J FUREY
1201 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-038-0000
LISA MOSS
1227 JACKSON
RIVER FOREST, IL 60305

15-01-216-039-0000
TIM MONICA MACNAMARA
1223 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-040-0000
DR ANGEL GALVEZ
1219 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-041-0000
WENDY GALLERY
1215 JACKSON
RIVER FOREST, IL 60305

15-01-216-042-0000
ANA JOHN BARUN
1207 N JACKSON
RIVER FOREST, IL 60305

15-01-216-043-0000
STEVEN V NAPOLITANO
1212 N MONROE
RIVER FOREST, IL 60305

15-01-217-002-0000
NICHOLAS VANDERSCHIE
1241 MONROE
RIVER FOREST, IL 60305

15-01-217-003-0000
NICHOLAS VANDERSCHIE
1241 MONROE
RIVER FOREST, IL 60305

15-01-217-004-0000
ASKOLD L KOZBUR
1235 MONROE AV
RIVER FOREST, IL 60305

15-01-217-005-0000
CHARLES LUCCHESE
1231 MONROE
RIVER FOREST, IL 60305

15-01-217-006-0000
JOSEPH J DWYER
1225 MONROE
RIVER FOREST, IL 60305

15-01-217-007-0000
MATTHEW C MENEZES
1221 MONROE AVE 1
RIVER FOREST, IL 60305

15-01-217-008-0000
KARMALI
1215 MONROE AVE
RIVER FOREST, IL 60305

15-01-217-009-0000
BRIAN LINDA PROCTOR
1211 MONROE ST
RIVER FOREST, IL 60305

15-01-217-010-0000
JOHN H ANDERSEN
1205 MONROE AV
RIVER FOREST, IL 60305

15-01-217-012-0000
JOSE A L ARRUDA
1240 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-217-013-0000
DAVID R BERNI
1232 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-014-0000
J M DAGOSTINO
1226 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-015-0000
WILLIAM T SMITH
1220 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-016-0000
JUSTIN STEINBERG
1216 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-017-0000
JAMES P CAGNINA JR
1210 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-018-0000
THOMAS E PROTHERO
1202 WILLIAM ST
RIVER FOREST, IL 60305

15-01-218-005-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-006-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-007-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-008-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-009-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-220-012-0000
CATHERINE M ADDUCI
1227 WILLIAM STREET
RIVER FOREST, IL 60305

15-01-220-013-0000
MATTHEW SORRENTINO
1221 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-014-0000
MICHAEL HUGAR
1217 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-015-0000
DAVID MARY CHEN
1211 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-016-0000
J LEEF T MCKENZIE
1201 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-019-0000
PETER DEIRDRE LIES
1231 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-220-020-0000
MATT JANSEN
1255 N WILLIAM ST
RIVER FOREST, IL 60305

15-01-400-009-0000
COLUMBUS FAM TRUST
8383 WILSHIRE BLVD#500
BEVERLY HILS, CA 90211

15-01-400-010-0000
MICHAEL S PETROS
1140 JACKSON AV
RIVER FOREST, IL 60305

15-01-400-011-0000
BRIAN M LISTON
1134 N JACKSON AV
RIVER FOREST, IL 60305

15-01-400-012-0000
SYED M AHMED
1130 JACKSON AVE
RIVER FOREST, IL 60305

15-01-400-013-0000
BARRY BAUMAN
1122 N JACKSON AV
RIVER FOREST, IL 60305

15-01-400-014-0000
JEFFREY BERNARD
1114 JACKSON
RIVER FOREST, IL 60305

15-01-400-015-0000
J K OGUNKEYE
1110 JACKSON
RIVER FOREST, IL 60305

15-01-400-016-0000
CARMELO A SCALZO
1106 W JACKSON
RIVER FOREST, IL 60305

15-01-400-017-0000
PHILIP A MARCUS
1102 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-001-0000
CURTIS PINNELL TRSTEE
20 N WACKER 2800
CHICAGO, IL 60606

15-01-401-002-0000
WILLIAM GLEASON
1143 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-003-0000
COLIN MARY FITT
1139 JACKSON
RIVERFOREST, IL 60305

15-01-401-004-0000
CHRISTOPHER M MACKIE
1133 JACKSON
RIVER FOREST, IL 60305

15-01-401-005-0000
LAWRENCE C VOGEL
1127 JACKSON AV
RIVER FOREST, IL 60305

15-01-401-006-0000
R TUCCI L CALABRESE
1119 N JACKSON AV
RIVER FOREST, IL 60305

15-01-401-007-0000
BURTON KATHLEEN KLEI
1115 JACKSON
RIVER FOREST, IL 60305

15-01-401-008-0000
TIMOTHY SHEAHAN
1107 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-009-0000
TERRENCE J DONLIN
1101 JACKSON AV
RIVER FOREST, IL 60305

15-01-401-010-0000
DERK VALERIE SMART
1146 MONROE AV
RIVER FOREST, IL 60305

15-01-401-011-0000
DIANE L MUSTAIN
1142 MONROE AV
RIVER FOREST, IL 60305

15-01-401-012-0000
CHRISTOPHER B LYNN
1136 MONROE AVE
RIVER FOREST, IL 60305

15-01-401-013-0000
JAMES C VECCHIO
1130 MONROE
RIVER FOREST, IL 60305

15-01-401-014-0000
KRISTEN BRIAN VITALE
1126 MONROE AVENUE
RIVER FOREST, IL 60305

15-01-401-015-0000
THOMAS B QUINN
1122 MONROE AV
RIVER FOREST, IL 60305

15-01-401-016-0000
BERARDINO ORFEI
1118 MONROE AV
RIVER FOREST, IL 60305

15-01-401-017-0000
SALVADOR AMIE GAMINO
1112 MONROE AV
RIVER FOREST, IL 60305

15-01-401-018-0000
EDWARD MARISA GREEN
1106 MONROE
RIVER FOREST, IL 60305

15-01-401-019-0000
MARK KATHERINE BUTTE
1102 MONROE
RIVER FOREST, IL 60305

15-01-402-002-0000
Rev. David Lyle
Grace Lutheran Church
7300 Division St.
River Forest, IL 60305

15-01-402-003-0000
James McClanahan
Grace Lutheran Church
7300 Division St.
River Forest, IL 60305

15-01-403-001-0000
GRACE EVAN. LUTH. CH.
7300 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-012-0000
CST TAX DEPT 23852
PO BOX 711
DALLAS, TX 75221

15-01-403-013-0000
GRACE LUTHERAN CHURCH
7300 DIVISION ST
RIVER FOREST, IL 60305

15-01-403-015-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-403-016-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-403-017-0000
ENRIQUE SALGADO
1119 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-403-018-0000
PKN REAL ESTATE INVEST
1020 N HARLEM AVE #3B
RIVER FOREST, IL 60305

15-01-403-019-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-020-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-021-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-022-0000
DANIEL J BROWN
4 OAK BROOK CLUB G107
OAK BROOK, IL 60523

15-01-403-032-0000
JEFFREY SARABIA
1122 N HARLEM #D
RIVER FOREST, IL 60305

15-01-403-033-0000
CAROLINE MAHIC
1122 N HARLEM #C
RIVER FOREST, IL 60305

15-01-403-034-0000
KURT STADWALD
1122B N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-035-0000
MIKE NELSON
1122 N HARLEM APT 2
RIVER FOREST, IL 60305

15-01-403-038-0000
LEMAR KIMBALL LLC
1535 FOREST 302
RIVER FOREST, IL 60305

15-01-403-041-0000
ALLAN B PALL
1118 N HARLEM AVE #C
RIVER FOREST, IL 60305

15-01-403-042-0000
JUDY A KAVANAUGH
1118 N HARLEM AV B
RIVER FOREST, IL 60305

15-01-403-043-0000
VERONICA R OTTENHEIMER
1118 N HARLEM AVE #A
RIVER FOREST, IL 60305

15-01-216-001-0000
Eric Palm
Village of River Forest
400 Park Ave.
River Forest, IL 60305

15-01-403-044-1001
EDWARD HANRAHAN
1131 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-403-044-1002
MARY ALICE DACOSSE
1129 BONNIE BRAE 1S
RIVER FOREST, IL 60305

15-01-403-044-1003
PETERS
1131 BONNIE BRAE PL#2N
RIVER FOREST, IL 60305

15-01-403-044-1004
SUSAN GIORANGO
1129 N BONNIE BRAE 2S
RIVER FOREST, IL 60305

15-01-403-044-1005
EMILY D KOSMAL
1131 BONNIE BRAE PL 3N
RIVER FOREST, IL 60305

15-01-403-044-1006
M ABBATE S ABBATE
1129 BONNIE BRAE 3S
RIVER FOREST, IL 60305

15-01-403-044-1007
PETERS
1131 BONNIE BRAE PL#2N
RIVER FOREST, IL 60305

15-01-403-044-1008
M ABBATE S ABBATE
1129 BONNIE BRAE 3S
RIVER FOREST, IL 60305

15-01-403-044-1009
MARY ALICE DACOSSE
1129 BONNIE BRAE 1S
RIVER FOREST, IL 60305

15-01-403-044-1010
SUSAN W GIORGANGO
1129 N BONNIE BRAE 2S
RIVER FOREST, IL 60305

15-01-403-044-1011
EMILY D KOSMAL
1131 BONNIE BRAE PL 3N
RIVER FOREST, IL 60305

15-01-403-045-1001
ADAM WEST
1100 N HARLEM AVE APTG
RIVERFOREST, IL 60305

15-01-403-045-1002
P D MCGARRY
1100 N HARLEM 1
RIVER FOREST, IL 60305

15-01-403-045-1003
STEVEN SCHWARTZ
1100 N HARLEM AV 2
RIVER FOREST, IL 60305

15-01-403-045-1004
YOU HONG CHENG L SUN
1100 HARLEM 3D
RIVER FOREST, IL 60305

15-01-403-045-1005
DEBRA WILSON
1102 N HARLEM AVE #G
RIVER FOREST, IL 60305

15-01-403-045-1006
VICKY POWELL
1102 N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-045-1007
JEFFREY A LYNCH
2116 N NORDICA AVE
CHICAGO, IL 60707

15-01-403-045-1008
VICTORIA M TUFANO
1102 N HARLEM 3
RIVER FOREST, IL 60305

15-01-403-045-1009
KATHLEEN MULVEY
1104 N HARLEM AVE 1
RIVER FOREST, IL 60305

15-01-403-045-1010
CZESLAW CHLEBEK
1151 S TAYLOR AVE
OAK PARK, IL 60304

15-01-403-045-1011
JOSE TAMAYO
1104 N HARLEM #3
RIVER FOREST, IL 60305

15-01-403-045-1012
LESTER ALICE RICHMOND
1106 N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-045-1013
GWENDOLYN MOTON
707 N HAYES AVE
OAK PARK, IL 60302

15-01-403-045-1014
STEVEN G FERRIER
1106 N HARLEM AVE #3
RIVER FOREST, IL 60305

15-01-403-045-1015
SUZANNE F BRENNAN
1108 N HARLEM AV #1
RIVER FOREST, IL 60305

15-01-403-045-1016
JOHN R KOCH
1624 HIGHRIDGE PKWY
WESTCHESTER, IL 60154

15-01-403-045-1017
ALFREDO RIVERA
1909 N 72ND CT
ELMWOOD PARK, IL 60707

15-01-403-045-1018
JOSEPH C SCHAK
1622 N 75TH AVE
ELMWOOD PARK, IL 60707

15-01-403-045-1019
JASON A SHERMAN
427 N HARVEY AVE
OAK PARK, IL 60302

15-01-403-045-1020
MICHAEL JUNES
2313 SOUTH 16TH AVENUE
BROADVIEW, IL 60155

15-01-403-045-1021
THOMAS MICHAEL NISBET
1112 N HARLEM AVE G
RIVER FOREST, IL 60305

15-01-403-045-1022
LESHONDA S HOWARD
1112 N HARLEM 1
RIVER FOREST, IL 60305

15-01-403-045-1023
MICHAEL STURDIVANT
1112 N HARLEM #2
RIVER FOREST, IL 60305

15-01-403-045-1024
EDMUND V PADLECKAS
1285 LILY LN
CAROL STREAM, IL 60188

15-01-403-045-1025
CYNTHIA E GORDON
1114 N HARLEM GAR
RIVER FOREST, IL 0

15-01-403-045-1026
JEROME DAVIS
1114 N HARLEM AV #1
RIVER FOREST, IL 60305

15-01-403-045-1027
SERGIO VELEZ
1114 N HARLEM AVE 2
RIVER FOREST, IL 60305

15-01-403-045-1028
KATE BURCH
1114 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-403-046-1001
KRISTEN KOPP
7209 W DIVISION A1
RIVER FOREST, IL 60305

15-01-403-046-1002
BARBARA BUTZEN
7209 DIVISION ST A2
RIVER FOREST, IL 60305

15-01-403-046-1003
F TUNGOL R SONON
7209 W DIVISION A3
RIVER FOREST, IL 60305

15-01-403-046-1004
MARIA E ROSA
5201 S INGLESIDE AVE
CHICAGO, IL 60615

15-01-403-046-1005
JOSEPHINE ELAMO
7209 DIVISION ST B2
RIVER FOREST, IL 60305

15-01-403-046-1006
ANDREA KRZAK
7209 W DIVISION ST 3B
RIVER FOREST, IL 60305

15-01-403-046-1007
HEATHER M OLEKSY
7211 W DIVISION ST 1C
RIVER FOREST, IL 60305

15-01-403-046-1008
VICTOR HOWARD MOORE
7211 W DIVISION #2C
RIVER FOREST, IL 60305

15-01-403-046-1009
NORMA SHERBONDY
7211 W DIVISION 3C
RIVER FOREST, IL 60305

15-01-403-046-1010
GREGORY REPOSH
7977 LAKE ST
RIVER FOREST, IL 60305

15-01-403-046-1011
STEPHANIE JEFFERSON
7211 DIVISION 2D
RIVER FOREST, IL 60305

15-01-403-046-1012
ALZY POWELL
7209 DIVISION #B1
RIVER FOREST, IL 60305

15-01-403-046-1013
BARBARA BUTZEN
7209 DIVISION ST A2
RIVER FOREST, IL 60305

15-01-403-046-1014
STEPHANIE JEFFERSON
7211 DIVISION 2D
RIVER FOREST, IL 60305

15-01-403-046-1015
F TUNGOL R SONON
7209 W DIVISION 3A
RIVER FOREST, IL 60305

15-01-403-046-1016
GREGORY REPOSH
7977 LAKE ST
RIVER FOREST, IL 60305

15-01-403-046-1017
TAXPAYER OF
7219 DIVISION ST PK6
RIVER FOREST, IL 0

15-01-403-046-1018
Y J CALLOWAY
7209 W DIVISION AVE 3B
RIVER FOREST, IL 60305

15-01-403-047-1001
CASE HOOGENDOORN TTEE
122 S MICHIGAN AVE
CHICAGO, IL 60603

15-01-403-047-1002
LUIS G DEFRAGA
151 N HUMPHREY
OAK PARK, IL 60302

15-01-403-047-1003
TAXPAYER OF
7221 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-047-1004
MICHAEL TRANKINA
7221 W DIVISION ST #4
RIVER FOREST, IL 60305

15-01-403-047-1005
DOUG MCGOLDRICK
7221 W DIVISION ST #5
RIVER FOREST, IL 60305

15-01-403-047-1006
LEE M FORREST
7221 DIVISION ST
RIVER FOREST, IL 60305

15-01-403-047-1007
LUIS G DEFRAGA
151 N HUMPHREY
OAK PARK, IL 60302

15-01-403-047-1008
DONALD L KVIZ
2340 S KENILWORTH
BERWYN, IL 60402

15-01-403-047-1009
BARBARA CROOM
7221 W DIVISION #9
RIVER FOREST, IL 60305

15-01-403-047-1010
ELZBIETA KOLEBACZ
7221 W DIVISION 10
RIVER FOREST, IL 60305

15-01-403-047-1011
DONALD L KVIZ
2340 S KENILWORTH
BERWYN, IL 60402

15-01-403-047-1012
BARBARA CROOM
7221 W DIVISION #9
RIVER FOREST, IL 60305

15-01-403-047-1013
MICHAEL TRANKINA
7221 W DIVISION ST #4
RIVER FOREST, IL 60305

15-01-403-047-1014
LEE M FORREST
7221 DIVISON ST
RIVER FOREST, IL 60305

15-01-403-047-1015
DONALD A RINNAN
122 S MICHIGAN #1220
CHICAGO, IL 60603

15-01-403-048-1001
TIFFANY L JONES
7213 W DIVISION #1
RIVER FOREST, IL 60305

15-01-403-048-1002
TERESA ANDRADE
7213 DIVISION ST #2B
RIVER FOREST, IL 60305

15-01-403-048-1003
FAREESA G KHAN
15316 NOONING TR CT
CHESTERFIELD, MO 63017

15-01-403-048-1004
SEAN T OLIS
7213 W DIVISION 4
RIVER FOREST, IL 60305

15-01-403-048-1005
MARTIN BECKER
7213 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-048-1006
HAZARIAN UNLUSOY
7213 W DIVISION #6
RIVER FOREST, IL 60305

15-01-403-048-1007
ANDREW GORDON DUKE
7213 W DIVISION 7
RIVER FOREST, IL 60305

15-01-403-048-1008
ROSEMARY CAMILLERI
7213 W DIVISION ST 8
RIVER FOREST, IL 60305

15-01-403-048-1009
STEVEN MCMAHON ZELLER
922 COLUMBIAN AVE
OAK PARK, IL 60302

15-01-406-013-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-403-049-1001
ELSA E OROZCO
1124 N HARLEM AV UNITA
RIVER FOREST, IL 60305

15-01-403-049-1002
DONNA WESTBROOK
1124 N HARLEM AV #B
RIVER FOREST, IL 60305

15-01-403-049-1003
MAIDALIZ MARRERO
1124 N HARLEM AVE C
RIVER FOREST, IL 60305

15-01-403-049-1004
T HILL
1126 N HARLEM A
RIVER FOREST, IL 60305

15-01-403-049-1005
JENNIFER L KEMP
1126 N HARLEM B
RIVER FOREST, IL 60305

15-01-403-049-1006
EDDY PIERRE
1126 N HARLEM APT C
RIVER FOREST, IL 60305

15-01-403-049-1007
DELFINA CERVANTES
1128 N HARLEM AV #A
RIVER FOREST, IL 60305

15-01-403-049-1008
MYRON RUSSELL
1128 N HARLEM AVE B
RIVER FOREST, IL 60305

15-01-403-049-1009
RONALD A DAVIS
1128 N HARLEM AVE #C
RIVER FOREST, IL 60305

15-01-403-049-1010
CHITRAKAR PATHAK
1130 N HARLEM A
RIVER FOREST, IL 60305

15-01-403-049-1011
CONSTANCE J STRAIT
1130 N HARLEM AVE #B
RIVER FOREST, IL 60305

15-01-403-049-1012
RONALD J MALIK
1130 HARLEM AV #C
RIVER FOREST, IL 60305

15-01-404-007-0000
GREGORY W CAPPELLI
1046 JACKSON AVE
RIVERFOREST, IL 60305

15-01-404-008-0000
GREGORY CAPPELLI
1046 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-009-0000
B DRAB
1030 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-010-0000
B ALEXANDRA CHARBEL
1020 JACKSON AV
RIVER FOREST, IL 60305

15-01-404-011-0000
C M WELDON LINNE
1014 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-012-0000
GEORGE W SPELLMIRE
7500 AUGUSTA ST
RIVER FOREST, IL 60305

15-01-405-001-0000
MATTHEW LISA CAROLAN
1041 JACKSON AVE
RIVER FOREST, IL 60305

15-01-405-002-0000
RICHARD J DEOGRACIAS
1045 JACKSON AVENUE
RIVER FRST, IL 60305

15-01-405-003-0000
ANN LATZ DUNBAR TRUST
1035 JACKSON AVE
RIVER FOREST, IL 60305

15-01-405-004-0000
PAUL L BRENNAN
1031 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-005-0000
ROANLD A STEELE
1025 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-006-0000
PRADEEP RATTAN
1019 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-007-0000
MICHAEL REANEY
1015 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-008-0000
ROSS FASANO
1009 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-009-0000
MARC KIESELSTEIN
1001 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-010-0000
GARY M MART
1046 N MONROE AVE
RIVER FOREST, IL 60305

15-01-405-011-0000
SAMUEL J TARARA
1040 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-012-0000
JORGE A PEREZ
1034 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-013-0000
MARTIRE
1028 N MONROE
RIVER FOREST, IL 60305

15-01-405-014-0000
TIMOTHY ANNA DALY
1024 MONROE
RIVER FOREST, IL 60305

15-01-405-015-0000
SCOTT HALL
1012 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-016-0000
MICHAEL PRITZ
1006 MONROE AV
RIVER FOREST, IL 60305

15-01-405-017-0000
JEFF CAPPEL
1002 MONROE AV
RIVER FOREST, IL 60305

15-01-405-018-0000
HARRY M RICHTER
1020 MONROE
RIVER FOREST, IL 60305

15-01-406-004-0000
R C MILLER
1025 BONNIE BRAE PLACE
RIVER FOREST, IL 60305

15-01-406-006-0000
ALEX J JULIA MORELLI
1019 N BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-010-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-011-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-012-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-019-0000
DOUGLAS L WINCHELL
1002 N HARLEM AV
RIVER FOREST, IL 60305

15-01-406-022-0000
BONNIE BRAE DEV. L.L.C
1115-1127 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-024-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-406-026-1001
G R MASON R BONE
1009 BONNIE BRAE #1B
RIVER FOREST, IL 60305

15-01-406-026-1002
T C DUNIGAN
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1003
J RICHARD CAREY
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1004
KENNEDY STEPHEN R
1005 BONNIE BRAE #1E
RIVER FOREST, IL 60305

15-01-406-026-1005
PATRICIA A HUEBNER
1005 BONNIE BRAE #1F
RIVER FOREST, IL 60305

15-01-406-026-1006
PHILIP M GORDON
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1007
K QUAID T FARRELL
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1008
GEORGE L STEWART JR
1009 BONNIE BRAE PL 2A
RIVER FOREST, IL 60305

15-01-406-026-1009
EMIL A BAUMBACH JR
1009 N BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1010
EUGENE SULLIVAN
1009 BONNIE BRAE #2C
RIVER FOREST, IL 60305

15-01-406-026-1011
LOUISE A SUMNARSKI
1005 BONNIE BRAE #2D
RIVER FOREST, IL 60305

15-01-406-026-1012
HARRY M PETERSON JR
1005 BONNIE BRAE 2E
RIVER FOREST, IL 60305

15-01-406-026-1013
RUTH CARROLL
1005 BONNIE BRAE 2F
RIVER FOREST, IL 60305

15-01-406-026-1014
ZORA ZIVKOVIC
1005 BONNIE BRAE #2G
RIVER FOREST, IL 60305

15-01-406-026-1015
ED MARYALYCE BURKE
1009 BONNIE BRAE 3A
RIVER FOREST, IL 60305

15-01-406-026-1016
MANUEL C IGLESIAS
1009 BONNIE BRAE 3B
RIVER FOREST, IL 60305

15-01-406-026-1017
LEROY NANCY ROSASCO
1009 BONNIE BRAE PL 3C
RIVER FOREST, IL 60305

15-01-406-026-1018
ALLISON L BURDICK
1005 BONNIE BRAE 3D
RIVER FOREST, IL 60305

15-01-406-026-1019
KATIE NEWSHAM
1005 BONNIE BRAE #3E
RIVER FOREST, IL 60305

15-01-406-026-1020
EBRAHIM AMIR MOKRI
1005 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-406-026-1021
MINA AMIR MOKRI
1005 BONNIE BRAE #3G
RIVER FOREST, IL 60305

15-01-406-026-1022
K A MURPHY
1009 BONNIE BRAE PL 4A
RIVER FOREST, IL 60305

15-01-406-026-1023
MAURICE FARHI MD
7010 W NORTH AVENUE
CHICAGO, IL 60707

15-01-406-026-1024
MARCELLE FARHI
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1025
CTLTC
1005 BONNIE BRAE 4D
RIVER FOREST, IL 60305

15-01-406-026-1026
PATRICIA M LAPPE
1005 BONNIE BRAE 4E
RIVER FOREST, IL 60305

15-01-406-026-1027
LYNNE J HORWICH
1005 BONNIE BRAE PL#4F
RIVER FOREST, IL 60305

15-01-406-026-1028
NANCY B MCGURN
1005 BONNIE BRAE 4G
RIVER FOREST, IL 60305

15-01-406-026-1029
JOAN B WOJCIK
1009 BONNIE BRAE 5A
RIVER FOREST, IL 60305

15-01-406-026-1030
CHARLES R WINKLER
1009 BONNIE BRAE #5B
RIVER FOREST, IL 60305

15-01-406-026-1031
SELMA BELAJEC
1009 BONNIE BRAE #5C
RIVER FOREST, IL 60305

15-01-406-026-1032
BRIAN P SULLIVAN
152 PARK DR
BAL HARBOUR, FL 33154

15-01-406-026-1033
MAUREEN BARNICLE
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1034
FIFTH THIRD BK DARLEY
PO BOX 13519
ARLINGTON, TX 76094

15-01-406-026-1035
NANCY C MAY
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-027-0000
DENIS AZABAGIC
1031 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-406-028-0000
TAX PAYER OF
1029 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-029-1001
JUDITH WOLF
1010 N HARLEM AVE #201
RIVER FOREST, IL 60305

15-01-406-029-1002
LORI OCONNOR
1010 N HARLEM 202
RIVER FOREST, IL 60305

15-01-406-029-1003
ROBERT NAVARRO
1010 N HARLEM #203
RIVER FOREST, IL 60305

15-01-406-029-1004
THOMAS F LINT
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-029-1005
NANCY GOOD
1010 N HARLEM APT 205
RIVER FOREST, IL 60305

15-01-406-029-1006
MARK MICHELLE MARTIN
1010 N HARLEM #301
RIVER FOREST, IL 60305

15-01-406-029-1007
LUIS MARIA REYES
1010 N HARLEM #302
RIVER FOREST, IL 60305

15-01-406-029-1008
EVELYN MENSAH
1010 N HARLEM #303
RIVER FOREST, IL 60305

15-01-406-029-1009
D ADAMS M MCENERY
1010 N HARLEM 304
RIVER FOREST, IL 60305

15-01-406-029-1010
ZONICE GREGORY
110 N KENILWORTH AVE4A
OAK PARK, IL 60301

15-01-406-029-1011
MARGARET M KRAFT
1010 N HARLEM AV
RIVER FOREST, IL 60305

15-01-406-029-1012
DIANE COLLETTI
1010 N HARLEM AVE 402
RIVER FOREST, IL 60305

15-01-406-029-1013
JUANITA J LECRONE
1010 N HARLME AVE #403
RIVER FOREST, IL 60305

15-01-406-029-1014
KATHLEEN POLK
1010 N HARLEM AVE 404
RIVER FOREST, IL 60305

15-01-406-029-1015
PAUL MARY BOWMAN
1010 N HARLEM 405
RIVER FOREST, IL 60305

15-01-406-029-1016
HAROLEON CROSS
1010 N HARLEM AVE 501
RIVER FOREST, IL 60305

15-01-406-029-1017
JOHN R MULDOON
1010 N HARLEM UNIT 502
RIVER FOREST, IL 60305

15-01-406-029-1018
ENRIQUE IBARRA
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-029-1019
MARIE J ROACH
1010 HARLEM AV #504
RIVER FOREST, IL 60305

15-01-406-029-1020
MARY E HALPIN
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-031-0000
LEO BARANOWSKI
1023 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-032-1001
TAXPAYER OF
1020 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1002
ROOHI SHAMSAI
1020 N HARLEM AV 1B
RIVER FOREST, IL 60305

15-01-406-032-1003
GAIL M POPOWITS
1020 N HARLEM AV 1C
RIVER FOREST, IL 60305

15-01-406-032-1004
PATRICIA PARKER
1020 N HARLEM AV 1D
RIVER FOREST, IL 60305

15-01-406-032-1005
BROTMAN MONIQUE M
1020 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1006
1 MIDWEST BANK 86 4948
218 W MAIN ST
WEST DUNDEE, IL 60118

15-01-406-032-1007
CYRUS MOKRY
1020 N HARLEM AV A2
RIVER FOREST, IL 60305

15-01-406-032-1008
GARY MANCUSO
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-032-1009
HENRY KLEMPEL
1020 N HARLEM AVE #2C
RIVER FOREST, IL 60305

15-01-406-032-1010
KEN LORETTA WRIGHT
1020 HARLEM AV #2D
RIVER FOREST, IL 60305

15-01-406-032-1011
ALEJANDRO HORNIK
1020 NORTH HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1012
EVELYN C FINEGAN
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-032-1013
JUNE R WITZL
1020 N HARLEM AV 3A
RIVER FOREST, IL 60305

15-01-406-032-1014
PAMELA KNAPEK
1020 N HARLEM AV 3B
RIVER FOREST, IL 60305

15-01-406-032-1015
JOYCE K WASHINGTON
1020 N HARLEM AV 3C
RIVER FOREST, IL 60305

15-01-406-032-1016
GUILBERT PALMA GOLZ
1020 N HARLEM AV 3D
RIVER FOREST, IL 60305

15-01-406-032-1017
RICHARD W PRESCOTT
1020 N HARLEM AVE#3E
RIVER FOREST, IL 60305

15-01-406-032-1018
SMILEY
1020 N HARLEM AVE 3F
RIVER FOREST, IL 60305

15-01-406-032-1019
LARRY E MITCHENER
1020 N HARLEM AVE 4A
RIVER FOREST, IL 60305

15-01-406-032-1020
CIRRUS INV GRP LLC
120 W MADISION 1407
CHICAGO, IL 60602

15-01-406-032-1021
CYNTHIA MEARS
1020 N HARLEM AVE 4C
RIVER FOREST, IL 60305

15-01-406-032-1022
RONALD R MARICH
1020 N HARLEM #4D
RIVER FOREST, IL 60305

15-01-406-032-1023
JAMES PATRICIA ELSEN
1020 N HARLEM AVE 4E
RIVER FOREST, IL 60305

15-01-406-032-1024
MARTIN E SIEGEL
1020 N HARLEM AV 4F
RIVER FOREST, IL 60305

15-01-406-032-1025
EMLEE HILLIARD SMITH
1020 N HARLEM 5A
RIVER FOREST, IL 60305

15-01-406-032-1026
GARY GAGLIANO
1020 N HARLEM AVE #5B
RIVER FOREST, IL 60305

15-01-406-032-1027
THOMAS J MCDONNELL
1020 N HARLEM AV 5C
RIVER FOREST, IL 60305

15-01-406-032-1028
GARY GAGLIANO
1020 N HARLEM AVE #5D
RIVER FOREST, IL 60305

15-01-406-032-1029
BETTINA RUFFOLO
1020 N HARLEM #5E
RIVER FOREST, IL 60305

15-01-406-032-1030
H KARL REKO 25485
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-033-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-406-034-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-407-009-0000
ROBERT O TUERK
946 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-010-0000
MARK WOZNIAK
942 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-011-0000
STEVEN L MANDELL
938 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-012-0000
MATTHEW T NIX
934 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-013-0000
CHRIS DANIELLE LOCKE
930 JACKSON
RIVER FOREST, IL 60305

15-01-407-014-0000
MARK EMILY BROWN
926 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-015-0000
TAXPAYER OF
922 N JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-016-0000
T WATERS A MANDUJANO
918 JACKSON
RIVER FOREST, IL 60305

15-01-407-017-0000
MARGOT M DYBOWSKI
914 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-018-0000
RICHARD A MCMAHON JR
910 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-019-0000
JOHN ANNETTE VINCENT
906 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-001-0000
PAUL BALTER
947 JACKSON
RIVER FOREST, IL 60305

15-01-408-002-0000
JOHN G MOORE
943 JACKSON AV
RIVER FORST, IL 60305

15-01-408-003-0000
J V SHAKER
937 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-004-0000
BRIAN C JOSEPHS
933 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-005-0000
COREY PERRY
927 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-006-0000
LA VAUGHN PETERSON
923 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-007-0000
WILLIAM A TODD
919 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-008-0000
JILL E ZUCKER
913 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-009-0000
LAWRENCE T O BRIEN
907 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-013-0000
MARY C ARVIS
938 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-014-0000
JOAN U YOUNG
930 MONROE AV
RIVER FOREST, IL 60305

15-01-408-015-0000
H R PATEL
926 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-016-0000
CHARLES VIETZEN
922 MONROE AV
RIVER FOREST, IL 60305

15-01-408-017-0000
JOSEPH KRISTINE FARK
918 MONROE
RIVER FOREST, IL 60305

15-01-408-018-0000
JOHN FOREHAND
914 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-019-0000
Property Owner
1006 Monroe
River Forest, IL 60305

15-01-408-022-0000
BRIAN VAN MEURS
942 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-023-0000
HAROLD J PELZER JR
946 MONROE AV
RIVER FOREST, IL 60305

15-01-409-001-0000
RAYMOND O BELL 27464
947 MONROE AV
RIVER FOREST, IL 60305

15-01-409-002-0000
ROBERT J BUSCHMANN
943 MONROE AV
RIVER FOREST, IL 60305

15-01-409-003-0000
JOANNA HORSNAIL
937 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-004-0000
FRANK VITO MARSICO
935 MONROE AV
RIVER FOREST, IL 60305

15-01-409-005-0000
MICHAEL KENNEDY
931 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-006-0000
DAVID P MURRAY
927 MONROE
RIVER FOREST, IL 60305

15-01-409-007-0000
THE JOHN R MINIUTTI RE
923 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-008-0000
RUBEN A LLANES
919 MONROE AVENUE
RIVER FOREST, IL 60305

15-01-409-009-0000
ADRIENNE ALLEN
915 MONROE AV
RIVER FOREST, IL 60305

15-01-409-010-0000
J BARKER M HAAG
7426 IOWA ST
RIVER FOREST, IL 60305

15-01-409-011-0000
GEORGE MACIAG
7422 W IOWA
RIVER FOREST, IL 60305

15-01-409-012-0000
RICHARD SIMCOX
7416 IOWA STREET
RIVER FOREST, IL 60305

15-01-409-013-0000
DULAL K BHAUMIK
946 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-409-014-0000
GUS PAPPAS
942 N WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-015-0000
THOMAS CARGIE
938 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-016-0000
RICHARD W SCHUMACHER
934 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-017-0000
SHANE KATHRYN THURST
930 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-018-0000
DAVID LATHAM
926 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-019-0000
ALEXANDER NEKRASOV
922 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-020-0000
CTLTC 8002364657
918 WILLIAM
RIVER FOREST, IL 60305

15-01-409-021-0000
MUCCIANTI JANCIUS
914 WILLIAM AVE
RIVER FOREST, IL 60305

15-01-409-022-0000
JULIE DIANE FANTETTI
910 WILLIAM
RIVER FOREST, IL 60305

15-01-410-001-0000
J ANDERSON
947 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-002-0000
JOHN COURTNEY
941 WILLIAM
RIVER FOREST, IL 60305

15-01-410-003-0000
JAD PETERSON
935 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-004-0000
MICHAEL-SUE W HARKINS
929 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-005-0000
GEORGE J DURAKIS
671 MOURNING DOVE DR
SARASOTA, FL 34236

15-01-410-006-0000
AUGUST J CRIVOLIO
919 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-007-0000
STEVEN LINDA SPERACINO
915 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-008-0000
TAX PAYER OF
909 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-010-0000
Rev. Dr. Daniel Gard
946 Clinton
River Forest, IL 60305

15-01-410-011-0000
LINDA HOLLIDAY
940 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-014-0000
LIVIO MARYANN PAROLIN
924 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-015-0000
WILLIAM K MCVISK
918 N CLINTON 233
RIVER FOREST, IL 60305

15-01-410-016-0000
PAUL C SCHRECKENBERGER
914 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-017-0000
ROBERT AND MARY BERG
908 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-410-019-0000
HOWARD E JAPLON
934 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-021-0000
M L BURRELLO
930 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-001-0000
SUSAN JAMES LUCCI
947 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-002-0000
DEREK KIMBERLY BRIGG
941 CLINTON
RIVER FOREST, IL 60305

15-01-411-003-0000
MICHAEL T TRUCCO
935 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-005-0000
W DAVID MILLS
919 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-411-006-0000
KELLY OKEEFE
915 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-007-0000
BILL GRESHAM
909 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-009-0000
MARK RENEE ROTATORI
944 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-010-0000
JOHN CLEARY
940 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-411-011-0000
DAVID C NEILSON
934 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-012-0000
JOHN C EGAN
930 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-013-0000
MARTIN N PREISER
924 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-014-0000
JAMES ARADO
920 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-015-0000
SPIROS BOURGIKOS
914 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-016-0000
PETER G PELAFAS
910 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-018-0000
BRIAN ALVERS
933 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-411-019-0000
THOMAS FRIEDRICH
907 KEYSTONE AVE
RIVER FOREST, IL 60305

15-01-412-001-0000
FRANKLIN MOORE
947 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-002-0000
LIAM JENNIFER KELLY
941 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-412-003-0000
JOHN GIURA
935 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-412-004-0000
HOWARD LEVINSKY
931 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-005-0000
DANIEL L FORAN
925 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-006-0000
PATRICIA HERRERA
919 BONNE BRAE
RIVER FOREST, IL 60305

15-01-412-007-0000
PAUL W SCHROEDER
915 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-008-0000
LEONARD VERTUNO
909 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-013-0000
SALAMEH ALKARAKI
926 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-014-0000
JANET E MILLER
922 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-015-0000
B J STANDISH
918 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-412-016-0000
ALLISON MICHAEL SOCI
914 N HARLEM
RIVER FOREST, IL 60305

15-01-412-017-0000
PAT AND ELIZ NEVINS
910 N HARLEM
RIVER FOREST, IL 60305

15-01-412-020-0000
Chicago Meditation Group
946 Harlem Ave.
River Forest, IL 60305

15-01-412-022-0000
BYOUNGCHAN PARK
930 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-023-0000
JUSTIN XIAOTANG GRAH
938 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-412-024-0000
PETER SCHONMAN
934 N HARLEM AV
RIVER FORST, IL 60305

16-06-120-010-0000
ANGEL ASSOCIATES LP
30W180 BUTTERFIELD RD
WARRENVILLE, IL 60555

16-06-120-024-0000
JAMES E FORTE
1215 N HARLEM A
OAK PARK, IL 60302

16-06-120-025-0000
RUTH BAUER
1215 N HARLEM B
OAK PARK, IL 60302

16-06-120-026-0000
EDWARD FANTIS
1215 N HARLEM AV C
OAK PARK, IL 60302

16-06-120-027-0000
LINWOOD DUROE
1217 N HARLEM AV A
OAK PARK, IL 60302

16-06-120-028-0000
JEANNINE W BALDWIN
1217 B HARLEM APT B
OAK PARK, IL 60302

16-06-120-029-0000
MONIQUE MANDERSON
1217C HARLEM AVE
OAK PARK, IL 60302

16-06-120-030-0000
JOHN TOMASZEWSKI
3222 KNOLLWOOD LN
GLENVIEW, IL 60025

16-06-120-031-0000
MATTHEW KRYSTAL
1221B N HARLEM AV
OAK PARK, IL 60302

16-06-120-032-0000
JAMES DIANE JEFFRIES
1221C N HARLEM AV
OAK PARK, IL 60302

16-06-120-033-0000
CHRISTOPHER D HUNTLEY
1223 N HARLEM #A
OAK PARK, IL 60302

16-06-120-034-0000
SANDRA L KASPROWICZ
1223 N HARLEM B
OAK PARK, IL 60302

16-06-120-035-0000
SANDRA L KASPROWICA
1223 N HARLEM AV C
OAK PARK, IL 60302

16-06-120-044-1001
ANDRES RODRIGUEZ
1209 N HARLEM #1
OAK PARK, IL 60302

16-06-120-044-1002
KAREN TELLEZ
3632 N PACIFIC AV
CHICAGO, IL 60634

16-06-120-044-1003
MICHELLE FORTIER
7827 FOREST PRESERVE
CHICAGO, IL 60634

16-06-120-044-1004
ANDREA A FLOWERS
1209 N HARLEM 2
OAK PARK, IL 60302

16-06-120-044-1005
JILLIAN A KREIMAN
1209 N HARLEM 3
OAK PARK, IL 60302

16-06-120-044-1006
ALAN GLAVANOVITS
1209 N HARLEM AVE
OAK PARK, IL 60302

16-06-120-044-1007
MICHAEL J SPILOTRO JR
1209 N HARLEM AVE 4
OAK PARK, IL 60302

16-06-120-044-1008
ERVA BRUNO
627 N HARVEY #2
OAK PARK, IL 60302

16-06-120-044-1009
DEAN LIVAS
1209 N HARLEM AVE #5
OAK PARK, IL 60302

16-06-120-044-1010
IRENE VONGLUEKIAT
1209 N HARLEM AVE
OAK PARK, IL 60302

16-06-120-045-1001
JOYCE M PARKER
1205 N HARLEM AV #1
OAK PARK, IL 60302

16-06-120-045-1002
PARKWAY B T CO
4800 N HARLEM AV
HARWOOD HTS, IL 60706

16-06-120-045-1003
ELIZABETH LOPEZ
1205 N HARLEM AV #3
OAK PARK, IL 60302

16-06-120-045-1004
TOMASZ MOROZ
1205 N HARLEM AVE #4
OAK PARK, IL 60302

16-06-120-045-1005
MIHAELA PANTIRU
1205 N HARLEM AVE#5
OAK PARK, IL 60302

16-06-120-045-1006
S POTTS
1205 N HARLEM #6
OAK PARK, IL 60302

16-06-120-045-1007
ALYSSA KATTIYAMAN
1014 HIGHRIDGE RD
LOMBARD, IL 60148

16-06-120-045-1008
IULIAN C BREZEANU
1205 N HARLEM AVE #8
OAK PARK, IL 60302

16-06-120-045-1009
AGING DISABILTY
203 COSMAN RD
ELK GRV VLG, IL 60007

16-06-120-045-1010
TAXPAYER OF
1205 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-001-0000
ALDO LLC
10 S LA SALLE ST 2750
CHICAGO, IL 60603

16-06-300-008-0000
LILA PANTOS
1117 N HARLEM
OAK PARK, IL 60302

16-06-300-036-0000
JULIE A RANALLI
1125 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-037-0000
MYRNA E MEJIA
1125B N HARLEM AVE
OAK PARK, IL 60302

16-06-300-038-0000
LEWIS DAVIS NORTON
625 W HAIL ST
BUSINESS, IL 61422

16-06-300-039-0000
LILLIAN M HIDALGO
1837 N 74TH COURT
ELMWOOD PARK, IL 60707

16-06-300-040-0000
ANGELICA C C LAU
1125 N HARLEM AV E
OAK PARK, IL 60302

16-06-300-041-0000
T GAVLIN
1125 N HARLEM F
OAK PARK, IL 60302

16-06-300-042-0000
JACQUELINE NAPIER
1121A N HARLEM AV
OAK PARK, IL 60302

16-06-300-043-0000
NWOKO EBIRIM CHIMATARA
1121 N HARLEM AV B
OAK PARK, IL 60302

16-06-300-044-0000
ANNETTE MILEY
1121 N HARLEM AV
OAK PARK, IL 60302

16-06-300-045-0000
LILIAN LAU
1121 N HARLEM AV D
OAK PARK, IL 60302

16-06-300-046-0000
VIKRAM CHOPRA
1121 N HARLEM AVE#E
OAK PARK, IL 60302

16-06-300-047-0000
BETTE J WILSON
1121 N HARLEM F
OAK PARK, IL 60302

16-06-300-048-0000
ALDO LLC
10 S LA SALLE ST 2750
CHICAGO, IL 60603

16-06-300-049-1001
MARY LOU CIVIDINO
1120 W THOMAS ST 101
OAK PARK, IL 60302

16-06-300-049-1002
STEPHEN B FORWARD
1120 W THOMAS 102
OAK PARK, IL 60302

16-06-300-049-1003
SUJAY SHARMA
PO BOX 4381
HOUSTON, TX 77210

16-06-300-049-1004
JOHN P WARD
1120 W THOMAS 104
OAK PARK, IL 60302

16-06-300-049-1005
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1006
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1007
BEVERLY J MYERS
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1008
JERRY JU
1120 W THOMAS 203
OAKPARK, IL 60302

16-06-300-049-1009
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1010
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1011
ROSELYN M GIESCHEN
1120 THOMAS 301
OAK PARK, IL 60302

16-06-300-049-1012
CJ MA BUCK
1120 THOMAS ST #302
OAK PARK, IL 60302

16-06-300-049-1013
SHEILA R TRAINOR
1120 W THOMAS ST #303
OAK PARK, IL 60302

16-06-300-049-1014
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-049-1015
HARSHAL PALAK JANI
1120 THOMAS #305
OAK PARK, IL 60302

16-06-300-049-1016
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1017
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1018
SUJAY SHARMA
PO BOX 4381
HOUSTON, TX 77210

16-06-300-049-1019
SHEILA R TRAINOR
1120 W THOMAS ST #303
OAK PARK, IL 60302

16-06-300-049-1020
STEPH BEVRLY FORWARD
1120 W THOMAS #102
OAK PARK, IL 60302

16-06-300-049-1021
KONSTANTIN SHATALIN
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1022
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1023
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1024
KONSTANTIN SHATALIN
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1025
JOHN P WARD
1120 W THOMAS 104
OAK PARK, IL 60302

16-06-300-049-1026
CJ MA BUCK
1120 THOMAS ST#302
OAK PARK, IL 60302

16-06-300-049-1027
CJ MA BUCK
1120 THOMAS ST #302
OAK PARK, IL 60302

16-06-300-049-1028
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1029
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1030
STEPHEN B FORWARD
1120 W THOMAS #102
OAK PARK, IL 60302

16-06-300-049-1031
JERRY WU
1120 W THOMAS 203
OAK PARK, IL 60302

16-06-300-049-1032
JERRY JU
1120 W THOMAS 203
OAKPARK, IL 60302

16-06-300-049-1033
HARSHAI PALAK JANI
1120 THOMAS #305
OAK PARK, IL 60302

16-06-300-049-1034
MARY LOU CIVIDINO
1120 W THOMAS ST 101
OAK PARK, IL 60302

16-06-300-049-1035
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-049-1036
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1037
ROSELYN M GIESCHEN
1120 THOMAS 301
OAK PARK, IL 60302

16-06-300-049-1038
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1039
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-050-1001
TAXPAYER OF
P O BOX 814
OAK PARK, IL 60303

16-06-300-050-1002
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1003
LEVY PALACIO
1115 N HARLEM #1B
OAK PARK, IL 60302

16-06-300-050-1004
COLBY V BURNETT
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1005
ZUZANA BALCIUNAS
1115 N HARLEM 1C
OAK PARK, IL 60302

16-06-300-050-1006
ELVIN ESTRELLITA RAM
10335 KENT ST
WESTCHESTER, IL 60154

16-06-300-050-1014
LUIS CARO
1115 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-050-1015
ELVIN ESTRELLITA RAM
10335 KENT ST
WESTCHESTER, IL 60154

16-06-300-050-1016
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1017
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1018
LEVY IY PALACIO
1115 N HARLEM 1B
OAK PARK, IL 60302

16-06-300-050-1019
BALCIUNAS ZUZANA
1115 N HARLEM 1C
OAK PARK, IL 60302

16-06-300-050-1020
COMEQUITY 1115
328 S WISCONSIN AV 1A
OAK PARK, IL 60302

16-06-300-050-1021
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1022
LEVY Y PALACIO
1115 N HARLEM AV 1B
OAK PARK, IL 60302

16-06-300-050-1023
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1024
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1025
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1026
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1027
ZUZANA E BALCIUNAS
1115 B HARLEM AV 1C
OAK PARK, IL 60302

16-06-300-050-1028
LUIS CARO
1115 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-050-1029
LEVY Y PALACIO
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1030
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1031
CURRENT TAXPAYER
1115 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1001
LARRY E MOODY
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1002
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1003
SETTLERS HOUSING SVC
12220 WHITLEY ST
WHITTIER, CA 90601

16-06-300-051-1004
MAAZA BONFANTI
1111 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-051-1005
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1006
NEUMAN S KIAMCO2C
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1014
CURRENT TAXPAYER
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1015
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1016
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1017
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1018
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1019
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1020
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1021
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1022
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

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CTLTC USB 7375
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CHICAGO, IL 60603

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16-06-300-051-1025
CTLTC USB 7375
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CHICAGO, IL 60603

16-06-300-051-1026
CTLTC USB 7375
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CHICAGO, IL 60603

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CTLTC USB 7375
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CHICAGO, IL 60603

16-06-300-051-1028
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1029
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1030
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

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CTLTC USB 7375
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CHICAGO, IL 60603

16-06-300-051-1033
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-307-003-0000
MATHEW THOMPSON
1029 N HARLEM AVE
OAK PARK, IL 60302

16-06-307-004-0000
HONGWU WANG
723 N CUYLER
OAK PARK, IL 60302

16-06-307-006-0000
SERGIO MARTINEZ
1021 N HARLEM AVE
OAK PARK, IL 60302

16-06-307-007-0000
NICHAYETTE VIL
25W271 OLDHAM RD
NAPERVILLE, IL 60563

16-06-307-008-0000
LARRY AYERS
PO BOX 5571
RIVER FOREST, IL 60305

16-06-307-029-0000
1031 N HARLEM INC
P O BOX 87
RIVER GROVE, IL 60171

16-06-307-034-1001
CURTISSA WARE
1037 N HARLEM AVE 15A
OAK PARK, IL 60302

16-06-307-034-1002
M FAIR
1037 N HARLEM
OAK PARK, IL 60302

16-06-307-034-1003
MARGARET HARRIS
1037 N HARLEM AV 3SA
OAK PARK, IL 60302

16-06-307-034-1004
RENATO GRAZIANO
1037 N HARLEM APT 1SB
OAK PARK, IL 60302

16-06-307-034-1005
SUNDAY WEGNER
1037 N HARLEM AV 25B
OAK PARK, IL 60302

16-06-307-034-1006
JOHN LITTLE
1037 N HARLEM AVE 3SB
OAK PARK, IL 60302

16-06-307-034-1007
ALLISON YUMLU
1125 PARK AVE
RIVER FOREST, IL 60305

16-06-307-034-1008
JOSEPH R IRONS
1039 N HARLEM AV 2S
OAK PARK, IL 60302

16-06-307-034-1009
LILLIAN E VAIL
1039 N HARLEM AV 3C
OAK PARK, IL 60302

16-06-307-034-1010
CHRISTIAN JAPLIT
1039 N HARLEM AVE 1D
OAK PARK, IL 60302

16-06-307-034-1011
PALMINA TROMBETTA
1039 N HARLEM 2SD
OAK PARK, IL 60302

16-06-307-034-1012
CANDACE F DEMARIO
1039 N HARLEM AV 3D
OAK PARK, IL 60302

16-06-307-034-1013
LAVERNE WISDOM
1045 N HARLEM AV
OAK PARK, IL 60302

16-06-307-034-1014
WILLIAM R COURTRIGHT
1045 N HARLEM AV 2NC
OAK PARK, IL 60302

16-06-307-034-1015
CHARLES M LAKE
1045 N HARLEM AVE 3NC
OAK PARK, IL 60302

16-06-307-034-1016
DAVID C CASO
1047 N HARLEM 1NB
OAK PARK, IL 60302

16-06-307-034-1017
RICHARD F MUNDT
1047 N HARLEM AV 2NB
OAK PARK, IL 60302

16-06-307-034-1018
ENEA LAKO
1047 N HARLEM AVE 3NB
OAK PARK, IL 60302

16-06-307-034-1019
ROGER STRAW
352 PERSIMMON DR
FRONT ROYAL, VA 22630

16-06-307-034-1020
LAWRENCE H MC DONALD
1047 N HARLEM #2NA
OAK PARK, IL 60302

16-06-307-034-1021
CLIDIE YOKELY
1047 N HARLEM AV 3NA
OAK PARK, IL 60302

16-06-307-034-1022
LILLIAN E VAIL
1039 N HARLEM AV 3C
OAK PARK, IL 60302

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CLIDIE YOKELY
1047 N HARLEM AV 3NA
OAK PARK, IL 60302

16-06-307-034-1024
ROGER STRAW
352 PERSIMMON RD
FRONT ROYAL, VA 22630

16-06-307-034-1025
RENATO A GRAZIANO
1037 N HARLEM AV
OAK PARK, IL 60302

16-06-307-034-1026
CHARLES M LAKE
1045 N HARLEM AVE 3NC
OAK PARK, IL 60302

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LAVERNE WISDOM
1045 N HARLEM AV 1NC
OAK PARK, IL 60302

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WILLIAM R COURTRIGHT
1045 N HARLEM AV 2NC
OAK PARK, IL 60302

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PALMINA V TROMBETTA
1039 N HARLEM 2SD
OAK PARK, IL 60302

16-06-307-034-1030
ENEA LAKO
1047 N HARLEM AVE 3NB
OAK PARK, IL 60302

16-06-307-034-1031
MARGARET HARRIS
1037 N HARLEM AV 3SA
OAK PARK, IL 60302

16-06-307-034-1032
CANDACE DEMARIO BUTERA
1022 N KENILWORTH
OAK PARK, IL 60302

16-06-307-034-1033
CHRISTIAN JAPLIT
1039 N HARLEM AVE 1D
OAK PARK, IL 60302

16-06-307-035-0000
ROBERT MILSTEIN
1011 N HARLEM A
OAK PARK, IL 60302

16-06-307-036-0000
MICHAEL RUTKOWSKI
935 W CHESTNUT ST 201
CHICAGO, IL 60642

16-06-307-037-0000
ALEJANDRO BELOZ
1011-C N HARLEM
OAK PARK, IL 60302

16-06-307-038-0000
THERESA JACK
1013 N HARLEM A
OAK PARK, IL 60302

16-06-307-039-0000
PATRICIA POSKITT
1013 N HARLEM AV B
OAK PARK, IL 60302

16-06-307-040-0000
ANTOINETTE ZACCAGNINO
1013 N HARLEM AVE #C
OAK PARK, IL 60302

16-06-307-041-0000
LEIGH ANN TAILLIE
1007 N HARLEM AV #A
OAK PARK, IL 60302

16-06-307-042-0000
JOEMAR LLC
1007 FRANKLIN
RIVER FOREST, IL 60305

16-06-307-043-0000
SCYLA MURRAY
1007 N HARLEM AV C
OAK PARK, IL 60302

16-06-307-044-0000
GLORIA J WOODEN
1009 N HARLEM AVE #A
OAK PARK, IL 60302

16-06-307-045-0000
MONNETTE M BARIEL
1009 N HARLEM
OAK PARK, IL 60302

16-06-307-046-0000
RICHARD MASON
1009C N HARLEM AVE
OAK PARK, IL 60302

16-06-307-047-1001
GUSSIE PETTIS
1001 N HARLEM AV A
OAK PARK, IL 60302

16-06-307-047-1002
ALLISON YUMLU
1125 PARK AVE
RIVER FOREST, IL 60305

16-06-307-047-1003
LINDA LEE
1001-C N HARLEM AVE
OAK PARK, IL 60302

16-06-307-047-1004
NANCY ALLEGRETTI
1001 N HARLEM AV D
OAK PARK, IL 60302

16-06-307-047-1005
MARY GOGGIN
251 CONCORD DR
MELROSE PARK, IL 60160

16-06-307-047-1006
GINO J PISANI
8119 W LAKE ST
RIVER FOREST, IL 60305

16-06-307-047-1007
GINO J PISANI
8119 W LAKE ST
RIVER FOREST, IL 60305

16-06-307-047-1008
DEBBIE R WILLIAMS
1005 N HARLEM AV B
OAK PARK, IL 60302

16-06-307-047-1009
JULIE ANNE CARRAMUSA S
39 W WRIGHTWOOD AVENUE
GLENDALE HTS, IL 60139

16-06-307-047-1010
RACHEL M HERMAN 8633
221 N KENILWORTH
OAK PARK, IL 60302

16-06-307-047-1011
BARRY BLATTBERG
1005 N HARLEW #D
OAK PARK, IL 60302

16-06-307-047-1012
M SEXTON
503 E NORTH ST
ITASCA, IL 60143

16-06-307-048-1001
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1002
PACIANO EBARUIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1003
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

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PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

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PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

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PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-314-003-0000
JOSH RACHEL DENNIS
1129 AUGUSTA
OAK PARK, IL 60302

16-06-314-008-0000
JOHN RAMM
1140 MILLER
OAK PARK, IL 60302

16-06-314-009-0000
DELIA MEENAGHAN
325 SHARON LN
NO AURORA, IL 60542

16-06-314-010-0000
HAMEL SEFFERMAN
1132 MILLER
OAK PARK, IL 60302

16-06-314-011-0000
ERIC ROHMANN
1130 MILLER AVE
OAK PARK, IL 60302

16-06-314-022-0000
ZYLA PROPERTIES LLC
47 W DIVISION ST 395
CHICAGO, IL 60610

16-06-314-023-0000
ZYLA PROPERTIES LLC
47 W DIVISION ST #395
CHICAGO, IL 60610

16-06-315-001-0000
DONALD LAMKEN
1139 W MILLER
OAK PARK, IL 60302

16-06-315-002-0000
KENNETH L HUNTER
1135 W MILLER
OAK PARK, IL 60302

16-06-315-003-0000
STEPHEN D ABTAHI
1131 MILLER AVE
OAK PARK, IL 60302

16-06-315-004-0000
TERESA ERIC WRIGHT
1129 MILLER AVE
OAK PARK, IL 60302

16-06-315-021-0000
ROVAGNATI TEMPORITI
1154 SCHNEIDER AVE
OAK PK, IL 60302

16-06-315-022-0000
TAXPAYER OF
1150 SCHNEIDER AV
OAK PARK, IL 60302

16-06-315-023-0000
TAPARIA GOYAL
1146 SCHNEIDER AVE
OAK PK, IL 60302

16-06-315-024-0000
IRENE M IVANOVA
1142 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-025-0000
DOUGLAS LINDA BELPEDIO
1005 N LINDEN AVE
OAK PARK, IL 60302

16-06-315-028-0000
ECKHARDT
1152 SCHNIEDER
OAK PARK, IL 60302

16-06-315-029-0000
CHANAS J ADAMS T
1148 SCHNEIDER AV
OAK PARK, IL 60302

16-06-315-030-0000
D SCULLY
1144 SCHNEIDER
OAK PARK, IL 60302

16-06-315-031-0000
W HUANG
1140 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-032-0000
M CHESEBRO
1134 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-035-0000
VICTORIAN SQUARE
41 CHICAGOAV
OAK PARK, IL 60302

16-06-316-026-0000
R C JEWELL
1844 N NORDICA
CHICAGO, IL 60707

16-06-316-030-1001
FRANK ALEXANDER
1135 SCHNEIDER AV
OAK PARK, IL 60302

16-06-316-030-1002
GREG MORRISEY
1135 SCHNEIDER 3A
OAK PARK, IL 60302

16-06-316-030-1003
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

16-06-316-030-1004
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

16-06-316-030-1005
SEBASTIAN BLICHARZ
1135 SCHNEIDER AVE #3B
OAK PARK, IL 60302

16-06-316-030-1006
MELANIE RAK
1135 SCHNEIDER B4
OAK PARK, IL 60302

16-06-316-030-1007
JIHWAN KIM
1135 SCHNEIDER
OAK PARK, IL 60302

16-06-316-030-1008
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

16-06-316-030-1009
CAROL S PERLEE
1135 SCHNEIDER C4
OAK PARK, IL 60302

16-06-316-030-1010
JOHN ROBEL
1135 SCHNEIDER #3D
OAK PARK, IL 60302

16-06-316-030-1011
FRANK ALEXANDER
1135 SCHNEIDER 2A
OAK PARK, IL 60302

16-06-316-030-1012
MELANIE RAK
1135 SCHNEIDER B4
OAK PARK, IL 60302

16-06-316-030-1013
JIHWAN KIM
1135 SCHNEIDER
OAK PARK, IL 60302

16-06-316-030-1014
JOHN ROBEL
1135 SCHNEIDER 3D
OAK PARK, IL 60302

16-06-316-030-1015
MORRISEY
1135 SCHNEIDER AV #3A
OAK PARK, IL 60302

16-06-316-030-1016
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

16-06-316-030-1017
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

16-06-316-030-1018
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

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SEBASTIAN BLICHARZ
1135 SCHNEIDER AVE #3B
OAK PARK, IL 60302

16-06-316-030-1020
CAROL PERLEE
1135 SCHNEIDER 4C
OAK PARK, IL 60302

16-06-316-030-1021
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

16-06-316-030-1022
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

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JOHN ROBEL
1135 SCHNEIDER #3D
OAK PARK, IL 60302

16-06-316-030-1024
GREG MORRISEY
1135 SCHNEIDER 3A
OAK PARK, IL 60302

16-06-316-030-1025
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

CONCORDIA
UNIVERSITY
CHICAGO
1864

7400 Augusta Street
River Forest
Illinois 60305-1499
708-771-8300
fax 708-209-3176
www.CUChicago.edu

Certificate of Mailing Notice of Village Board Meeting

I, GLEN STEINER, Assistant Vice President for Administration at Concordia University Chicago, certify that I caused the attached **Notice of Neighbor Meeting** to be mailed to 663 property owners on the list provided to Village staff by causing the letters to be deposited postage paid, first class mail, in the mail box at the Oak Park postal substation at Concordia University, 7400 Augusta, River Forest, Illinois 60305, before the hour of four o'clock p.m. on February 24, 2017.

I further certify that the list of property owners is the same as the one previously prepared by Property Insight, and previously submitted to Village staff

.

Dated: February 24, 2017

Glen Steiner
Assistant Vice President, Administration
Concordia University Chicago

XX. Written Request for Waivers

The University anticipates an approximate ten foot increase in height at the new enclosure located at the southeast corner of the parking garage. This overall height is approximately 54 feet. The overall height of the existing stealth enclosures at the southwest corner and the northwest corner of the parking garage is 65 feet-two inches. The parapet height of Concordia Hall, which is directly south of the proposed enclosure, is 58 feet. We are requesting approval for the new stealth enclosure to be constructed at approximately 54 feet.

Concordia requested and the Development Review Board approved on April 6, 2017, the following waivers from the application process: a detailed site plan showing neighboring structures; detailed plans showing lot area, required yards and setbacks, common space and location, lot area coverage and parking and loading spaces as these do not apply to this application; detailed floor plans, uses of the area and floor area; a landscape plan; traffic study; and, an environmental impact study.

On February 15, 2018 Concordia returned to the Development Review Board to illustrate why this project and application were delayed, to review a new proposed installation configuration, and to request that the traffic study waiver remain in place. At this meeting the Development Review Board approved leaving the waiver for the traffic study in place.

As pointed out previously in this Application, the University believes this proposed Amendment meets the Standards for Review set out in Section 10-19-3 of the Village Code (see Sec. V.).

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XXI. Fee for Village

Concordia University Chicago stands ready to make any deposits deemed necessary as notified by the Village of River Forest.

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Village of River Forest
Village Administrator's Office
400 Park Avenue
River Forest, IL 60305
Tel: 708-366-8500

MEMORANDUM

Date: June 8, 2018

To: Development Review Board

From: Lisa Scheiner, Assistant Village Administrator

Subj: Concordia University Chicago Planned Development Amendment – West Annex/Christopher Center Link

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The Development Review Board (DRB) is scheduled to hold a public hearing on Thursday, June 21, 2018 at 7:30 p.m.

By way of background, the Concordia University Chicago (CUC) campus operates under a planned development permit that has been amended from time to time. CUC proposes to replace an existing uncovered walkway between the West Annex building and the Christopher Center with an enclosed walkway. This enclosed walkway meets the definition of a "building" under Section 10-3-1 of the Zoning Ordinance. Section 10-16-3 of the Zoning Ordinance states that no new construction or expansion of any building is permitted in a PRI except as approved as a planned development. Further, Section 10-19-8(A) of the River Forest Zoning Ordinances states that a change to an existing planned development is not minor if it increases the footprint of a building. Therefore, this change constitutes a major amendment to the existing planned development.

In accordance with the Planned Development process articulated in the Municipal Code, the following have occurred:

Task	*Date*
Pre-Filing Conference with the DRB	
Notice of Neighbor Meeting Mailed	n/a
Neighbor Meeting Held	Waived
Technical Review Meeting with Staff	5/3/18
Notice of Public Hearing Mailed	5/23/18
Public Hearing Signage Posted at Site	6/5/18
Legal Notice in Wednesday Journal	6/5/18

Village Staff & Consultant Reviews

The Village's Police, Public Works and Fire Departments have reviewed the Planned Development application. A memorandum from each department is attached. Also attached is a review by the Village's Planning Consultant, John Houseal of Houseal Lavigne.

Standards of Review

There are 15 standards of review for the DRB to consider in reviewing the proposed project. The standards are listed in Section 10-9-3 of the Planned Development Ordinance, which is attached for the Board's reference.

Next Steps

The DRB shall make specific written findings of fact addressing each of the planned development standards of review. Following a vote by the DRB, the application will be presented to the Village Board according to the following *tentative* schedule:

Task	*Date*
DRB Meeting – Findings of Fact	6/21/18
Notice of Village Board Meeting Mailed	7/2/18
Village Board Review	7/9/18

Documents Attached

1. Memorandum from Houseal Lavigne
2. Memorandum from Police Chief James O'Shea
3. Memorandum from Public Works Director John Anderson
4. Memoranda from Fire Chief Kurt Bohlmann
5. Planned Development Application

Memorandum

To: Lisa Scheiner, Assistant Village Administrator

From: John Houseal, FAICP
Principal

Date June 11, 2018

Re: Planned Development Review
Concordia University – West Annex Link

Houseal Lavigne Associates has conducted a review of the proposed Concordia University pedestrian walkway that will connect the West Annex and the Christopher Center. The proposed walkway is intended to improve pedestrian traffic between these two buildings.

Comprehensive Plan and Zoning

The proposed pedestrian walkway ("link") is consistent with the Comprehensive Plan and zoning. The proposed link between the two buildings will not change the nature or intensity of use of the University. Given its design and location, the link will not be visible from the public rights of way or adjacent properties, with the possible exception of being barely visible from a small area of frontage along Augusta, looking north between buildings during the winter months of the year.

Although no new site development allowances (SDAs) are required to accommodate the proposed pedestrian walkway, it is a modification/addition to the buildings on the campus, and therefore requires Planned Development approval.

The proposed walkway improves pedestrian mobility and circulation on site and does not result in any impacts to traffic or parking.

Conclusion

The proposed link between the West Annex and the Christopher Center will improve conditions on the campus by providing better pedestrian connectivity and an enhanced pedestrian environment. There are no negative impacts from the proposed link, from a planning and zoning perspective.

Village of River Forest

POLICE DEPARTMENT MEMORANDUM

TO: **Lisa Scheiner – Asst. Village Administrator**

FROM: **James O'Shea - Chief of Police**

DATE: **June 12, 2018**

SUBJECT: **Development Application West Annex Renovation – Concordia Univ.**

I have reviewed the Concordia University – West Annex Renovation development application, and do not foresee any concerns from a law enforcement/public safety perspective. During the technical review of the application/plans, we discussed enhanced access to emergency call phones/intercoms and improved security camera coverage as part of a public safety best practices approach.

INCORPORATED 1880
RIVER FOREST
Proud Heritage
Bright Future

MEMORANDUM

DATE: May 30, 2018

TO: Eric Palm, Village Administrator

FROM: John Anderson, Director of Public Works

SUBJECT: Concordia University Planned Development West Annex Link

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After reviewing the Concordia University Planned Development Application, I have determined that the proposed project will have a minimal impact on the Public Works Department and its ability to deliver services to the community.

MEMORANDUM

TO: Lisa Scheiner
Assistant Village Administrator

FROM: Kurt Bohlmann
Fire Chief

DATE: May 29, 2018

SUBJECT: Concordia University West Annex-Christopher Center Link construction project

After a cursory review of the link project between West Annex and Christopher Center proposed for Concordia University, the project will be sufficiently protected with a sprinkler system. The area of refuge on the east end of the link needs to have adequate signage, as was discussed with Concordia officials.

At this time and with the current information provided, I believe this project will not require any substantial changes to the Fire Department's response or ability to protect this structure.

I. Overview

A letter from University President Dr. Daniel Gard follows this page.

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CONCORDIA UNIVERSITY CHICAGO
1864

Office of the President
7400 Augusta Street
River Forest
Illinois 60305-1499
708-209-3003
fax 708-209-3534
www.CUChicago.edu

April 16, 2018

Chairman Frank Martin
Development Review Board
Village of River Forest
400 Park
River Forest, IL 60305

Re: Application for Planned Development
Pedestrian walk way between the West Annex and Christopher Center

Dear Chairman Martin and Members of the Development Review Board:

Concordia University Chicago requests permission to construct a new pedestrian walk way between the West Annex and Christopher Center.

The walk way is designed to allow passage between buildings with protection from the elements. We believe that this installation will be of a great benefit to the Concordia Community because it will improve pedestrian traffic between these two buildings.

We look forward to meeting with the Development Review Board regarding this application.

Respectfully submitted,

The Rev. Daniel L. Gard, Ph.D.
President

II. Names and Addresses of Owners and Applicants

a. Name and Addresses of Owners of Properties

Concordia University Chicago[1]
7400 Augusta Street
River Forest, Illinois 60305-1499

b. The applicant

Concordia University Chicago
7400 Augusta Street
River Forest, Illinois 60305-1499

The rest of this page is intentionally left blank.

[1] Also referred to from time to time simply as “Concordia” or “University.”

III. Statement from Owner

The owner of the property, Concordia University Chicago, is the applicant for the Planned Development.

The rest of this page is intentionally left blank.

IV. Survey, Legal Description, Street Address

Survey

The surveys for Concordia University Chicago, 7400 Augusta, are contained on the page following the legal descriptions. A Plat of Survey for 7400 Augusta Street, dated January 11, 2017, in a scale of 1" to 40', has been submitted to the Village staff for detailed reference. This detailed plat has not been reduced to 11" x 17" format.

The following pages are the legal description for the Concordia campus and a survey of the University campus.

The rest of this page is intentionally left blank.

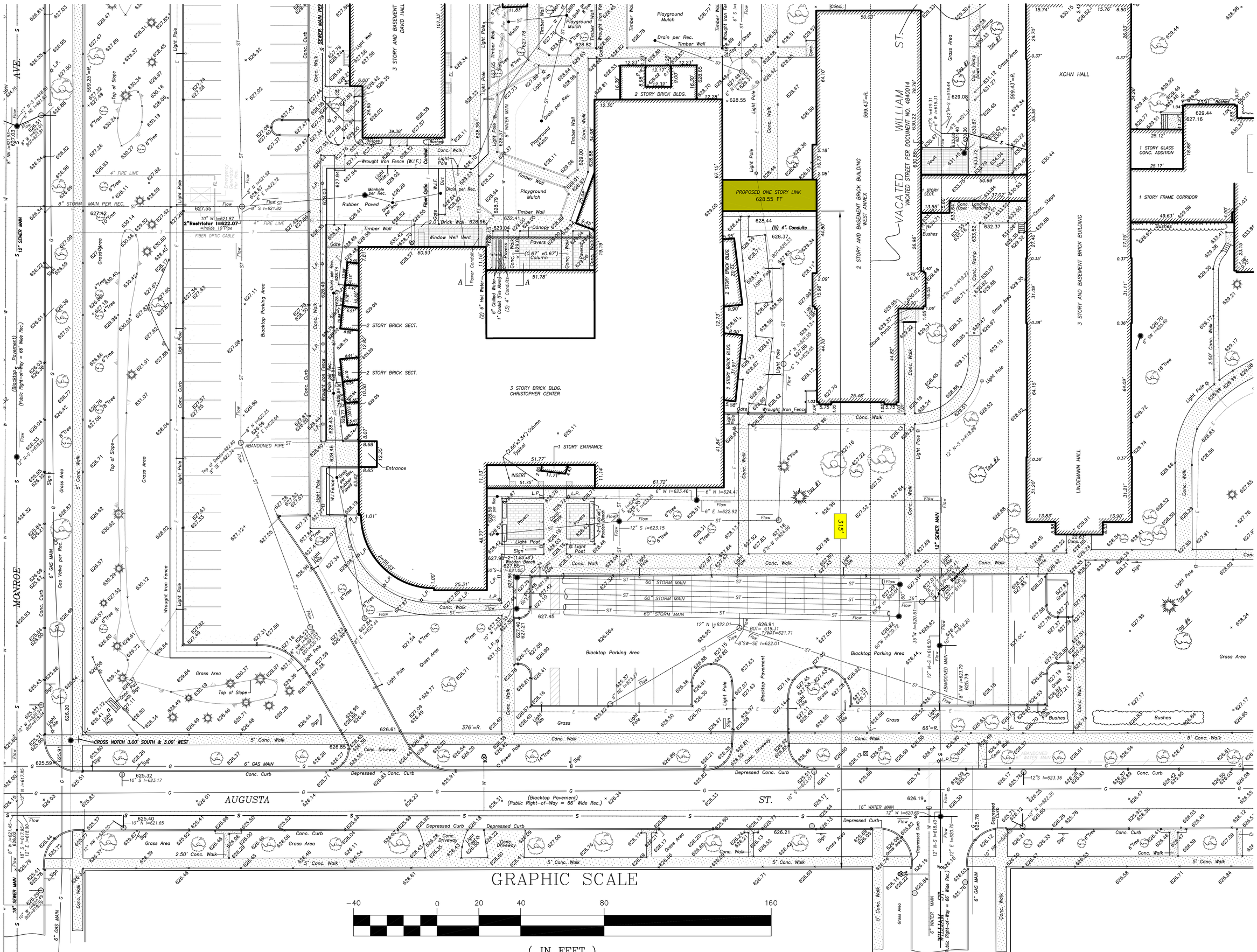
Legal Descriptions and Legal Addresses

7400 Augusta
River Forest, Illinois
[Concordia University Chicago]

BLOCKS 2, 3, 4, 5, 6 AND 7 IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6 AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK COUNTY, ILLINOIS EXCEPTING THEREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESTATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BRAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.


MONROE AVE.
AUGUSTA ST.
WILLIAM ST.
VACATED
VACATED WILLIAM STREET PER DOCUMENT NO. 494014
KOHN HALL
LINDEMANN HALL
3 STORY AND BASEMENT BRICK BUILDING
3 STORY AND BASEMENT DAVID HALL
2 STORY BRICK BLDG.
3 STORY BRICK BLDG. CHRISTOPHER CENTER
2 STORY AND BASEMENT BRICK BUILDING WEST ANNEX
PROPOSED ONE STORY LINK 628.55 FF
1 STORY GLASS CONC. ADDITION
1 STORY FRAME CORRIDOR
Blacktop Parking Area
Playground Mulch
Timber Wall
Brick Wall
Window Well Vent
Canopy
Pavers
Grass Area
Wrought Iron Fence
Conc. Walk
Conc. Curb
Depressed Conc. Curb
Conc. Driveway
Conc. Steps
Conc. Ramp
Stone Porch
Bushes
Light Pole
Light Post
Sign
Top of Slope
Drain per Rec.
Manhole per Rec.
Rubber Paved
Gate
Entrance
1 STORY ENTRANCE
ABANDONED PIPE
CROSS NOTCH 3.00' SOUTH & 3.00' WEST
12" SEWER MAIN
18" SEWER MAIN
6" GAS MAIN
16" WATER MAIN
60" STORM MAIN
8" STORM MAIN PER REC.
4" FIRE LINE
FIBER OPTIC CABLE
(Blacktop Pavement)
(Public Right-of-Way = 66' Wide Rec.)
GRAPHIC SCALE
-40
0
20
40
80
160
(IN FEET)
1 inch = 40 ft.

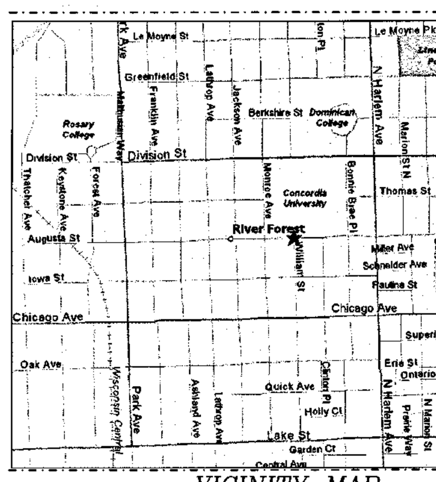
NATIONAL SURVEY SERVICE, INC.

Plat of Topography

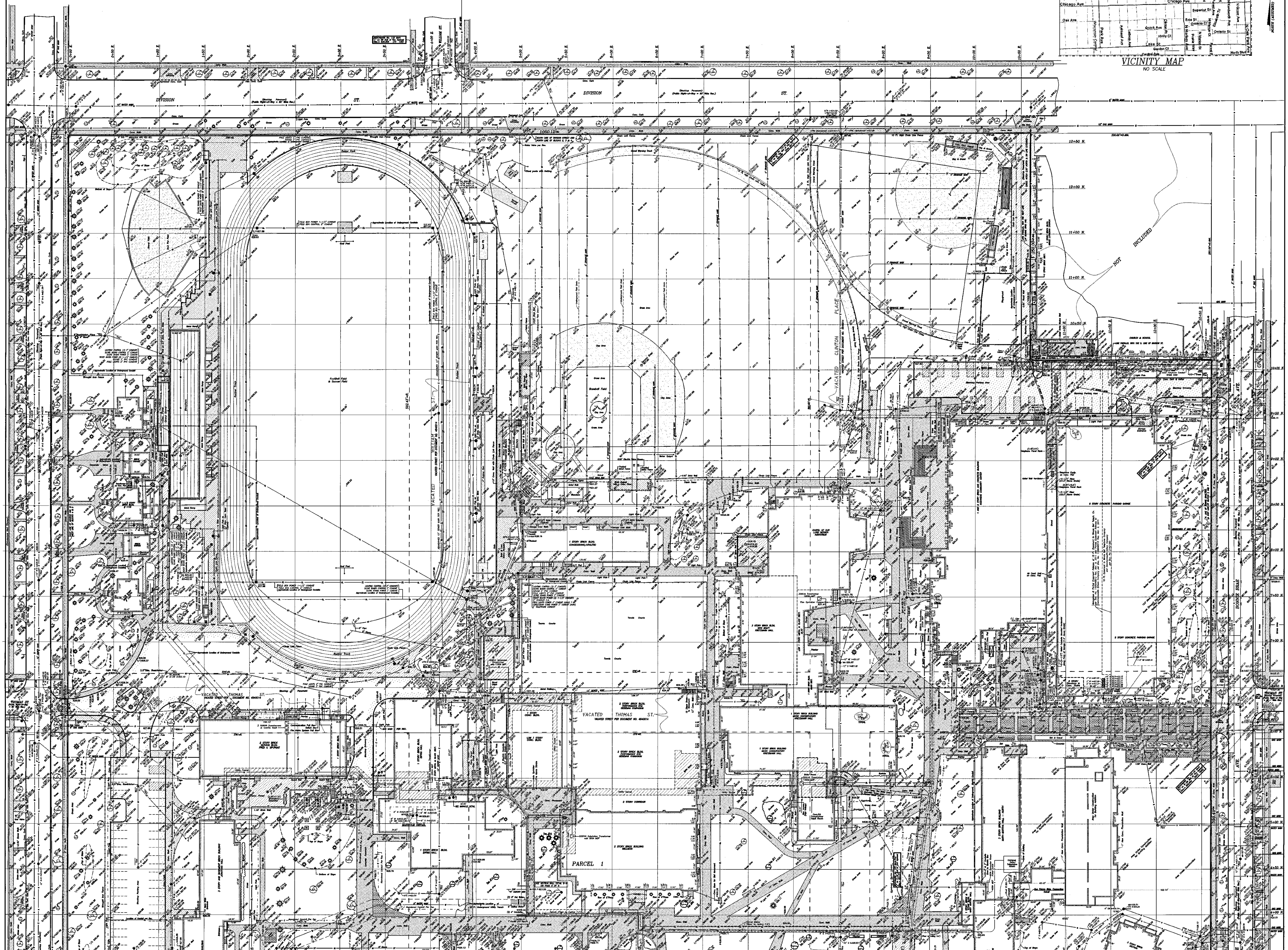
KNOWN AS: 7400 W. AUGUSTA STREET, RIVER FOREST, ILLINOIS.
TOPOGRAPHY FOR: CONCORDIA UNIVERSITY.

SURVEY NO. N-129962 OVERALL TOPOGRAPHY
ADDED BUILDING FOUNDATIONS

DATE: NOV. 22, 2016
JAN. 11, 2017



VICINITY MAP
NO SCALE



LEGEND FOR NEW & EXISTING TREES:
per "Overall Exhibit – Concordia College Landscape Improvements" (Proj. No. 1500 Sheet No. 1)

- *Tag #1 = Serbian Spruce*
- *Tag #2 = Pagoda Dogwood*
- *Tag #3 = Autumn Flame Maple*
- *Tag #4 = Norway Spruce*
- *Tag #5 = Prairiefire Crabapple*
- *Tag #6 = Floribunda Crab*
- *Tag #7 = Armstrong Red Maple*
- *Tag #8 = Bowhall Red Maple*
- *Tag #9 = Frontier Elm*
- *Tag #10 = Swamp White Oak*
- *Tag #11 = Snowdrift Crabapple*
- *Tag #12 = Kentucky Coffee Tree*
- *Tag #13 = Shademaster Honey Locust*
- *Tag #14 = Mission Arborvitae*
- *Tag #15 = Frontier Elm*
- *Tag #16 = Skyline Honey Locust*
- *Tag #17 = Sargent Crab*
- *Tag #18 = Royal Raindrop Crab*
- *Tag #19 = Amur Maple*
- *Tag #20 = Zumi Crabapple*
- *Tag #21 = Japanese Lilac Tree*
- *Tag #22 = Eastern Redbud*
- *Tag #23 = Shagbark Hickory*

IMPORTANT

NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE PLAT.

DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF. THUS: 4.57' MEANS 4 FEET AND $\frac{57}{100}$ FEET, OR IN FEET AND INCHES, THUS: 4'–6 $\frac{13}{16}$"

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT REFER TO YOUR ABSTRACT DEED CONTRACT AND LOCAL BUILDING LINE REGULATIONS. WE RECOMMEND THAT THE MOST RESTRICTIVE LINES BE USED IN PLACEMENT OF BUILDING.

CONTRACTORS AND BUILDERS SHOULD BE NOTIFIED TO CAREFULLY TEST AND COMPARE ON THE GROUND THE POINTS, MEASUREMENTS, ETC. AS NOTED ON THIS PLAT WITH THE STAKES, POINTS, ETC. GIVEN ON THE PROPERTY BEFORE BUILDING ON THE SAME, AND AT ONCE REPORT ANY SEEMING OR APPARENT DIFFERENCE BETWEEN THE SAME TO THE SURVEYORS SO THAT THE MISUNDERSTANDING OR DISPLACEMENT OF POINTS MAY BE CORRECTED BEFORE DAMAGE IS DONE.

UTILITY DATA OTHER THAN PHYSICAL EVIDENCE VISIBLE ON THE GROUND IS SHOWN AS PER RECORDS OBTAINED FROM PRIVATE AND PUBLIC SOURCES AS INDICATED AND SHOULD BE ASSUMED TO BE APPROXIMATE.

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HATCHING LEGEND

REVISED UNDERGROUND UTILITY TUNNEL

NOTE:
ELEVATIONS ARE SHOWN IN RELATION TO BENCH MARK FROM OAK PARK TOWNSHIP (T–39–N AND R–13–E) COOK COUNTY HIGHWAY DEPARTMENT NO. 160701
ELEV. = 629.518 (N.G.S DATUM)
BENCH MARK LOCATED NEAR NORTHWEST CORNER OF SECTION 7, SOUTHEAST CORNER MAPLE AND SUPERIOR STREETS.
A STANDARD COUNTY DISK SET IN CONCRETE MONUMENT. 34.40 FT. EAST OF CENTERLINE OF MAPLE AVE. AND 20.85 FT. SOUTH OF CENTER-LINE OF SUPERIOR ST., 17.75 FT. NORTHWEST OF NORTHWEST CORNER OF BUILDING NO. 328 MAPLE AVE.
ELEVATIONS ARE SHOWN THUS: X 628.11

USE EXTREME CAUTION NEAR COM.ED. FACILITIES. HAND DIG WHILE CROSSING 69/138/345 KV TRANSMISSION LINE. COM.ED. TRANSMISSION SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF WORK. TO SCHEDULE AN ONSITE INSPECTOR DURING CONSTRUCTION, CONTACT
LESLIE PASCHAL AT 630–437–4767

NOTE:
FOR LEGAL DESCRIPTIONS, TIES, FLOOD CERTIFICATION AND ALTA CERTIFICATE REFER TO PROJECT NO. N–129786 ALTA SURVEY.

GRAPHIC SCALE

-40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

LEGEND:
- B = BOTTOM OF MANHOLE
- B.B. = BUFFALO BOX
- B/C = BACK OF CURB
- B.P. = BUMPER POST
- B/S = BOTTOM OF SLOPE
- C = CURB
- C.BOX = CONTROL BOX
- C.E.MH. = CITY ELEC. MANHOLE
- CL = CENTER LINE
- CL/D = CENTER LINE OF DITCH
- C.O. = CLEAN OUT
- C.P. = CONCRETE PAD
- D.S. = DOWN SPOUT
- E.M. = ELECTRIC MARKING FROM JULIE
- E/M = EDGE OF MEDIAN
- E/P = EDGE OF PAVEMENT
- EL = ELEVATION
- EL. MH = ELECTRIC MANHOLE
- F/B = FACE OF BUILDING
- F/C = FACE OF CURB
- F/F = FACE OF FENCE
- F/W = FACE OF WALL
- F.F. = FINISHED FLOOR
- F.H. = FIRE HYDRANT
- G = GUTTER
- G.M. = GAS MARKING FROM JULIE
- G.MH. = GAS MANHOLE
- G.P. = GAS PUMP
- G.V. = GAS VALVE
- I = INVERT OF PIPE
- I.P. = INTAKE PUMP
- H.H. = HAND HOLE
- I/CUL = INVERT OF CULVERT
- I.G.R. = IRON GUARD RAIL
- INL. = INLET
- L.P. = LIGHT PEDESTAL
- M.B. = MAIL BOX
- MH = MANHOLE
- M.W. = MONITORING WELL
- P = PAVEMENT
- R = RESTRICTOR
- RCP = REINFORCED CONCRETE PIPE
- SAN.MH = SANITARY MANHOLE
- S.BOX = SWITCH BOX
- S.MH = SEWER MANHOLE
- S.P. = STANDPIPE
- T.MH = TELEPHONE MANHOLE
- T/CUL = TOP OF CULVERT
- T/D = TOP OF DEBRIS
- T.M. = TELEPHONE MARKING FROM JULIE
- T/P = TOP OF PIPE
- TR/P = TRAP PIPE
- T/S = TOP OF SLOPE
- T/W = TOP OF WALL
- T/WAT = TOP OF WATER
- TEL.P. = TELEPHONE PEDESTAL
- TRANS. = TRANSFORMER
- T.S. =TRAFFIC SIGNAL
- T.SIG. MH =TRAFFIC SIGNAL MANHOLE
- U.P. = UTILITY POLE
- U.T.O. = UNABLE TO OPEN
- VLT = VAULT
- V T/P = VERTICAL TOP OF PIPE
- W = WALK
- W.I.F. = WROUGHT IRON FENCE
- W.M. = WATER MARKING FROM JULIE
- W MH = WATER MANHOLE
- WF = WATER FILLED
- W.S. = WATER SPIGOT

UNDERGROUND CAMPUS ELECTRIC CONDUIT = —— EL —— EL —— EL —— EL ——
COMCAST CABLE TV CABLES = —— CTV —— CTV ——
COMMONWEALTH EDISON CO. UNDERGROUND ELECTRIC CONDUIT = —— E —— E —— E ——
FIRE ALARM = —— FA —— FA —— FA ——
FIRE LINE = —— FL —— FL —— FL ——
GAS MAIN = —— G —— G —— G ——
IRRIGATION PVC PIPE = —— IRR —— IRR —— IRR ——
AT&T, MCI, SBC UNDERGROUND TELEPHONE CONDUIT = —— T —— T —— T —— T ——
OVERHEAD WIRES = — · — · — · — · —
SANITARY MAIN = —— SAN —— SAN —— SAN ——
SEWER MAIN = —— S —— S —— S ——
STORM MAIN = —— ST —— ST —— ST ——
WATER MAIN = —— W —— W —— W ——

WARNING

UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS, AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND ITEMS. RECORD INFORMATION IS BASED UPON DATA COLLECTED FROM BOTH PUBLIC AND PRIVATE SOURCES. THE COMPLETENESS AND/OR ACCURACY OF THESE RECORDS CANNOT BE GUARANTEED, EXCEPT INSOFAR AS THEY CAN BE VERIFIED BY FIELD MEASUREMENT. PRIOR TO ANY EXCAVATION CONTACT "J.U.L.I.E." AT 1–800–892–0123, JOINT UTILITY LOCATING INFORMATION EXCAVATORS.

ABBREVIATION LEGEND:
- *BLDG. = BUILDING*
- *CONC. = CONCRETE*
- *COR. = CORNER*
- *D = DEED*
- *DOC. NO. = DOCUMENT NUMBER*
- *M (MEAS) = MEASURED*
- *P.O.B. = POINT OF BEGINNING*
- *P.O.C. = POINT OF COMMENCING*
- *R = Rec. = RECORD*
- *SECT. = SECTION*
- *NE = NORTHEAST*
- *NW = NORTHWEST*
- *SE = SOUTHEAST*
- *SW = SOUTHWEST*
- *E = EAST*
- *N = NORTH*
- *S = SOUTH*
- *W = WEST*

JOSEPH A. LIMA 3080 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS CHICAGO, IL.
MY LICENSE EXPIRES 11/30/2018

ADDED BUILDING FOUNDATIONS JAN. 11, 2017
SURVEY NO. N–129962 OVERALL TOPOGRAPHY DATE: NOV. 22, 2016

State of Illinois, County of Cook, } ss.

We Hereby Certify *that the measurements shown hereon are based upon actual field survey and that the above plat is a true representation of said topography. Dimensions are corrected to a temperature of 62° Fahrenheit. This professional service conforms to the current Illinois minimum standards for topographic surveys.*

NATIONAL SURVEY SERVICE, INC.
PROFESSIONAL LAND SURVEYORS
30 S. MICHIGAN AVENUE, SUITE 200
CHICAGO, ILLINOIS 60603
WWW.NATIONALSURVEYSERVICE.COM
TEL: 312–630–9480 FAX: 312–630–9484

BY [signature]
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3080
jlima@nationalsurveyservice.com
DRAWN BY S.M.

PROTECTION

CIVIL 3D PROJECTS 2016\N129962\9962–Topo–Overall 40 Scale.DWG CD–34

V. Statement Indicating Compliance

Ordinance Requirements

Various provisions of the Village of River Forest Zoning Ordinance[2] require a Planned Development applicant to demonstrate how the proposed development complies with the Village's planning goals, standards and objectives. Section 10-19-6.B.4 requires that the applicant submit:

> …a statement indicating compliance of the proposed development to the comprehensive plan; and evidence of the proposed project's compliance in specific detail with each of the standards and objectives of this section.

In addition, Section 10-19-4.A provides that site development allowances may be approved:

> …provided the applicant specifically identifies each such site development allowance and demonstrates how each such site development allowance would be compatible with surrounding development and is in furtherance of the stated objectives of this section.

The "objectives" of the planned development Section of the Zoning Ordinance are set forth at Section 10-19-1.E. The "standards" are set forth at Section 10-19-3. Concordia addresses below the goals of the Comprehensive Plan,[3] as well as these standards and objectives.

The application seeks approval to construct an enclosed pedestrian walkway between the West Annex and the Christopher Center. The location of this Enclosed walkway is interior to the campus and will be screened from the view of the neighbors by existing, and to be retained, landscaping.

Concordia University's Proposed Change to the Planned Development is Consistent with the Relevant Goals and Objectives of the Village's Comprehensive Plan

This proposed enclosed pedestrian walkway should not impact the neighborhood. The location is interior to the campus and is, and will be, screened from street view by existing landscaping,

In particular, Concordia's proposal meets three of the specific goals set forth in Section 2 of the Comprehensive Plan:

---

[2] Village Code, River Forest, Illinois, Title 10 (as amended).

[3] Comprehensive Plan, Village of River Forest (November 2003), Section 4 Community Facilities, "Concordia University" and "Dominican University," page 28.

Goal 2: *Achieve a balanced pattern of development in the community that provides for well designed, compatible and economically sustainable residential, commercial, and public areas of the Village.*
The rationale for this goal notes a high level of consensus to improve appropriate sites in a manner which meets recreational and lifestyle needs of Village residents.

Concordia's proposal satisfies this goal because the enclosed pedestrian walkway is interior to the campus and will be screened from view from the street or neighboring residences and by existing landscaping that will be retained.

Goal 3: *Protect and enhance the residential neighborhoods, trees, parks and open spaces, and community and institutional facilities as key amenities that contribute greatly to the overall character and quality of life in River Forest.*
The rationale expressed for this goal cites the need to contribute to the area's overall desirability as a place to live and visit.

Concordia's proposal satisfies this goal by improving the ability of students, faculty, and staff and University neighbors and visitors to walk between the Christopher Center and the West Annex in an enclosed environment free from the impact of weather.

Goal 5: *Continue to enhance and improve the quality of life for Village residents through the provision of quality community facilities and services.*
The rationale for this goal states: *The provision of quality community facilities and services demonstrates the Village's commitment to its residents and strengthens the Village's identity as a strong residential community.*

The enclosed pedestrian walkway described above that would result from approval of Concordia's proposal would satisfy this goal by providing enhanced access between the West Annex and the Christopher Center. This project would be largely invisible to the neighbors to the south across Augusta. Accordingly, it should have no negative effect on the quality of life in the Village.

Concordia University Chicago's Proposed Improvement Plan Meets the Village's Standards for Planned Developments

Concordia addresses the Standards for Review set forth at Section 10-19-3 of the Zoning Ordinance as follows:

A. The proposed use or combination of uses is consistent with the goals and policies of the Comprehensive Plan.

The University has addressed these matters above.

B. The establishment, maintenance, or operation of the use or combination of uses will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the residents of the Village.

The proposed use would not have any adverse impact to the public health, safety, comfort, morals, or general welfare of Village residents because it is interior to the campus and would largely be invisible to Village residents. Rather, Concordia believes the enclosed pedestrian walkway would better facilitate traffic between the West Annex and the Christopher Center without requiring students, faculty or staff to brave the elements or use public sidewalks to go between the buildings.

C. The proposed use or combination of uses will not diminish the use or enjoyment of other property in the vicinity for those uses or combination of uses which are permitted by the Zoning Title of the Village.

Concordia's proposal should not diminish the use or enjoyment of other property in the neighborhood because the proposed location of the enclosed pedestrian walkway is interior to the campus.

D. The establishment of the proposed use or combination of uses will not impede the normal and orderly development and improvement of surrounding properties for uses or combination of uses otherwise permitted in the zoning district.

Concordia does not believe this proposal would be any impediment to the development or improvement of surrounding properties. Rather, Concordia believes the location of this enclosed pedestrian walkway between two buildings interior to the campus would have no effect on surrounding properties.

E. The proposed use or combination of uses will not diminish property values in the vicinity.

The University has been careful to plan this proposed improvement in a manner which would not generate negative external impacts. At its meeting on May 3, 2018, the Development Review Board granted the University's request for a waiver of the requirement for an analysis of any effect on neighborhood property values.

F. Adequate utilities, road access, drainage, police and fire service and other necessary facilities already exist or will be provided to serve the proposed use or combination of uses.

This proposed amendment does not propose any change in the number of parking spaces, nor does it alter street traffic or otherwise adversely impact the utilities, road access, drainage, police and fire services or other necessary facilities in relation to the approved planned development.

G. Adequate measures already exist or will be taken to provide ingress and egress to the proposed use or combination of uses in a manner that minimizes traffic congestion in the public streets.

This proposed amendment would not introduce any unique uses or features that would place any demand on existing streets. The proposed amendment would not increase traffic volumes on the streets that border the University. It is strictly an enclosed pedestrian walkway between the West Annex and Christopher Center.

H. The proposed use or combination of uses will be consistent with the character of the Village.

The proposed use will not change the character of the Village or the University neighborhood. As stated above, the proposed pedestrian walkway is between two buildings and would be located interior to the campus.

I. Development of the proposed use or combination of uses will not materially affect a known historical or cultural resource.

Nothing in the University's proposal would negatively impact any known historical or cultural resource.

J. The design of the proposed use or combination of uses considers the relationship of the proposed use or combination of uses to the surrounding area and minimizes adverse effects, including visual impacts of the proposed use or combination of uses on adjacent property.

As noted above, the University has taken care to design the proposed facility in the least obtrusive manner possible. The proposed pedestrian walkway is interior to the campus and is located between two buildings approximately 315 feet from the sidewalk along the south side of Augusta that fronts the nearest residence.

K. The design of the proposed use or combination of uses promotes a safe and comfortable pedestrian environment.

This proposed amendment should not have any impact on the pedestrian environment of the neighborhood since it is strictly an enclosed walkway between the West Annex and Christopher Center that will be located interior to the campus.

The rest of this page is intentionally left blank.

L. The applicant has the financial and technical capacity to complete the proposed use or combination of uses and has made adequate provisions to guarantee the development of any buffers, landscaping, public open space, and other improvements associated with the proposed use or combination of uses.

Concordia University has the financial capability to fully fund the proposed improvements. A letter from Concordia's Chief Financial Officer, Tom Hallett, follows this page. Of note, the entire amount of funds necessary to complete the work has already been received by the University as a donation from a single donor. If, for some unforeseen reason, the funds were required to be returned then this project would be postponed until a later date.

The rest of this page is intentionally left blank.

CONCORDIA UNIVERSITY CHICAGO
1864

7400 Augusta Street
River Forest
Illinois 60305-1499
708-771-8300
fax 708-209-3176
www.CUChicago.edu

April 16, 2018

Chairman Frank Martin
Development Review Board
Village of River Forest
400 Park
River Forest, IL 60305

Re: Application for Planned Development
Pedestrian walk way between the West Annex and Christopher Center

Dear Chairman Martin and Members of the Development Review Board:

Concordia University has received the funding in advance to complete the proposed walk way between the West Annex and the Christopher Center.

Based upon the construction cost estimate provided by our contractor, a very generous donation from a significant contributor of the institution was made to cover the entire project expenses.

We look forward to meeting with the Development Review Board regarding this application.

Respectfully submitted,

Tom Hallett
Chief Financial Officer

M. The proposed use or combination of uses is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the village (sic) **from the proposed use.**

The proposed pedestrian walkway should not impose any new or material demands upon municipal resources. It is merely an enclosed passage between two buildings located interior to the campus that will facilitate the movement of faculty, staff and students between those buildings.

N. The proposed use or combination of uses will meet the objectives and other requirements set forth in this section.

The University addresses below the objectives set out at Section 10-19-1.E of the Zoning Ordinance.

O. *[This standard deals with a proposal for multi-family housing and is not applicable to the University or to this request.]*

Concordia University Chicago's Proposed Improvement plans Meet the Village's Objectives for Planned Developments

Section 10-19-1.E of the zoning ordinance lists certain specific objectives the Village seeks to achieve through the flexibility of the planned development process. Concordia University Chicago addresses these objectives below:

1. Creation of a more desirable environment than would be possible through strict application of other village land use regulations.

The Village has previously approved a planned development for the campus. The proposed change does not require any additional allowances from the Village's land use regulations.

2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities.

This proposed amendment to the previously approved Planned Development is a creative and unobtrusive way to improve the movement of faculty, staff and students within the Concordia campus.

3. Combination and coordination of the character, the form, and the relationship of structures to one another.

The proposed enclosed pedestrian walkway is designed to be aesthetically compatible with the West Annex and the Christopher Center.

4. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation, and geologic features.

The proposed amendment does not alter the currently approved site layout. It merely adds an enclosed and secure passageway between two buildings. This pedestrian walkway would remain screened from street view by existing landscaping that the University intends to retain.

5. Provision for the preservation and beneficial use of open space, or an increase in the amount of open space over that which would result from the application of conventional zoning regulations.

The University is not seeking any allowances for a change in open space or in allowances on floor area ratio or maximum lot coverage.

6. Encouragement of land uses or combination of uses that maintain the existing character and property values of the village (*sic*)**, and promote the public health, safety, comfort, and general welfare of its residents.**

Concordia has addressed these concerns in its initial application for a planned development for the campus and in the 2000 application for construction of the Christopher Center approved by Ordinance No. 2888 dated June 26, 2000.

7. Promotion of long term planning pursuant to a master plan which will allow harmonious and compatible land uses or combination of uses with surrounding areas.

This proposal should not have any adverse effect on compatible land uses in the surrounding areas because it contemplates an enclosed pedestrian walkway between the West Annex and the Christopher Center and would be located interior to the campus for the use of faculty, staff, students.

The rest of this page is intentionally left blank.

VI. Existing Campus Area

a. Existing Contiguous Land Use

The existing contiguous land use surrounding the 7400 Augusta campus is depicted in the following aerial photograph. This photograph shows that residences zoned R-4 face the campus from the east side of Bonnie Brae, zoned R-2, face the campus from the south side of Augusta Street, the west side of Monroe Avenue, and the north side of Division between Monroe and William. The balance of the north side of Division, from west to east, contains Priory Park (River Forest Park District), and the Priory/Dominican University facility.

Grace Lutheran Church and School occupy a lot of 250 feet by 200 feet at the north and east corner of the campus, immediately north of the parking garage.

Across Augusta to the south of the campus are single family homes. The existing buildings, the West Annex and the Christopher Center will partially screen the proposed enclosed pedestrian walkway. The proposed walkway would also be screened from public view by existing landscaping that the University intends to keep in place.

b. Natural Topographic Features

Since the Concordia University campus is virtually flat, no natural topographic features are identifiable. This proposed amendment does not seek any changes to topographic features. An aerial photograph showing the neighborhood surrounding the University and the parking garage follows.

c. Zoning Districts

The Zoning districts contiguous to the campus are depicted on the following map entitled: “Village of River Forest Zoning Map.”

d. Public Thoroughfare

The proposed project is interior to the campus with no vehicle access to the University parking lot or to Augusta Street to the south.

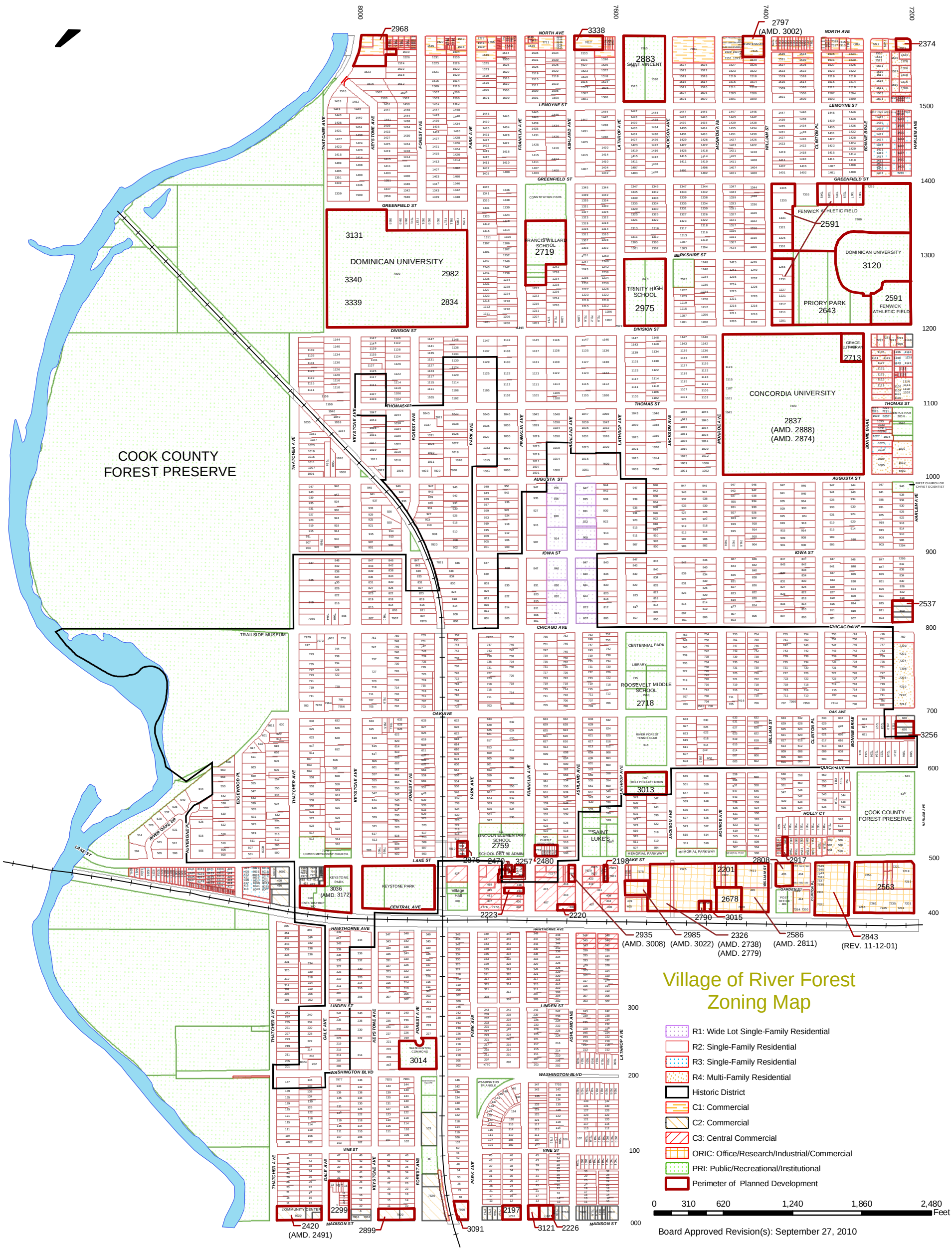
The rest of this page is intentionally left blank.

Untitled Map

Write a description for your map.

Legend

7400 Augusta St
River Forest
© 2015 Google
Google earth
1999
41°53'58.16" N 87°48'36.33" W elev 629 ft eye alt 3937 ft


COOK COUNTY FOREST PRESERVE
DOMINICAN UNIVERSITY
3131
3340
3339
2982
2834
2968
2797 (AMD. 3002)
3338
2374
2883 SAINT VINCENT
FENWICK ATHLETIC FIELD
2591
DOMINICAN UNIVERSITY
3120
PRIORY PARK 2643
2591 FENWICK ATHLETIC FIELD
FRANCIS WILLARD SCHOOL 2719
TRINITY HIGH SCHOOL 2975
GRACE LUTHERAN
2713
CONCORDIA UNIVERSITY
2837 (AMD. 2888) (AMD. 2874)
2537
3256
CENTENNIAL PARK
ROOSEVELT MIDDLE SCHOOL 2718
FIRST PRESBYTERIAN 3013
LINCOLN ELEMENTARY SCHOOL 2759
SAINT LUKE'S
COOK COUNTY FOREST PRESERVE
2563
2678
2201
2917
2808
2976
2470
3257
2480
2198
2223
2220
2790
3015
2935 (AMD. 3008)
2985 (AMD. 3022)
2326 (AMD. 2738) (AMD. 2779)
2586 (AMD. 2811)
2843 (REV. 11-12-01)
KEYSTONE PARK 3036 (AMD. 3172)
WASHINGTON COMMONS 3014
2299
2197
2420 (AMD. 2491)
2899
3091
3121
2226
TRAILSIDE MUSEUM
Village Hall
Village of River Forest
Zoning Map
R1: Wide Lot Single-Family Residential
R2: Single-Family Residential
R3: Single-Family Residential
R4: Multi-Family Residential
Historic District
C1: Commercial
C2: Commercial
C3: Central Commercial
ORIC: Office/Research/Industrial/Commercial
PRI: Public/Recreational/Institutional
Perimeter of Planned Development
0 310 620 1,240 1,860 2,480 Feet
Board Approved Revision(s): September 27, 2010

e. Transportation

The project covered by this application will not impact the use of private vehicles, PACE bus service, CTA rapid transit, or Metra trains that serve the Concordia University neighborhood. The project is strictly an enclosed pedestrian walkway between two buildings.

f. Utilities

Present utilities are shown on the Plat of Survey for the properties in **Section IV**. Proposed utilities are shown as indicated below.

Water. There is no change from the approved Planned Development Ordinance. This project does not require any water supply except for the fire suppression sprinklers required by the Village of River Forest Building Code.

Sewer. There is no change from the approved Amendment Ordinance No. 2888 dated June 26, 2000, for the Christopher Center. There is no sewer use required for this project.

Electric. The project will require electric power only for providing lighting for the interior pedestrian walkway and the north pedestrian walkway entrance. That power will be supplied from existing electrical service in one or both of the buildings at each end of the pedestrian walkway.

Construction drawings indicate the necessity to remove an outside light pole that is located immediately north of the proposed enclosed pedestrian walkway. This light pole illuminating the sidewalk will not be replaced because a light is being added to the walkway exterior which will provide sufficient illumination.

Gas. No gas service is contemplated for the Walkway.

Telephone. No telephone service is contemplated for the enclosed pedestrian walkway.

At its meeting May 3, 2018, the Development Review Board granted Concordia's request for waivers from the requirements of scaled site plans showing utilities, lot area coverage, setbacks, and from plans showing any off site utility improvements. Village Code Sections 10-19-6 B 5, 6, and 16. Due to the light pole removal, a site plan is included and follows this page to illustrate the change. Concordia withdraws its previously approved request for a waiver of the requirement for a plan depicting utilities.

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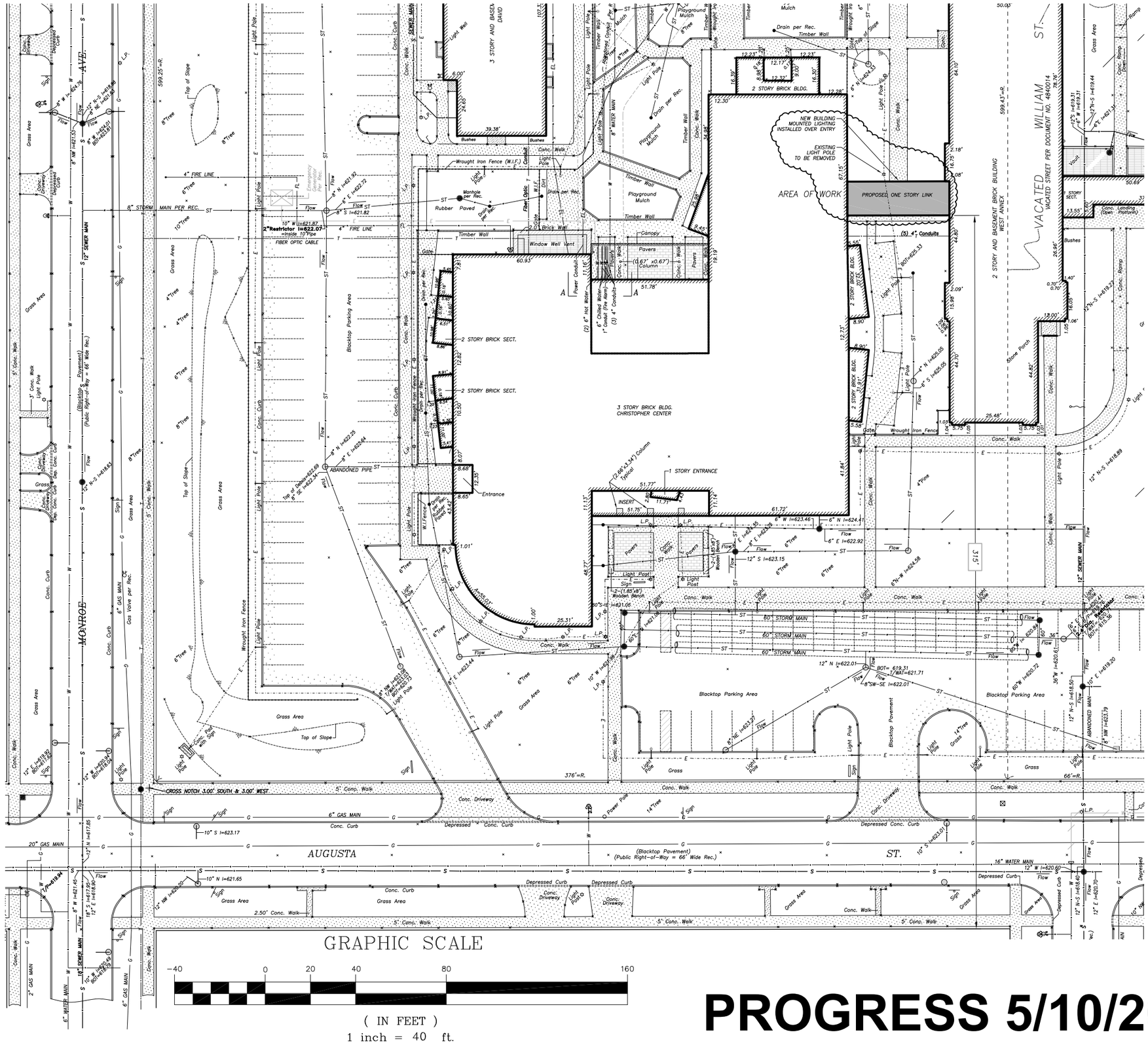

PROGRESS 5/10/2018

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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	S. REKAS
Checked	G. GRUNLOH
Proj. Arch./Eng.	G. GRUNLOH

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St
River Forest, IL 60305

Project Name

ARCHITECTURAL SITE UTILITY

Sheet Name

Drawing No. **AS1-1**

VII. Scaled Proposed Development

The proposed development will not affect previously approved plans for parking, traffic flow, or storm water detention. Nor will the proposed development affect previously approved plans for any other Concordia University building.

At its meeting on May 3, 2018, the Development Review Board granted Concordia's requests for waivers of any requirement to provide scaled plans for traffic flow, or storm water detention.

The pedestrian walkway will be constructed primarily in place of an existing sidewalk.

VIII. Schematic Drawings

Schematic drawings showing location of the proposed pedestrian walkway follow.

A site survey, elevation drawings from various perspectives, and two computer generated illustrations showing the proposed enclosed pedestrian walkway also follow this page.

The rest of this page is intentionally left blank.

PROJECT

CONCORDIA UNIVERSITY
WEST ANNEX & CHRISTOPHER CENTER LINK

PROPERTY NAME

LINK - CONCORDIA UNIVERSITY

7400 Augusta St
River Forest, IL 60305

PROJECT TEAM

ARCHITECT & STRUCTURAL ENGINEER

HOLABIRD AND ROOT LLC
140 SOUTH DEARBORN STREET
SUITE 500
CHICAGO, IL 60603
312.357.1771 TEL
312.357.1909 FAX

www.holabird.com

GENERAL CONTRACTOR

RAGNAR BENSON
223 W. JACKSON STREET
SUITE 350
CHICAGO, IL 60603
847.698.5626 TEL

www.ragnarbenson.com

MECHANICAL & PLUMBING

MARTIN PETERSEN CO INC
9800 55TH STREET
KENOSHA, WI 53144
262.925.6962 TEL

www.mpcmech.com

ELECTRICAL

ASHBURN
5639 W 120TH STREET
ALSIP, IL 60803
708.293.1566 TEL

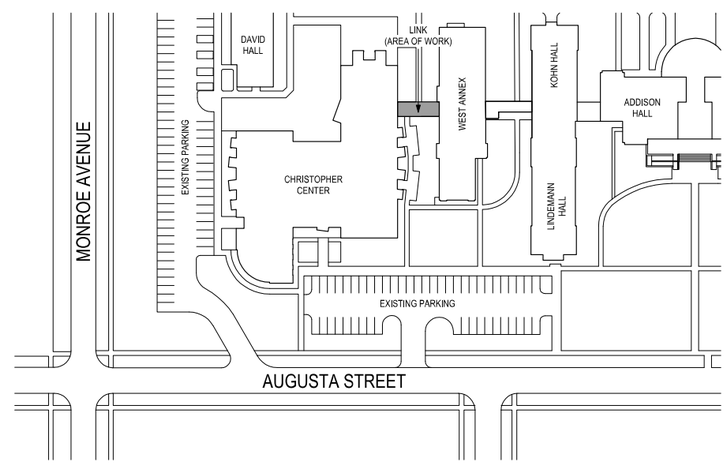
www.ashburnpower.com

RENDERING OF NEW LINK

DRAWING INDEX

GENERAL	
G1-1	GENERAL INFORMATION & DRAWING INDEX
ARCHITECTURAL	
A1-1	ARCHITECTURAL SYMBOLS & ABBREVIATIONS
AS1-1	ARCHITECTURAL SITE UTILITY
AS1-2	ARCHITECTURAL LANDSCAPE PLAN
A2-1	LINK FLOOR PLAN, REFLECTED CEILING PLAN, & ROOF PLAN
A4-1	LINK ELEVATIONS
A4-2	LINK SECTIONS AND DETAILS
STRUCTURAL	
S1-0	GENERAL NOTES AND KEY PLAN
S2-1	FOUNDATION PLAN & ROOF FRAMING PLAN
S3-1	COLUMN SCHEDULE
S4-1	TYPICAL CONCRETE DETAILS
S5-1	TYPICAL STEEL DETAILS

MECHANICAL	
M1.0	NOT ISSUED
PLUMBING	
P1-0	NOT ISSUED
ELECTRICAL	
E-100	NOT ISSUED



1 PARTIAL CAMPUS PLAN
G1-1 1" = 60'-0"

PROGRESS 5/10/2018

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CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St
River Forest, IL 60305

Project Name

GENERAL INFORMATION & DRAWING INDEX

Sheet Name

Drawing No. G1-1

ARCHITECTURAL ABBREVIATIONS LIST

A

AB	ANCHOR BOLT
ABV	ABOVE
A/C	AIR CONDITIONING
ACC	ACCESSIBLE
ACT	ACOUSTICAL TILE
ADA	AMERICANS WITH DISABILITIES
ADD	ADDENDUM
ADD'L	ADDITIONAL
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
AP	ACCESS PANEL
APPD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
AUD	AUDITORIUM
AUTH	AUTHORIZED
AUTO	AUTOMATIC
A/V	AUDIO/VISUAL

B

B/	BOTTOM OF
BEL	BELOW
BTWN	BETWEEN
BEV	BEVELED
BLKG	BLOCK(ING)
BLDG	BUILDING
BM	BEAM
BOT	BOTTOM
BRG	BEARING
BRK	BRICK
BS	BOTH SIDES
BSMT	BASEMENT
BTU	BRITISH THERMAL UNIT
BUR	BUILT-UP ROOFING

C

C	CENTER
CAB	CABINET
CAP	CAPACITY
CEM	CEMENT
CER	CERAMIC
CFT	CUBIC FOOT (FEET)
CG	CORNER GUARD
CHAM	CHAMFER
CIR	CIRCLE
CIRC	CIRCUMFERENCE
CJ	CONTROL JOINT
CK	CAULKING
CLASSRM	CLASSROOM
CLG	CEILING
CLO	CLOSET
CLR	CLEARANCE/CLEAR
CLS	CLOSURE
CM	CENTIMETER(S)
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COEF	COEFFICIENT
COL	COLUMN
COMB	COMBINATION
COMP	COMPRESS(ED), (ION), (IBLE)
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS OR CONTINUE
CONTR	CONTRACT(OR)
CONV	CONVECTOR
COP	COPING
CORR	CORRIDOR
CPT	CARPET(ED)
CRW	CURTAIN WALL
CS	COUNTERSINK
CSMT	CASEMENT
CT	CERAMIC TILE
CW	COLD WATER
CY	CUBIC YARDS

D

D	DEPTH
DB	DECIBELS
DBL	DOUBLE
DEG	DEGREE(S)
DEG C	DEGREE(S) CELSIUS
DEG F	DEGREE(S) FAHRENHEIT
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DN	DOWN
DP	DAMP PROOFING
DR	DOOR
DS	DOWNSPOUT
DU	DWELLING UNIT
DWG	DRAWING

E

E	EAST
EA	EACH
EB	EXPANSION BOLT
EC	EXPOSED CEILING
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSE (URE)
ENG	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXP	EXPOSED
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR

F

FAST	FASTENER
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFL	FINISH FLOOR LINE
FHC	FIRE HOSE CABINET
FHMS	FLATHEAD MACHINE SCREW
FHWS	FLATHEAD WOOD SCREW
FIN	FINISH(ED)
FLG	FLASHING
FLR	FLOOR(ING)
FLUOR	FLUORESCENT
FR	FRAME(D), (ING)
FS	FULL SIZE
FT	FOOT (FEET)
FTG	FOOTING
FUR	FURRED, FURRING
FUT	FUTURE
FV	FIELD VERIFY

G

G	GRAM
GA	GAGE, GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GD	GRADE, GRADING
GFR	GLASS FIBER REINFORCED
GFRC	GFR CONCRETE
GKT	GASKET(ED)
GL	GLASS, GLAZING
GPDW	GYPSUM DRYWALL
GT	GROUT
GWB	GYPSUM WALL BOARD
GYP	GYPSUM

H

H	HIGH
HB	HOSE BIBB
HC	HOLLOW CORE
HCAP	HANDICAP
HD	HEAD
HDW	HARDWARE
HEX	HEXAGONAL
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HORSEPOWER
H.P.	HIGH POINT
HR	HOUR
HT	HEIGHT
HTG	HEATING
HVAC	HEATING / VENTILATION/AIR CONDITIONING
HW	HOT WATER
HYD	HYDRAULIC

I

ID	INSIDE DIAMETER
IN	INCH(ES)
INCL	INCLUDE(D), (ING)
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INTERM	INTERMEDIATE

J

J	JOIST
JAN	JANITOR
JC	JANITOR'S CLOSET
JCT	JUNCTION
JT	JOINT

K

KG	KILOGRAM(S)
KIT	KITCHEN
KM	KILOMETER(S)
KO	KNOCKOUT
KS	KNEE SPACE

L

L	LENGTH
LAB	LABORATORY
LAM	LAMINATE(D)
LAT	LATERAL
LAV	LAVATORY
LB	POUND(S)
LBL	LABEL
LH	LEFT HAND
LIB	LIBRARY
LIN	LINEAR
LL	LIVE LOAD
L.P.	LOW POINT
LT	LIGHT
LTG	LIGHTING
LTL	LINTEL
LVR	LOUVER

M

M	METER(S)
MACH	MACHINE
MAN	MANUAL
MAS	MASONRY
MAT'L	MATERIAL(S)
MAX	MAXIMUM
MB	MARKER BOARD
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MTL	METAL
MEZZ	MEZZANINE
MFR	MANUFACTURE(R), (ED)
MI	MILE(S)
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MULL	MULLION

N

N	NORTH
NAT	NATURAL
NC	NO CEILING
NIC	NOT IN CONTRACT
NO.	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE

O

OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
O.H.	OPPOSITE HAND
OHMS	OVALHEAD MACHINE SCREW
OHWS	OVALHEAD WOOD SCREW
OPNG	OPENING
OPP	OPPOSITE

P

PAR	PARALLEL
PBD	PARTICLE BOARD
PC	PRECAST CONCRETE
P.D.	PLAN DETAIL
PED	PEDESTAL
PERF	PERFORATE(D)
PERIM	PERIMETER
PERP	PERPENDICULAR
PKG	PARKING
PL	PLATE
P.L.	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PNL	PANEL
PNT	PAINT(ED)
POL	POLISH(ED)
PR	PAIR
PREFAB	PREFABRICATED
PRES	PRESSURE
PROJ	PROJECTION
PROT	PROTECTION
PSI	POUNDS PER SQUARE INCH
PT	POINT
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
PW	PAINTED WOOD

Q

QT	QUARRY TILE
QTY	QUANTITY

R

R	RISER
RAD	RADIUS
RB	RUBBER BASE
RD	ROOF DRAIN
REV	REVISION, REVISE(D)
RECP	RECEPTACLE
REF	REFERENCE
REFL	REFLECT(ED), (ING)
REINF	REINFORCE(D), (ING)
REQD	REQUIRED
RFI	REQUEST FOR INFORMATION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING

S

S	SOUTH
SAFB	SOUND ATTENUATION FIRE BLANKET
SAN	SANITARY
SC	SEALED CONCRETE
SCHED	SCHEDULE
SEC	SECOND
SECT	SECTION
SERV	SERVICE
SF	SQUARE FOOT
SGL	SAFETY GLASS
SHT	SHEET
SIM	SIMILAR
SK	SKETCH
S.J.	SEALANT JOINT
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SSK	SERVICE SINK
SST	STAINLESS STEEL
STD	STANDARD
STIFF	STIFFENER
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURE, STRUCTURAL
SUSP	SUSPEND, SUSPENDED
SYM	SYMMETRY, SYMMETRICAL

T

T	TREAD
T/	TOP OF
T&B	TOP & BOTTOM
TEMP	TEMPERATURE
TERR	TERRAZZO
T&G	TONGUE & GROOVE
THK	THICK(NESS)
THRU	THROUGH
TV	TELEVISION
TYP	TYPICAL

U

UC	UNDERCUT
UL	UNDERWRITER'S LABORATORY
UNEX	UNEXCAVATED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL

V

VAPB	VAPOR BARRIER
VB	VINYL BASE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VT	VINYL TILE

W

W	WEST
W/	WITH
WC	WATER CLOSET
WD	WOOD
WIN	WINDOW
WL	WIND LOAD
W/O	WITHOUT
WP	WATERPROOFING
WPT	WORKING POINT
WRSTP	WEATHER STRIPPING
WT	WEIGHT
WWF	WELDED WIRE FABRIC

Y

YD	YARD

MATERIAL DESIGNATIONS

EARTH/ COMPACT FILL
GRAVEL/ POROUS FILL
ROCK
CONCRETE: CAST IN PLACE/ PRECAST
SAND/ MORTAR/ PLASTER
CONCRETE MASONRY UNIT
COMMON/ FACE BRICK
CUT STONE
MARBLE
STEEL
ALUMINUM
ROUGH WOOD
FINISH WOOD
PLYWOOD
PARTICLE BOARD
BATT INSULATION
RIGID INSULATION
SPRAYED-ON FIREPROOFING
SEALANT WITH BACKER ROD
GYPSUM DRYWALL
METAL LATH WITH PLASTER
TERRAZZO
GLASS
ACOUSTICAL TIL E

ARCHITECTURAL SYMBOLS LIST

DRAWING TITLE

1 View Name
A6-2 1 1/2" = 1'-0" [REF: 1/ A4-1]
DRAWING NUMBER
DRAWING TITLE
BACK REFERENCE TARGET LOCATION (I.E. REFER TO 1/A4-1 FOR TARGET 1/A6-2 LOCATION)
DRAWING SCALE
SHEET NUMBER

NORTH ARROWS
TRUE NORTH ARROW
PROJECT NORTH ARROW

COLUMN LINE GRID & NUMBERS
NEW COLUMN NUMBER
EXISTING COLUMN NUMBER

SECTION TARGET
BUILDING SECTION TARGET
SECTION NUMBER
SHEET NUMBER
DETAIL SECTION TARGETS

DETAIL TARGET
DETAIL NUMBER
SIM
SHEET NUMBER

ELEVATION TARGET
BUILDING ELEVATION TARGET
SHEET NUMBER
DETAIL NUMBER
INTERIOR ELEVATION TARGET
DETAIL NUMBER
SHEET NUMBER

ROOM NAME & NUMBER TARGET
ROOM NAME 102
ROOM NUMBER

DOOR TARGET
101A DOOR NUMBER, SEE DOOR SCHEDULE

PARTITION TYPE TARGET
PARTITION TYPE, SEE PARTITION TYPES

WINDOW TARGET
W11 WINDOW TYPE, SEE WINDOW SCHEDULE
B101 VIEW WINDOW NUMBER, SEE INTERIOR WINDOW SCHEDULE

KEYNOTE TARGET
1 KEYNOTE, SEE KEYNOTE LIST

TOILET ACCESSORIES TARGET
T1 ACCESSORY NUMBER

FLOOR ELEVATION TARGET
BUILDING DATUM ELEVATION

REFERENCE WORK POINT TARGET
MAJOR REFERENCE WORK POINT TO LOCATE DIMENSIONS

REVISION TARGET
REVISION DESIGNATION
REVISION CLOUD

ALIGN

FIRE-RATED WALL SYMBOLS
1 HR RATED WALL
2 HR RATED WALL
3 HR RATED WALL

WALL SYMBOLS
NEW DOOR
EXISTING DOOR
ACCESS PANEL @ 6' AFF TYP.
NEW GLASS PARTITION
NEW PARTITION
EXISTING PARTITION
PARTITION TO BE DEMOLISHED
FENCE
BUILDING MATCH LINE

ACCESSIBILITY SYMBOLS
5' - 0" WHEELCHAIR TURNING RADIUS
ACCESSIBLE ITEM
AOR WHEELCHAIR AREA OF REFUGE
WHEELCHAIR CLEAR FLOOR AREA

ELECTRICAL CONTROL ON DOOR
A ACCESS BUTTON FOR AUTOMATIC DOOR. ALL DOOR FRAMES WITH ACCESS BUTTON TO BE ELECTRIFIED
R RELASE BUTTON FOR AUTOMATIC DOOR
C CARD READER ON DOOR FRAME TO BE ELECTRIFIED OR ON WALL

SPECIFIC SYMBOL LIST

THE SYMBOLS BELOW APPLY TO ALL ARCHITECTURAL DRAWINGS :

NOTE: CONTRACTOR TO COORD. & PROVIDE WOOD BLOCKING FOR ALL ITEMS LISTED BELOW

FIRE EXTINGUISHER (F.E.) & CABINETS:

FE1 RECESSED CABINET W/ FIRE EXTINGUISHER ( ) (SEE X/AX-X FOR MOUNTING HEIGHT)
FIRE EXTINGUISHER W/ WALL HOOK MOUNTED AT 4'-0" A.F.F. ( )

PHONES:

CP CAMPUS PHONE

ELECTRIC WATER COOLERS:

EWC1 2 UNIT CANTILEVERED ELECTRIC WATER COOLER (SEE PLUMB. DRAWINGS)
ELEC.: 115 V, 60 HZ, 1/5 HP, 4.7 A(FULL LOAD), 380 W

PROGRESS 5/10/2018

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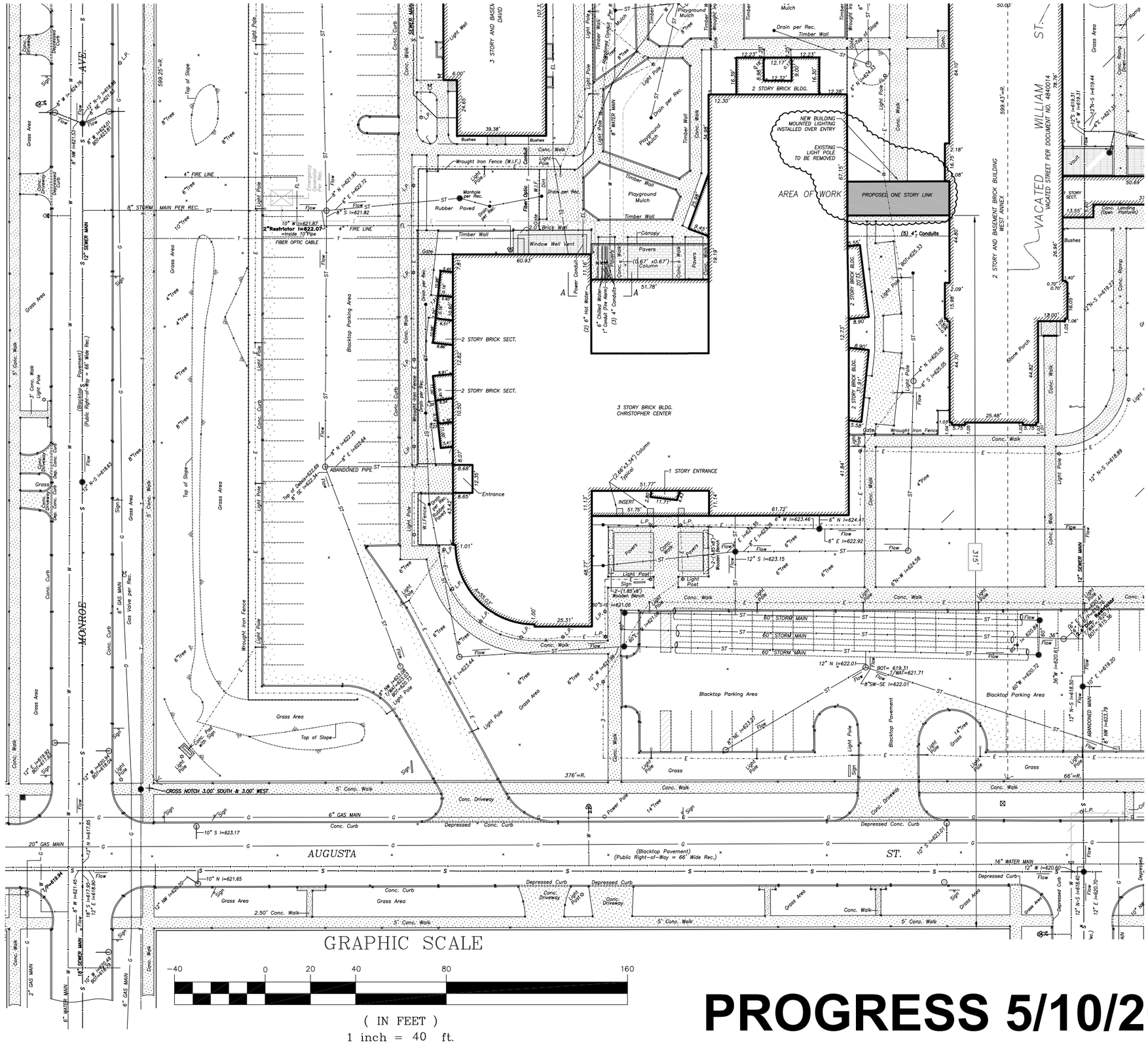
Project Number	15896
Drawn	Author
Checked	Checker
Proj. Arch./Eng.	Approver

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link
7400 Augusta St
River Forest, IL 60305
Project Name

ARCHITECTURAL SYMBOLS & ABBREVIATIONS
Sheet Name

Drawing No. **A1-1**



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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	S. REKAS
Checked	G. GRUNLOH
Proj. Arch./Eng.	G. GRUNLOH

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St
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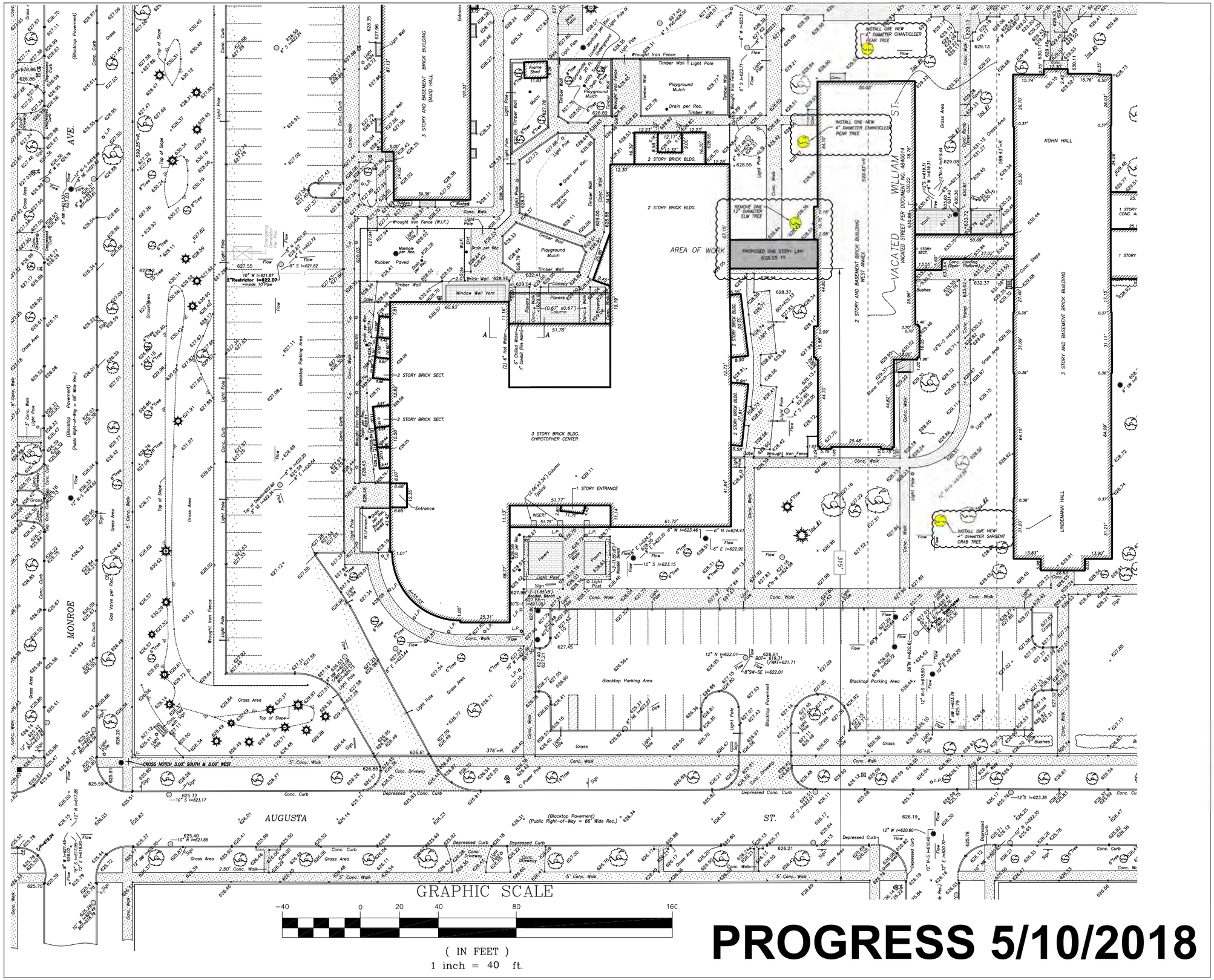
Project Name

ARCHITECTURAL SITE UTILITY

Sheet Name

Drawing No. **AS1-1**



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Tel: 312 357 1771 Fax: 312 357 1909
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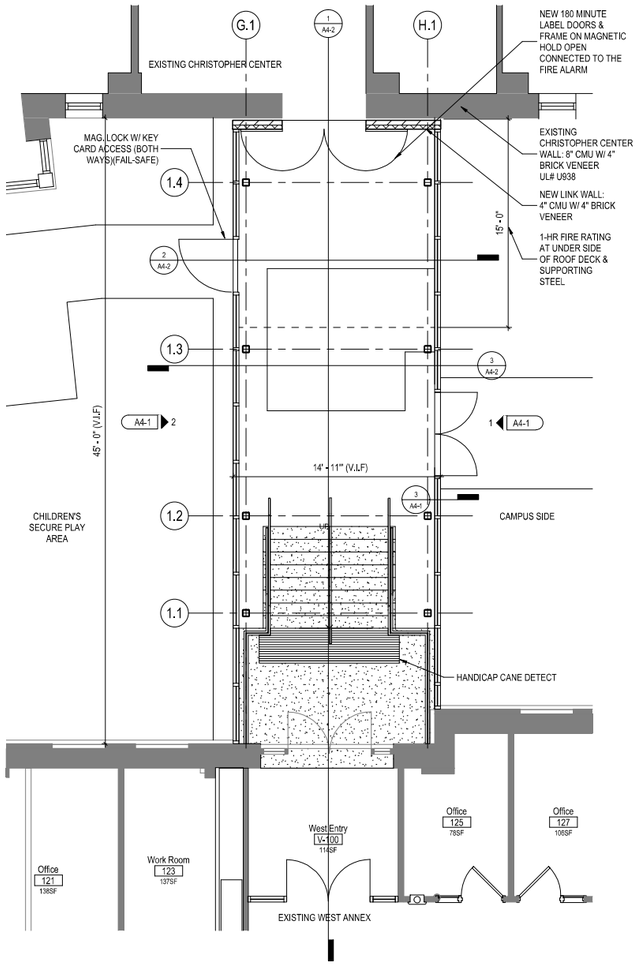
Project Name

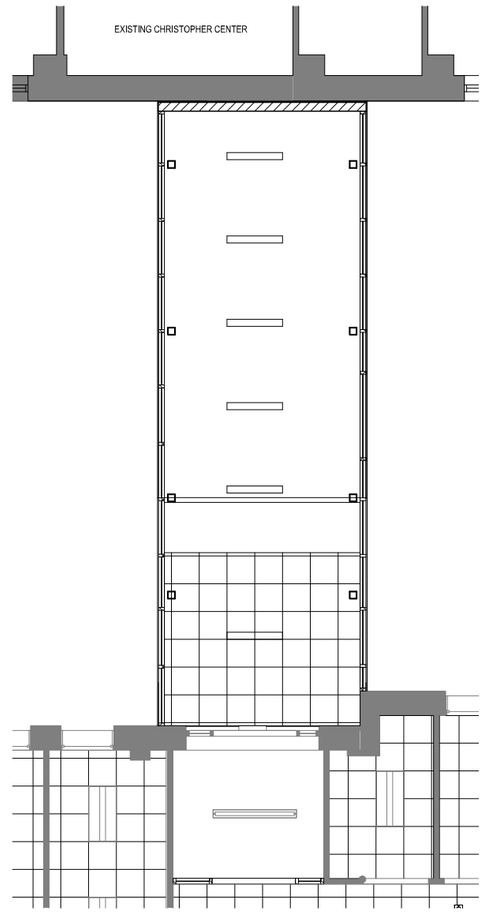
ARCHITECTURAL LANDSCAPE PLAN

Sheet Name

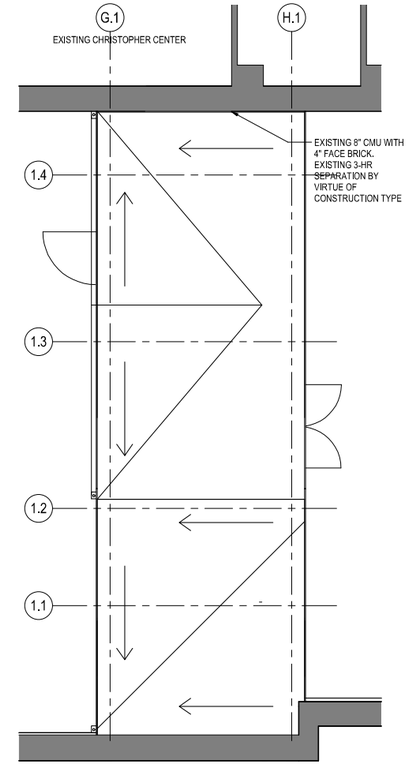
Drawing No. **AS1-2**



1 LINK FLOOR PLAN
A2-1 1/4" = 1'-0"



2 100 LEVEL REFLECTED CEILING PLAN
A2-1 1/4" = 1'-0"



3 LINK ROOF PLAN
A2-1 1/4" = 1'-0"

SYMBOLS: FLOOR PLAN

- NEW DOOR
- EXISTING DOOR
- NEW GLASS PARTITION
- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- PARTITION TO BE DEMOLISHED
- 1 HOUR FIRE RATED PARTITION
- 2 HOUR FIRE RATED PARTITION
- ALIGN

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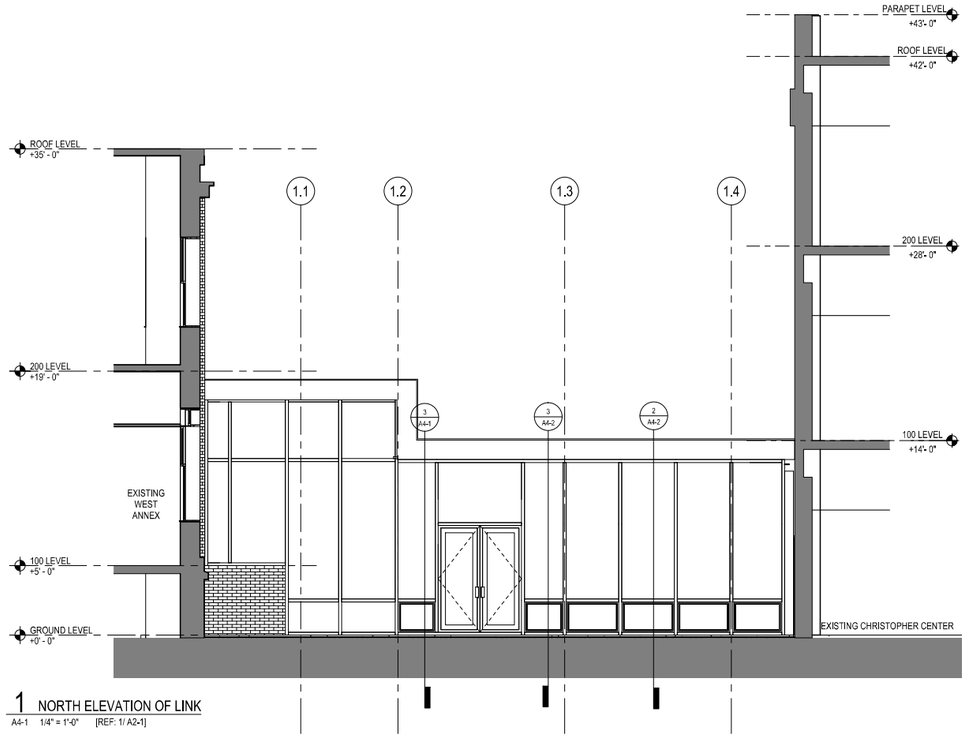
Project Name

LINK FLOOR PLAN, REFLECTED CEILING PLAN, & ROOF PLAN

Sheet Name

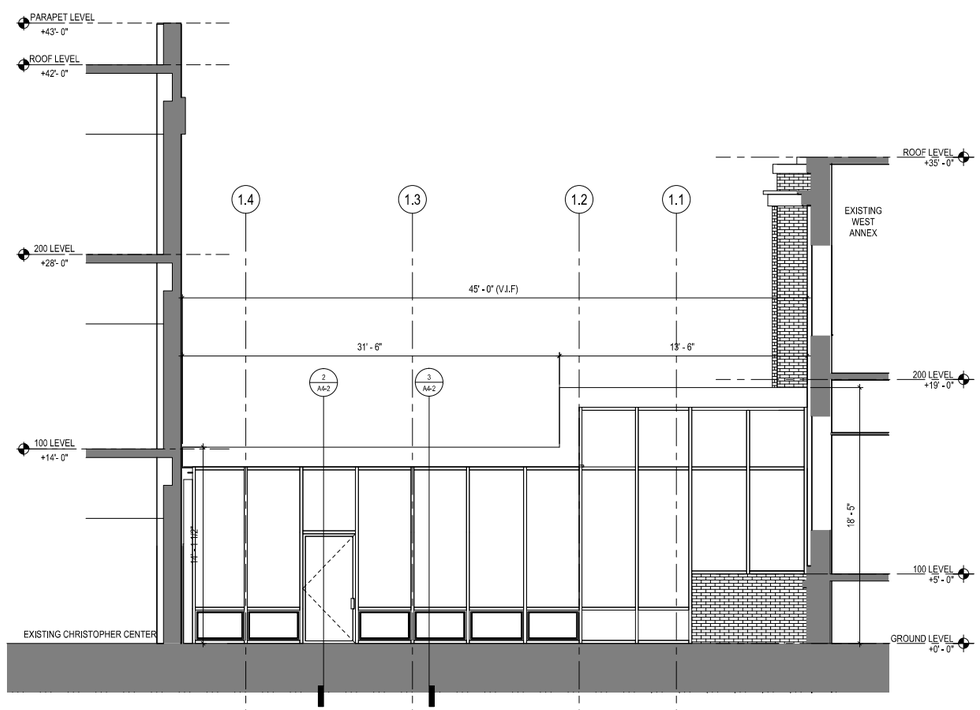
Drawing No. **A2-1**

PROGRESS 5/10/2018



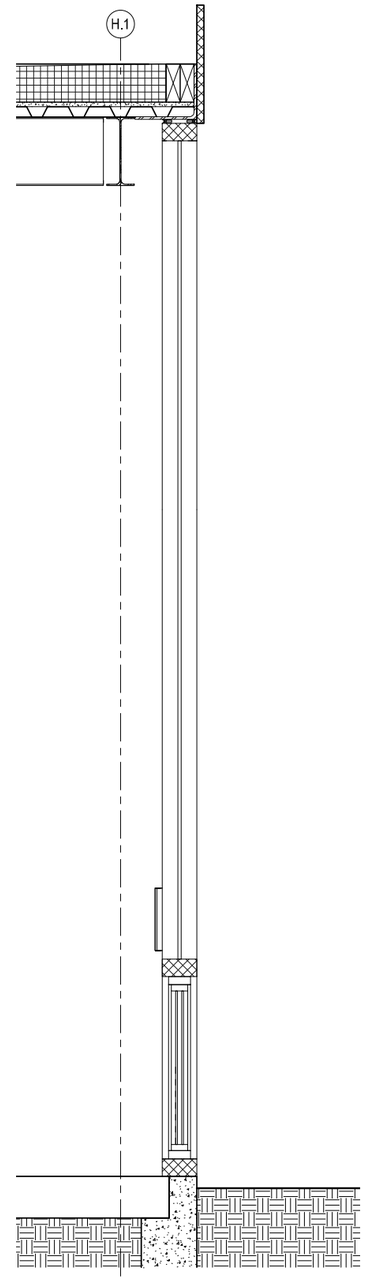
1 NORTH ELEVATION OF LINK

A4-1 1/4" = 1'-0" [REF: 1/ A2-1]



2 SOUTH ELEVATION OF LINK

A4-1 1/4" = 1'-0" [REF: 1/ A2-1]



3 STOREFRONT SECTION

A4-1 1 1/2" = 1'-0" [REF: 1/ A2-1]

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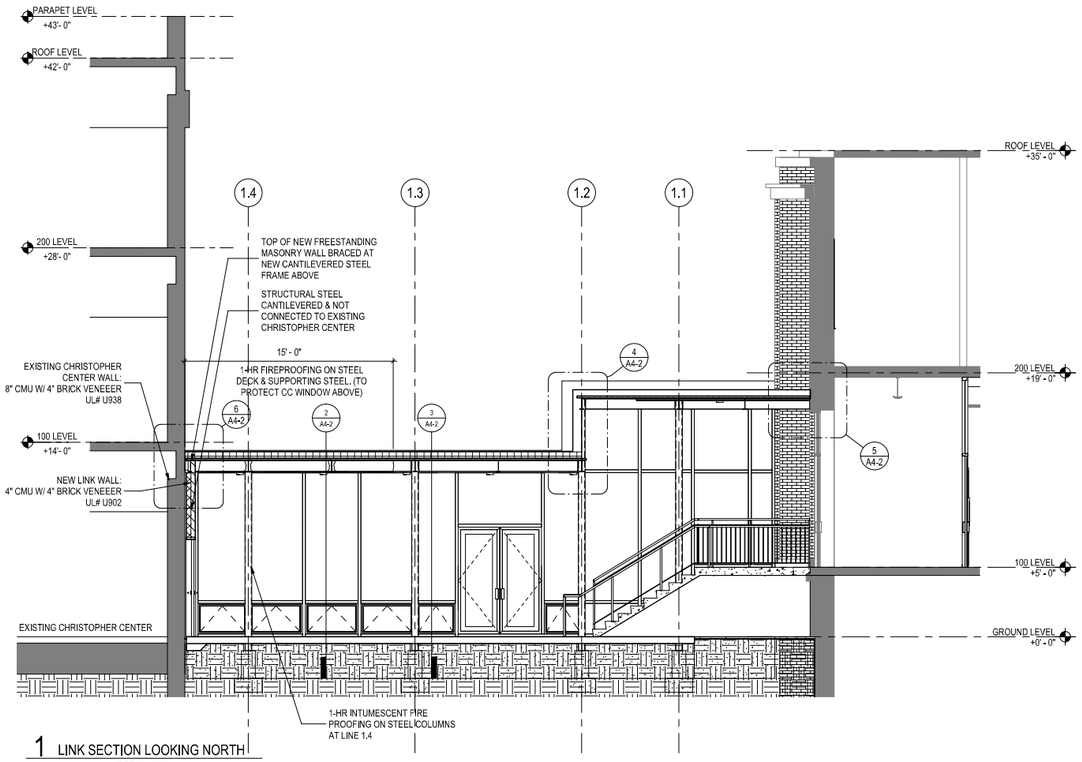
Project Name

LINK ELEVATIONS

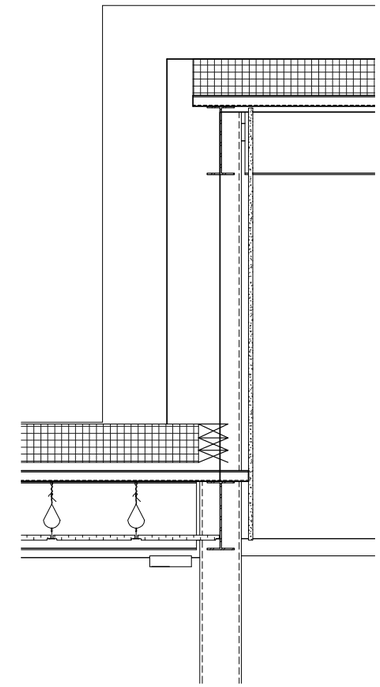
Sheet Name

Drawing No. **A4-1**



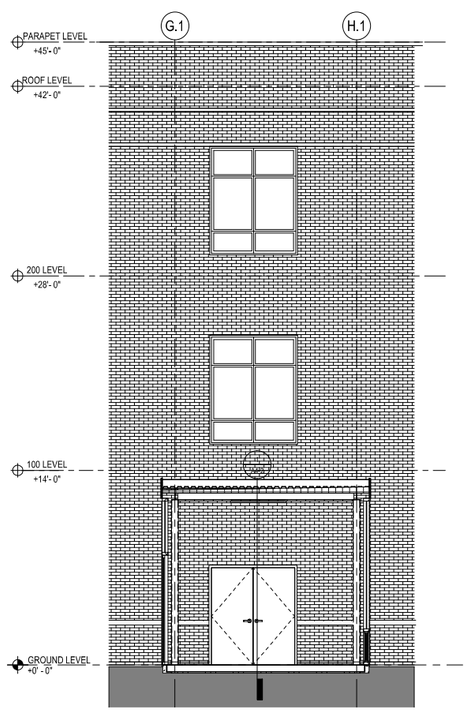
1 LINK SECTION LOOKING NORTH

A4-2 1/4" = 1'-0" [REF: 1/ A2-1]



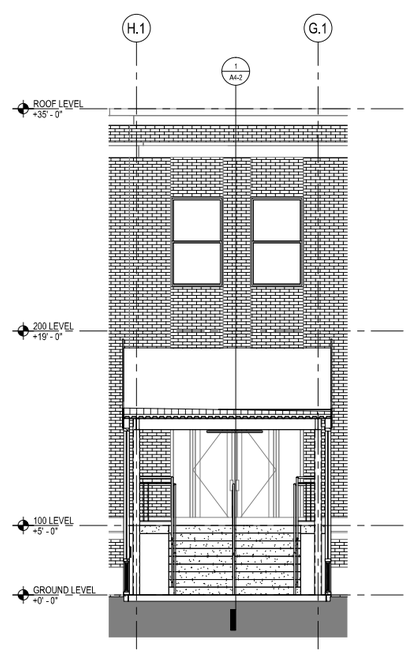
4 ROOF DETAIL

A4-2 1 1/2" = 1'-0" [REF: 1/ A4-2]



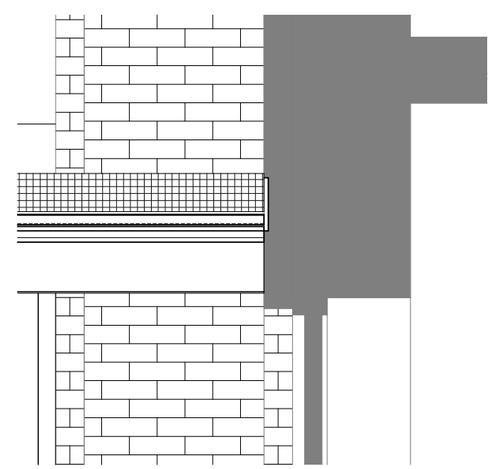
2 LINK SECTION LOOKING AT CHRISTOPHER CENTER

A4-2 1/4" = 1'-0" [REF: 1/ A2-1]



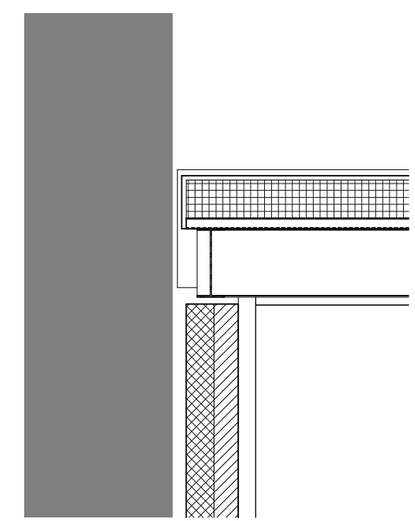
3 LINK SECTION LOOKING AT WEST ANNEX

A4-2 1/4" = 1'-0" [REF: 1/ A2-1]



5 CONNECTION TO WEST ANNEX DETAIL

A4-2 1 1/2" = 1'-0" [REF: 1/ A4-2]



6 CONNECTION TO CHRISTOPHER CENTER DETAIL

A4-2 1 1/2" = 1'-0" [REF: 1/ A4-2]

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Project Name

LINK SECTIONS AND DETAILS

Sheet Name

Drawing No. **A4-2**

STRUCTURAL GENERAL NOTES

SOIL DATA

1. A REPORT ON SUBSURFACE CONDITION ENTITLED {INSERT TITLE HERE} DATED {INSERT DATE HERE} HAS BEEN PREPARED BY {INSERT TESTING SERVICE HERE}. SEE SPECIFICATIONS FOR A COPY OF THIS DOCUMENT.

EXCAVATION

1. THE CONTRACTOR SHALL DESIGN, PROVIDE, INSTALL, AND MAINTAIN ALL UNDERPINNING, SHORING, SHEETING, AND BRACING AS MAY BE REQUIRED FOR THE SUPPORT OF SURROUNDING PROPERTY, BUILDINGS, PAVEMENTS, SIDEWALKS, UTILITIES, UTILITY EQUIPMENT, ETC., UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
2. THE CONTRACTOR SHALL REMOVE ALL OR PARTS OF ANY EXISTING STRUCTURES AND OTHER DEBRIS WHICH INTERFERE WITH THE WORK, AND SHALL TAKE CARE TO PREVENT DAMAGE TO PORTIONS WHICH ARE TO REMAIN TEMPORARILY OR PERMANENTLY IN PLACE. THE CONTRACTOR SHALL ALSO PROTECT FROM DAMAGE ALL UTILITIES WHICH ARE TO REMAIN IN SERVICE.
3. ALL EXCAVATIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH O.S.H.A. GUIDELINES. THE SIDEWALLS OF ANY EXCAVATION SHALL BE SLOPED AS REQUIRED TO PROVIDE STABLE SLOPES. WHERE ADEQUATE SLOPES CANNOT BE OBTAINED, THE EXCAVATION SHALL BE PERFORMED USING ALTERNATIVE METHODS TO RETAIN THE SOILS. PERFORM EARTHWORK IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS OF THE LOCAL CODES.
4. THE CONTRACTOR SHALL EFFECTIVELY MAINTAIN THE CONSTRUCTION AREA IN A DEWATERED STATE.
5. THE CONTRACTOR SHALL PREPARE ALL CONSTRUCTION AND EXCAVATION PROCEDURES AND SEQUENCES AND SUBMIT SUCH FOR THE OWNER'S AND ARCHITECT'S INFORMATION AND THE OWNER'S GEOTECHNICAL TESTING AGENCY'S REVIEW PRIOR TO THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL PROOF ROLL AND UNIFORMLY COMPACT THE SUBGRADE AFTER STRIPPING THE AREAS THAT WILL NOT BE EXCAVATED FURTHER FOR BASEMENT CONSTRUCTION.
7. ALL FOUNDATIONS FOR CONVEYANCES (FOR EXAMPLE; ELEVATOR PITS), SHALL HAVE THEIR REQUIRED DEPTH VERIFIED WITH THE EQUIPMENT SUPPLIER BY THE GENERAL CONTRACTOR BEFORE BEGINNING EXCAVATIONS. NOTIFY THE ARCHITECT IF THE REQUIRED DEPTH DIFFERS FROM THAT SHOWN IN THE CONTRACT DOCUMENTS.

BACKFILL

1. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF A WALL OR GRADE BEAM, THE BACKFILL OPERATION SHALL PROCEED ON BOTH SIDES SIMULTANEOUSLY AT UNIFORM LEVELS OF FILL SO AS NOT TO CREATE UNBALANCED LATERAL EARTH PRESSURES WHICH COULD DAMAGE THE STRUCTURE.
2. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS OF THE BUILDING UNTIL THE FRAMED LEVEL AT THE TOP OF THE WALL (INCLUDING SLAB) AND THE SLAB ON GRADE AT THE BOTTOM OF THE WALL ARE IN PLACE AND HAVE DEVELOPED SUFFICIENT STRENGTH.
3. BACKFILL MATERIAL WITHIN THE BUILDING AREA SHALL BE STRUCTURAL FILL MATERIAL PLACED AND COMPACTED IN THIN LIFTS TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). THIS MATERIAL SHALL BE APPROVED BY THE OWNER'S GEOTECHNICAL TESTING AGENCY. THIS TYPE OF FILL SHALL BE PLACED TO WITHIN 6" OF THE BOTTOM OF SLAB ELEVATION, WHERE SLAB OCCURS (SEE GEOTECHNICAL REPORT).
4. BACKFILL ADJACENT TO WALLS, FOUNDATIONS AND OVER UTILITY TRENCHES SHALL BE FILL MATERIAL PLACED AND COMPACTED IN THIN LIFTS TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). THIS FILL MATERIAL SHALL BE APPROVED BY THE OWNER'S GEOTECHNICAL AGENCY. (SEE GEOTECHNICAL REPORT)

FOUNDATIONS

1. THE BOTTOM OF THE FOOTINGS SHALL REST ON MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL TESTING AGENCY WITH A MINIMUM BEARING CAPACITY OF X,XXX PSF. (SEE GEOTECHNICAL REPORT)
2. THE BOTTOM OF FOOTING ELEVATIONS AND SOIL BEARING CAPACITIES AS SHOWN ON DRAWINGS ARE ESTIMATED FROM THE SOIL BEARING DATA. (SEE GEOTECHNICAL REPORT.)
3. ALL FOUNDATION EXCAVATIONS SHALL BE CLEAN AND DRY PRIOR TO PLACING CONCRETE. BOTTOM SHALL BE INSPECTED AND DESIGN BEARING CAPACITY CONFIRMED BY THE OWNER'S GEOTECHNICAL TESTING AGENCY BEFORE FOOTINGS ARE PLACED.
4. NO FOOTING SHALL BE PLACED ON OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST, OR ICE. SHOULD WATER, FROST, OR ICE ENTER AN AREA AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE OWNER'S GEOTECHNICAL AGENCY AFTER REMOVAL OF WATER, FROST, OR ICE.

SLAB ON GRADE

1. THE SLABS ON GRADE SHALL BE PLACED ON A VAPOR RETARDER UNDERLAIN BY A MINIMUM 6-INCH FREE-DRAINING AGGREGATE LAYER (IDOT GRADATION CA-7) OVER COMPACTED SUBGRADE. THE SUBGRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). SUBGRADE SHALL BE APPROVED BY THE OWNER'S GEOTECHNCIAL TESTING AGENCY PRIOR TO SLAB PLACEMENT.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING FLOOR DRAIN LOCATIONS WITH PLUMBING PLANS AND PLUMBING SUBCONTRACTOR. PROVIDE PROPER PITCH TO DRAIN AS INDICATED ON THE PLANS OR AS SPECIFIED.

CONCRETE (CAST IN PLACE)

1. CONCRETE COMPRESSIVE STRENGTHS (28 DAYS MINIMUM) SHALL BE AS FOLLOWS:

CAISSONS	3,000 PSI	NORMAL WT. CONCRETE
SPREAD FOOTINGS, STRIP FOOTINGS	4,000 PSI	NORMAL WT. CONCRETE
FOUNDATION WALLS, PIERS	4,000 PSI	NORMAL WT. CONCRETE
GRADE BEAMS, CAISSON CAPS	4,000 PSI	NORMAL WT. CONCRETE
EXTERIOR SLABS-ON-GRADE, STAIRS-ON-GRADE, PADS, CURBS	5,000 PSI	NORMAL WT. CONCRETE
INTERIOR SLABS-ON-GRADE, STAIRS-ON-GRADE, PADS, CURBS	4,000 PSI	NORMAL WT. CONCRETE
SLABS ON METAL DECK	4,000 PSI	LIGHT WT. CONCRETE (WEIGHT 110 LBS./CU. FT.)

2. CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE AS FOLLOWS:

FOOTINGS	3" CLEAR, BOTTOM AND SIDES
FOUNDATION WALLS	2" CLEAR
PIERS , COLUMNS	1 1/2" CLEAR TO TIES

3. FOR ADMIXTURES SEE SPECIFICATION SECTION 03 3000.
4. FOR ARCHITECTURAL EXPOSED CONCRETE SEE SPECIFICATION SECTION 03 3000.
5. THE CONTRACTOR SHALL INCLUDE THE QUANTITIES OF ADDED CONCRETE DUE TO DECK DEFLECTION.

REINFORCING STEEL

1. ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

REINFORCING STEEL	ASTM A 615 GRADE 60, DEFORMED
WELDED WIRE FABRIC	ASTM A 1064

2. EPOXY COATED REBAR SHALL BE INSTALLED AT LOCATIONS INDICATED ON THE PLAN OR IN THE SPECIFICATIONS. EPOXY COATING SHALL CONFORM TO ASTM A 775 OR ASTM A 934.
3. REINFORCING DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE A.C.I. 318 BUILDING CODE, LATEST EDITION AND A.C.I. 315, LATEST EDITION UNLESS OTHERWISE SHOWN OR NOTED.
4. LAP ALL BARS 36 DIAMETERS BUT NOT LESS THAN 24" AT SPLICES UNLESS OTHERWISE SHOWN. WELDED WIRE FABRIC SHALL BE LAPPED ONE (1) SPACE TRANSVERSELY AND TWO (2) SPACES LONGITUDINALLY.
5. UNLESS OTHERWISE SHOWN PROVIDE 2-#5 ADDITIONAL BARS TOP AND BOTTOM AND AT THE SIDE OF OPENINGS 8" SQUARE AND LARGER IN WALLS AND SLABS AND EXTEND 2'-6" BEYOND OPENING.
6. PROVIDE ADEQUATE BOLSTERS, HIGH CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS AND WELDED WIRE FABRIC.
7. SHOP DRAWINGS CHECKED BY THE GENERAL CONTRACTOR SHOWING REINFORCING DETAILS, INCLUDING STEEL SIZES, SPACING, PLACEMENT, AND SUPPORT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
8. TYPICAL REINFORCEMENT FOR CONCRETE OVER METAL DECK: PROVIDE STEEL FIBERS AT RATE OF 25 LBS PER CUBIC YARD OR, AT CONTRACTOR'S OPTION, PROVIDE SYNTHETIC MACRO-FIBERS AT RATE OF 4 LBS PER CUBIC YARD. SEE SPECIFICATIONS SECTION 03 3000.

FIREPROOFING

1. FOR FIREPROOFING OF STRUCTURAL STEEL FRAMING MEMBERS SEE ARCHITECTURAL DRAWINGS.

EXISTING CONDITIONS

1. EXISTING BUILDING INFORMATION SHOWN IS BASED UPON {INSERT FIRM NAME HERE} STRUCTURAL DRAWINGS DATED {INSERT DATE HERE}. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ARCHITECT. PROCEED WITH THE WORK IN ACCORDANCE WITH THE ARCHITECT'S MODIFICATIONS.

STRUCTURAL STEEL

1. ALL STEEL SECTIONS AND PLATES (INCLUDING COLUMN BASE PLATES) SHOWN ON STRUCTURAL DRAWINGS ARE TO BE INCLUDED IN THE STRUCTURAL STEEL CONTRACT UNLESS OTHERWISE NOTED.
2. ALL STEEL SHALL BE NEW STEEL MANUFACTURED IN THE U.S.A., SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CURRENT A.I.S.C. STANDARDS AND APPLICABLE CODES, AND SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS UNLESS OTHERWISE NOTED:

WIDE FLANGES AND STRUCTURAL TEES (WT):	ASTM A992
CHANNELS, ANGLES, PLATES, CONN. MAT'L:	ASTM A36
HOLLOW STRUCTURAL SECTIONS (HSS):	ASTM A500, GRADE C
STEEL PIPE:	ASTM A53, GRADE B

3. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (LATEST EDITIONS).
4. ALL STRUCTURAL STEEL SHALL BE OF SIZE SHOWN ON DRAWINGS AND SHALL BE STRAIGHT AND FREE OF TWIST. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL OF THE ARCHITECT.
5. ALL COLUMN BEARING ENDS TO BE TRUE AND SQUARE. ALL COLUMNS TO BE PLUMB AND LEVEL BEARING.
6. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION, DETAILS, FIELD ASSEMBLY DETAILS, AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL. ALL SHOP DRAWINGS MUST BE COMPLETE FOR ALL STRUCTURAL STEEL WITH BEAM SIZES, MARKS, ETC. SHOWN ON ERECTION PLANS. ALL SHOP DRAWINGS SHALL BE PREPARED UNDER THE DIRECTION OF A LICENSED STRUCTURAL ENGINEER IN THE STATE OF ILLINOIS.
7. ALL CONNECTIONS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR/ERECTOR, UNLESS OTHERWISE NOTED. DESIGN AND DETAILING SHALL BE PERFORMED USING RATIONAL ENGINEERING PROCEDURES SUCH AS THOSE DESCRIBED IN THE "AISC MANUAL OF STEEL CONSTRUCTION." THE GENERAL DETAILS SHOWN ON THE DRAWINGS ARE CONCEPTUAL ONLY AND, UNLESS SPECIFICALLY NOTED, DO NOT INDICATE THE REQUIRED NUMBER OF BOLTS OR WELD SIZES. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW ENGINEERING CALCULATIONS, WITH CONNECTION DETAIL DRAWINGS, FOR EACH CONNECTION TYPE, MEMBER SIZE, AND FORCE INDICATED ON THE STRUCTURAL DRAWINGS. CALCULATIONS SHALL BE SUBMITTED PRIOR TO THE SUBMITTAL OF STRUCTURAL STEEL SHOP DRAWINGS. THE CALCULATIONS SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF, AND SEALED BY, A LICENSED STRUCTURAL ENGINEER IN THE STATE OF ILLINOIS.
8. ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP AND WITH CAMBER INDICATED CLEARLY ON THE STEEL WITH INDELIBLE IDENTIFICATION.
9. SEE SPECIFICATIONS FOR METHOD OF SURFACE PREPARATION AND FOR SHOP AND FIELD PAINT.
10. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
11. SEE SPECIFICATIONS FOR SHOP & FIELD INSPECTION AND TESTING OF STRUCTURAL STEEL.
12. TYPICAL CONNECTION CONFIGURATIONS AND CAPACITIES ARE SHOWN ON THE STRUCTURAL DRAWINGS - SEE "TYPICAL STEEL DETAILS" SHEETS.
13. BOLTED CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS WITH THREADS INCLUDED IN SHEAR PLANE (A325-N) UTILIZING 7/8" DIAMETER BOLTS TIGHTENED TO AISC SNUG-TIGHT CONDITIONS UNLESS OTHERWISE SHOWN OR NOTED. ALL BOLTS SHALL BE MANUFACTURED IN THE U.S.A.
14. THE FACTORED LOADS TO BE RESISTED BY THE INDIVIDUAL MEMBERS AND THEIR CONNECTIONS ARE SHOWN IN THE STRUCTURAL DRAWINGS.
15. WELDED CONNECTIONS SHALL BE AS SHOWN ON DETAILS. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND IN ACCORDANCE WITH THE PUBLISHED RECOMMENDATIONS OF THE AMERICAN WELDING SOCIETY AND AS NOTED IN THE AISC SPECIFICATIONS, UNLESS OTHERWISE SHOWN. MINIMUM TENSILE STRENGTH OF ELECTRODES SHALL BE 70 KSI.
16. SHOP CONNECTIONS SHALL BE WELDED OR BOLTED. WELDS SHALL BE DESIGNED TO BE FULLY EQUIVALENT IN STRENGTH TO BOLTED CONNECTIONS.
17. ALL STEEL MEMBERS EXTENDING BELOW GROUND FLOOR SLAB SHALL BE ENCASED IN A MINIMUM OF 3" OF CONCRETE.
18. ALL STEEL MEMBERS AND FASTENERS EXPOSED TO WEATHER IN THE COMPLETED BUILDING OR WITHIN EXTERIOR WALLS (SUCH AS GRILLAGE STEEL, LINTELS, AND SHELF ANGLES) SHALL BE HOT-DIP GALVANIZED.

METAL DECK

1. DECKS SHALL BE AS CALLED FOR ON DRAWINGS AND IN THE SPECIFICATIONS AND SHALL BE SECURELY FASTENED TO THE STEEL FRAMEWORK BY WELDS NO LESS THAN 5/8" DIAMETER AT 12" CENTERS MAXIMUM. SIDE LAPS SHALL BE FASTENED 36" MAXIMUM ON CENTER (MINIMUM 3 PER SPAN) UNLESS NOTED OTHERWISE.
2. ALL DECKING SHALL BE WELDED TO STRUCTURAL STEEL BY QUALIFIED WELDERS USING PRE-QUALIFIED PROCEDURES, OR PROCEDURES QUALIFIED THROUGH AWS D1.3 WHERE NO PRE-QUALIFIED PROCEDURES EXIST. THE ERECTOR SHALL ESTABLISH A WELDING PROCEDURE FOR THE PLUG WELD OF THE STEEL DECKING TO THE STRUCTURAL STEEL FOR THE PARTICULAR GAUGE OF DECK USED. PRIOR TO THE START OF ERECTION OF THE STEEL DECK, EACH WELDER SHALL BE QUALIFIED USING THIS PROCEDURE AS WITNESSED BY THE PROJECT STRUCTURAL STEEL TESTING LABORATORY.
3. ALL METAL DECKS SHALL BE DESIGNED FOR AT LEAST THE CONDITIONS SHOWN ON THE DRAWINGS. METAL DECK SHALL BE MANUFACTURER'S STANDARD OF TYPE, MINIMUM GAUGE, AND SECTION INDICATED ON THE DRAWINGS. SECTION PROPERTIES SHALL BE COMPUTED IN ACCORDANCE WITH A.I.S.I. "SPECIFICATION FOR THE DESIGN OF LIGHT GAUGE COLD FORMED STEEL STRUCTURAL MEMBERS" (LATEST EDITION). THE METAL DECK SHALL BE DESIGNED TO BE CONTINUOUS OVER THREE (3) SPANS AND SHALL SATISFY LOAD AND DEFLECTION REQUIREMENTS. SINGLE AND DOUBLE SPANS, IF REQUIRED, SHALL ALSO SATISFY LOAD AND DEFLECTION REQUIREMENTS.
4. CONFORM TO MANUFACTURER'S RECOMMENDED MAXIMUM UNSHORED SPAN FOR COMPOSITE METAL DECK. WHERE SPANS EXCEED THESE VALUES PROVIDE SHORING OR INCREASED DECK GAUGE TO ACCOMMODATE UNSHORED SPANS.
5. DECK CONFIGURATION AND STUD ARRANGEMENT WHERE REQUIRED SHALL BE SUCH AS TO PROPERLY ACCOMMODATE SHEAR STUDS TO DEVELOP THEIR FULL SOLID SLAB CAPACITY PER AISC. VERIFICATION BY TEST IS REQUIRED. ADDITIONAL STUDS WILL BE REQUIRED IF AISC FULL SOLID SLAB VALUES ARE NOT ATTAINED WITH THE DECK PROFILE PROVIDED.
6. THE FABRICATOR/ERECTOR SHALL PROVIDE ENGINEERING CALCULATIONS OR PUBLISHED MANUFACTURER'S DATA TO THE ARCHITECT FOR REVIEW. PROVIDE ENGINEERED SHOP DRAWINGS CHECKED BY THE GENERAL CONTRACTOR INDICATING LOCATION, GAUGE, AND SIZE OF EACH PIECE OF DECKING. THE DRAWINGS SHALL CLEARLY SHOW WELDING DETAILS TO STRUCTURAL FRAMING AND SIDE LAP CONNECTION DETAILS. THE SHOP DRAWINGS SHALL CLEARLY SHOW SHEAR STUD PLACEMENT AND ALL EDGE CLOSURES.
7. NO LOADS SHALL BE PERMITTED TO BE HUNG DIRECTLY FROM METAL ROOF DECKING (FOR EXAMPLE; SUSPENDED MECHANICAL EQUIPMENT, DUCTWORK, CONDUIT, PIPING, LIGHTING, CEILINGS) WITHOUT PRIOR APPROVAL OF THE ARCHITECT. PROPOSED HANGING LOADS, DETAILS, AND FASTENERS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. MAXIMUM HANGING LOAD PER FASTENER IS NOT TO EXCEED 50 LBS AT METAL ROOF DECKING.
8. METAL DECK MANUFACTURER SHALL SUBMIT CERTIFICATION THAT THE STRUCTURAL FLOOR ASSEMBLY MEETS THE SPECIFIED FIRE RATING.

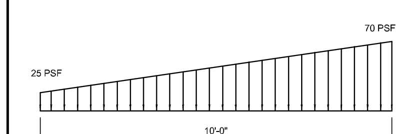
CONSTRUCTION DETAILS

1. ALL ELEVATIONS SHOWN ARE WITH RESPECT TO EXISTING FIRST FLOOR T/SLAB ELEVATION: +100'-0" PER EXISTING DRAWINGS.
2. GENERAL CONTRACTOR MUST CHECK WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND VERIFY THE SIZE AND LOCATION OF OPENINGS, SLEEVES, CHASES, CONDUIT, DEPRESSED AREAS, FLOOR FINISHES, FILLS, ANCHORS, PRECAST, STONE AND MASONRY DETAILS, HANGERS, CURBS, AND OTHER MISCELLANEOUS ITEMS CONNECTED WITH CONCRETE CONSTRUCTION BEFORE PLACING CONCRETE. SUBMIT SLEEVE AND EMBEDDED ITEM SHOP DRAWINGS FOR REVIEW BEFORE PLACING CONCRETE.
3. WHERE MONOLITHIC OR INTEGRAL FINISH IS CALLED FOR ON THE DRAWINGS, DEPTH MUST BE MEASURED FROM FINISHED FLOOR.
4. WHERE FLOOR IS DEPRESSED FOR FINISHES AS SHOWN ON THE DRAWINGS, THE DEPTH OF THE SLABS AND BEAMS MUST BE MEASURED FROM THE DEPRESSED AREA.
5. THE SIZE AND LOCATION OF OPENINGS THROUGH SLABS AND WALLS AS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE CHANGED WITHOUT THE APPROVAL OF THE ARCHITECT. ALL OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS INCLUDING PIPE SLEEVES AND CORED HOLES MUST BE SUBMITTED TO AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH WORK.
6. FOR LINTELS OVER EXTERIOR AND INTERIOR OPENINGS SEE ARCHITECTURAL DRAWINGS. LOOSE LINTELS TO HAVE A MINIMUM END BEARING OF 8".
7. LOCATION OF CONSTRUCTION JOINTS IS TO BE APPROVED BY THE ARCHITECT.
8. NO HORIZONTAL CONSTRUCTION JOINTS WILL BE ALLOWED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
9. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE INTERNATIONAL BUILDING CODE, {INSERT DATE HERE} EDITION AND ALL APPLICABLE LOCAL CODES.
10. NO CONDUIT OF ANY KIND SHALL BE EMBEDDED IN CONCRETE CONSTRUCTION OTHER THAN SLAB ON GRADE CONSTRUCTION.

DESIGN DETAILS

1. FIRST FLOOR
   DEAD LOADS:
   X" METAL DECK w/ X" N.W. CONC. — X PSF
   HANGING AND CEILING — X PSF
   LIVE LOADS:
   CORRIDORS — X PSF
   LABORATORIES — X PSF
2. ROOF, TYPICAL (NEW ADDITION)
   DEAD LOADS:
   X" METAL DECK, MEMBRANE & INSULATION — X PSF
   HANGING AND CEILING — X PSF
   GREEN ROOF PLANTER SYSTEM (SATURATED) — X PSF
   LIVE LOADS:
   FLAT ROOF SNOW LOAD — X PSF
   DRIFT — SEE DIAGRAM
3. OFFICE BLDG.-WALLS
   EXTERIOR:
   CURTAIN WALL (VERT. SURFACE) — X PSF
   PARAPET — X PLF
   INTERIOR:
   PERMANENT INTERIOR WALLS IN ACCORDANCE WITH WALL CONSTRUCTION
   PENTHOUSE AND CURB WALL — X PLF
7. HANDRAILS:
   50 PLF UNIFORM LOAD APPLIED IN ANY DIRECTION OR 200 LB. CONCENTRATED LOAD APPLIED IN ANY DIRECTION
   GUARDRAILS:
   50 PLF UNIFORM LOAD APPLIED HORIZONTALLY AT GUARD HEIGHT PLUS A SIMULTANEOUS 100 PLF UNIFORM LOAD APPLIED VERTICAL DOWNWARD AT TOP GUARD OR 200 LB. CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ON THE TOP RAIL.
   GUARD IN FILL AREA:
   200 LB. HORIZONTAL FORCE APPLIED ON A 1'-0"x1'-0" AREA AT ANY POINT (NOT TO BE APPLIED SIMULTANEOUSLY WITH GUARDRAIL FORCES.)
5. STAIRS AND LANDINGS (TYP.)
   DEAD LOAD — X PSF
   LIVE LOAD — X PSF
   CONCENTRATED LOAD OF 300 POUNDS AT CENTER OF TREADS
6. FLOORS SHALL BE DESIGNED TO SUPPORT A CONCENTRATED LOAD OF 2000 POUNDS APPLIED TO AN AREA 2'-6"x2'-6".
7. DESIGN LIVE LOAD REDUCTIONS SHALL BE IN ACCORDANCE WITH THE {INSERT CODE HERE} ({INSERT YEAR HERE}).
8. TEMPERATURE DIFFERENTIAL = +/- 70°F. (MINIMUM)
9. COLUMNS { } HAVE BEEN DESIGNED FOR AN ADDITIONAL { KIPS} TO ALLOW FOR FUTURE TENANT REQUIREMENTS.
10. LATERAL LOADS:
    EARTH PRESSURE — X PCF
    SURCHARGE — X PSF
11. WIND LOAD (OFFICE BLDG.)
    BUILDING STRUCTURE:
    GRADE TO 300 LEVEL — X PSF
    300 LEVEL TO 600 LEVEL — X PSF
    600 LEVEL TO P.H. FLOOR — X PSF
    P.H. FLOOR TO P.H. ROOF — X PSF
    COMPONENTS AND CLADDING:
    1. X PSF INWARD
    2. X PSF OUTWARD EXCEPT TOP STORY AND WITHIN 15'-0" OF BUILDING CORNERS
    3. X PSF OUTWARD AT TOP STORY, PENTHOUSE, AND WITHIN 15'-0" OF ALL BUILDING CORNERS

DRIFT DIAGRAM



ABBREVIATIONS

AB	ANCHOR BOLT	M	MOMENT
ADD	ADDENDUM	MAS	MASONRY
ADD'L	ADDITIONAL	MAX	MAXIMUM
AGG	AGGREGATE	MC	MOMENT CONN
ALT	ALTERNATE	MECH	MECHANIC(AL)
ANCH	ANCHOR(AGE)	MIN	MINIMUM
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECT(URAL)	MTL	METAL
AVG	AVERAGE		
		N	NORTH
BLDG	BUILDING	NO	NUMBER
BM	BEAM	NOM	NOMINAL
BOTT	BOTTOM	NS	NEAR SIDE
BRG	BEARING	NTS	NOT TO SCALE
BS	BOTH SIDES	NWC	NORMAL WEIGHT CONCRETE
BSMT	BASEMENT		
		OC	ON CENTER
CEM	CEMENT	OD	OUTSIDE DIAMETER
CF	CUBIC FOOT	OH	OPPOSITE HAND
CL	CENTER LINE	OPG	OPENING
CLR	CLEAR (COVER)	OPP	OPPOSITE
CMU	CONC MAS UNIT		
COL	COLUMN	PAR	PARALLEL
COMP	COMPOSITE	PC	PRECAST CONCRETE
CONC	CONCRETE	PCF	POUNDS PER CUBIC FOOT
CONN	CONNECTION	PEN	PENETRATION
CONST	CONSTRUCTION	PERP	PERPENDICULAR
CONT	CONTINUE, CONTINUOUS	PL	PLATE
CONTR	CONTRACT(OR)	PL	PROPERTY LINE
CU	CUBIC	PLBG	PLUMBING
CY	CUBIC YARD	PLF	POUNDS PER LINEAR FOOT
		PNT	PAINT(ED)
		PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PSI	POUNDS PER SQUARE INCH
DEG	DEGREE	PT	POINT
DIA	DIAMETER	PRES	PRESSURE
DIAG	DIAGONAL		
DIM	DIMENSION	QTY	QUANTITY
DL	DEAD LOAD		
DTL	DETAIL		
DWG	DRAWING	RAD	RADIUS
DWL	DOWEL	REF	REFERENCE
		REINF	REINFORCE(D)(ING)(MENT)
E	EAST	REQ'D	REQUIRED
EA	EACH	RET	RETURN
EF	EACH FACE	RND	ROUND
EL	ELEVATION		
EQ	EQUAL	S	SOUTH
EW	EACH WAY	SC	SLIP CRITICAL
EXG	EXISTING	SCHED	SCHEDULE
EXP	EXPANSION	SECT	SECTION
EXT	EXTERIOR	SHT	SHEET
		SIM	SIMILAR
		SP	SPECIAL
FIN	FINISH(ED)	SPEC	SPECIFICATION(S)
FLR	FLOOR(ING)	SQ	SQUARE
FND	FOUNDATION	STD	STANDARD
FP	FIREPROOF(ING)	STIFF	STIFFENER
FS	FAR SIDE	STL	STEEL
FT	FEET	STRUC	STRUCTURE(AL)
FTG	FOOTING	SYM	SYMMETRY(ICAL)
GA	GAGE	T&B	TOP AND BOTTOM
GC	GENERAL CONTRACTOR	T/CONC	TOP OF CONCRETE
HORIZ	HORIZONTAL	T/SL	TOP OF SLAB
HP	HIGH POINT	T/STL	TOP OF STEEL
HT	HEIGHT	TEMP	TEMPERATURE
		TFE	TOP OF FOOTING ELEVATION
ID	INSIDE DIAMETER	THK	THICKNESS
IN	INCH	THRU	THROUGH
INCL	INCLUDE(D)(ING)	TOL	TOLERANCE
INFO	INFORMATION	TYP	TYPICAL
INT	INTERIOR		
		UL	UNDERWRITER'S LABORATORY
JT	JOINT		
K	KIPS	V	SHEAR FORCE
KSF	KIPS PER SQ. FT	VERT	VERTICAL
KSI	KIPS PER SQ. IN	VOL	VOLUME
L	LENGTH	W	WEST
LAT	LATERAL	W	WIDTH, WIDE
LB	POUND	W/	WITH
LIN	LINEAR	W/O	WITH OUT
LL	LIVE LOAD	WP	WORK POINT
LLH	LONG LEG HORIZ	WT	WEIGHT
LLV	LONG LEG VERT	WWF	WELDED WIRE FABRIC
LW	LIGHTWEIGHT		
LWC	LIGHTWEIGHT CONCRETE		

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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	Author
Checked	Checker
Proj. Arch./Eng.	Approver

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

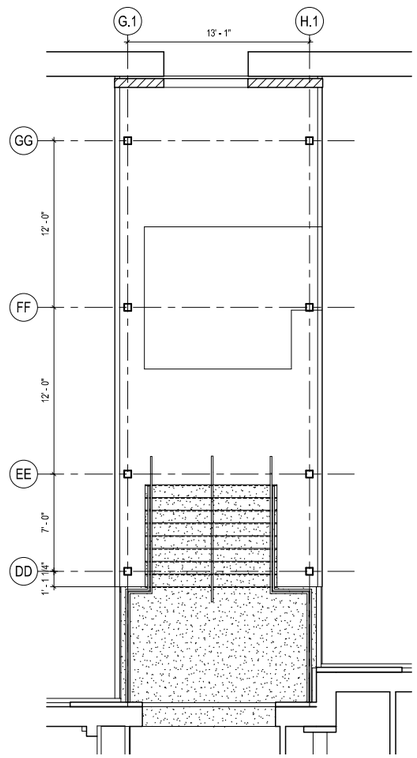
7400 Augusta St
River Forest, IL 60305

Project Name

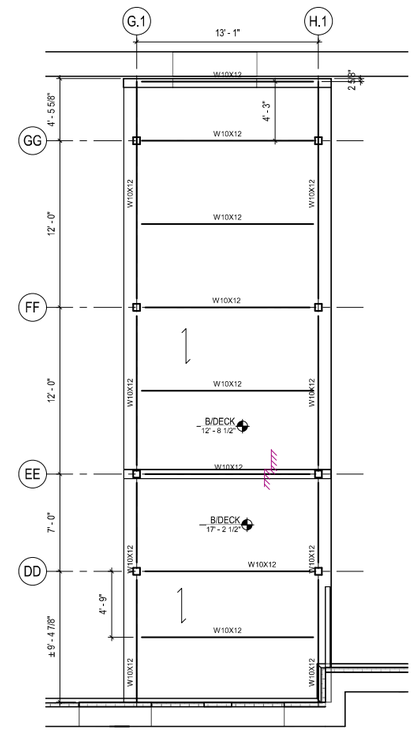
GENERAL NOTES AND KEY PLAN

Sheet Name

Drawing No. S1-0



2 FOUNDATION PLAN
S2-1 1/4" = 1'-0"



1 ROOF FRAMING PLAN
S2-1 1/4" = 1'-0"

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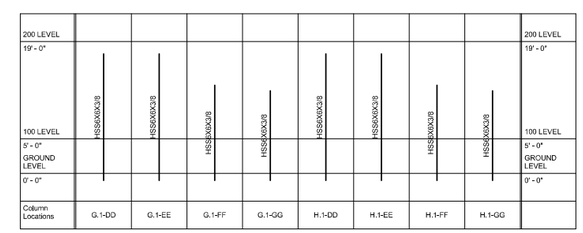
River Forest, IL 60305

Project Name

FOUNDATION PLAN & ROOF FRAMING PLAN

Sheet Name

Drawing No. **S2-1**



Graphical Column Schedule
N.T.S.

PROGRESS 5/10/2018

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[illegible] Chicago, IL [illegible]
Tel: [illegible] Fax: [illegible]
www.holabird.com

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Project Name

COLUMN SCHEDULE

Sheet Name

Drawing No. **S3-1**

db = BAR DIAMETER

Ld = TENSION DEVELOPMENT LENGTH

Ldt = TENSION DEVELOPMENT LENGTH FOR TOP BAR

La = CLASS A LAP SPLICE LENGTH, 1.0 Ld

Lat = CLASS A LAP SPLICE LENGTH FOR A TOP BAR, 1.0 Ld

Lb = CLASS B LAP SPLICE LENGTH, 1.3 Ld

Lbt = CLASS B LAP SPLICE LENGTH FOR A TOP BAR, 1.3 Lbt

Ldh = TENSION DEVELOPMENT LENGTH FOR A STANDARD HOOK

Ldc = COMPRESSION DEVELOPMENT LENGTH

Lcl = COMPRESSION LAP SPLICE LENGTH

1 DEVELOPMENT AND SPLICE LENGTH ABBREVIATIONS

S4-1 N.T.S.

f'c = 3,000 psi
fy = 60,000 psi

SIZE	Ld	Ldt	La	Lat	Lb	Lbt	Ldh	Ldc	Lcl
#4	22 (33)	28 (43)	22 (33)	28 (43)	28 (43)	37 (56)	11	11	15
#5	27 (41)	36 (53)	27 (41)	36 (53)	36 (53)	46 (69)	14	14	19
#6	33 (49)	43 (64)	33 (49)	43 (64)	43 (64)	56 (83)	16	16	23
#7	48 (72)	62 (94)	48 (72)	62 (94)	62 (94)	81 (122)	19	19	26
#8	55 (82)	71 (107)	55 (82)	71 (107)	71 (107)	93 (139)	22	22	30
#9	62 (93)	80 (121)	62 (93)	80 (121)	80 (121)	104 (157)	25	25	34
#10	70 (104)	70 (104)	70 (104)	70 (104)	70 (104)	118 (176)	28	28	38
#11	77 (116)	77 (116)	77 (116)	77 (116)	77 (116)	131 (196)	31	34	42

NOTES:
1. USE THE LENGTHS IN THIS SCHEDULE, UNLESS NOTED OTHERWISE.
2. USE LENGTH IN PARENTHESIS ( ) WHEN BAR COVER IS db OR LESS OR WHEN BAR CLEAR SPACING IS 2db OR LESS.
3. A TOP BAR IS A HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.

2 DEVELOPMENT AND SPLICE LENGTH SCHEDULE - f'c = 3,000 psi

S4-1 N.T.S.

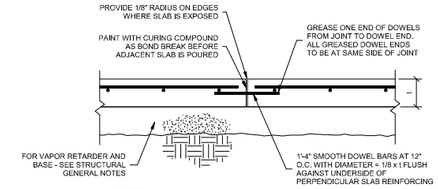
f'c = 4,000 psi
fy = 60,000 psi

SIZE	Ld	Ldt	La	Lat	Lb	Lbt	Ldh	Ldc	Lcl
#4	19 (28)	25 (37)	19 (28)	25 (37)	25 (37)	32 (48)	10	9	15
#5	24 (36)	31 (46)	24 (36)	31 (46)	31 (46)	40 (60)	12	12	19
#6	28 (43)	37 (55)	28 (43)	37 (55)	37 (55)	48 (72)	14	14	23
#7	41 (62)	54 (81)	41 (62)	54 (81)	54 (81)	70 (105)	17	17	26
#8	47 (71)	62 (92)	47 (71)	62 (92)	62 (92)	80 (120)	19	19	30
#9	53 (80)	70 (104)	53 (80)	70 (104)	70 (104)	90 (136)	21	21	34
#10	60 (90)	78 (117)	60 (90)	78 (117)	78 (117)	102 (153)	24	24	38
#11	67 (100)	87 (130)	67 (100)	87 (130)	87 (130)	113 (169)	27	27	42

NOTES:
1. USE THE LENGTHS IN THIS SCHEDULE, UNLESS NOTED OTHERWISE.
2. USE LENGTH IN PARENTHESIS ( ) WHEN BAR COVER IS db OR LESS OR WHEN BAR CLEAR SPACING IS 2db OR LESS.
3. A TOP BAR IS A HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.

3 DEVELOPMENT AND SPLICE LENGTH SCHEDULE - f'c = 4,000 psi

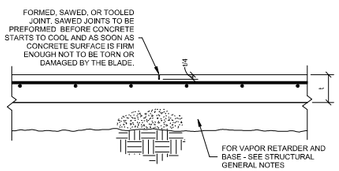
S4-1 N.T.S.



NOTES:
1. REFER TO PLAN FOR SLAB THICKNESS AND REINFORCING.
2. CONSTRUCTION JOINTS PER THIS DETAIL SHALL BE CONSIDERED AS CONTROL JOINTS FOR CONTROL JOINT SPACING REQUIREMENTS.
3. SEE ARCHITECTURAL DOCUMENTS FOR SEALANT REQUIREMENTS AT JOINTS.

4 SLAB ON GRADE CONSTRUCTION JOINT

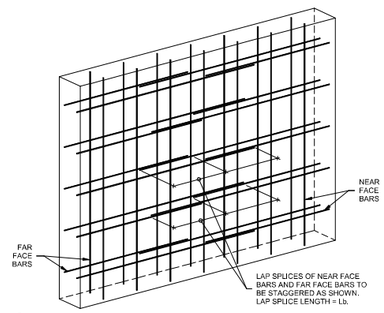
S4-1 N.T.S.



NOTES:
1. REFER TO PLAN FOR SLAB THICKNESS AND REINFORCING.
2. CONTROL JOINTS TO BE SPACED AT APPROXIMATELY 24 TO 36 TIMES THE SLAB THICKNESS, UP TO 18'-0" MAXIMUM.
3. RATIO OF DISTANCE BETWEEN CONTROL JOINTS IN EACH DIRECTION FOR A SLAB PANEL SHALL NOT EXCEED 1.5.
4. SEE ARCHITECTURAL DOCUMENTS FOR SEALANT REQUIREMENTS AT JOINTS

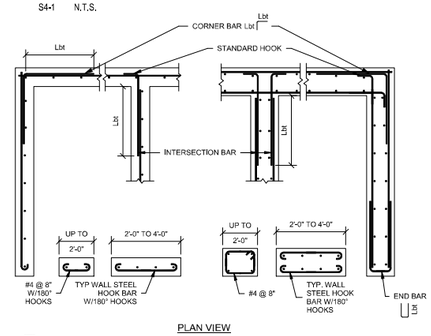
5 SLAB ON GRADE CONTROL JOINT

S4-1 N.T.S.



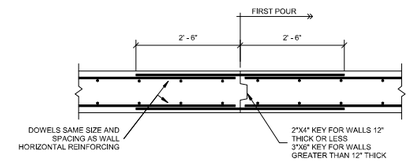
6 CONCRETE WALL HORIZONTAL REINFORCING SPLICE

S4-1 N.T.S.



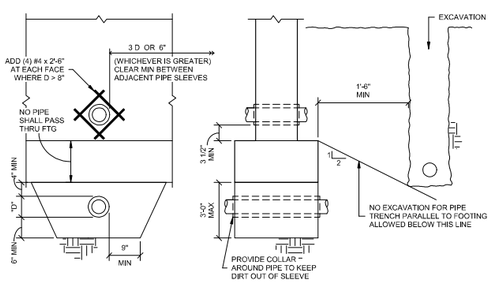
7 CONCRETE WALL DETAILS

S4-1 N.T.S.



8 CONSTRUCTION JOINT AT WALL

S4-1 N.T.S.

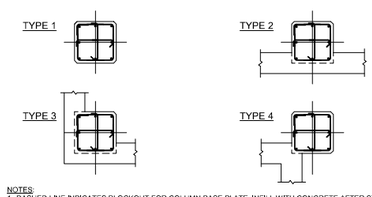


NOTES:
1. STEP FOOTING PER TYPICAL STEPPED FOOTING DETAILS AS REQUIRED TO SATISFY THESE CONDITIONS.
2. GENERAL CONTRACTOR TO COORDINATE EXACT DEPTH AND LOCATION OF PIPE.

9 PIPE AT WALL FOOTING

S4-1 N.T.S.

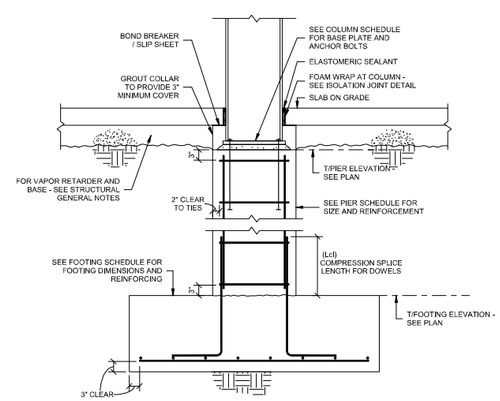
MARK	TYPE	SIZE	REINFORCING				REMARKS
			VERT.	TIES	DOWELS	SPLICE	



NOTES:
1. DASHED LINE INDICATES BLOCKOUT FOR COLUMN BASE PLATE. INFILL WITH CONCRETE AFTER STEEL ERECTION.
2. COORDINATE TIE LAYOUT TO AVOID CONFLICTS WITH ANCHOR BOLTS.
3. CONTINUE WALL REINFORCING THROUGH PIER

10 CONCRETE PIER SCHEDULE

S4-1 N.T.S.

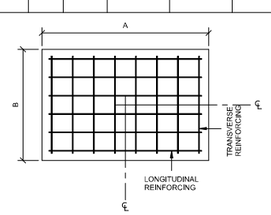


NOTE:
UNDERSLAB VAPOR RETARDER TO BE SEALED TO STEEL COLUMN

13 INTERIOR STEEL COLUMN ON PIER AND SPREAD FOOTING

S4-1 N.T.S.

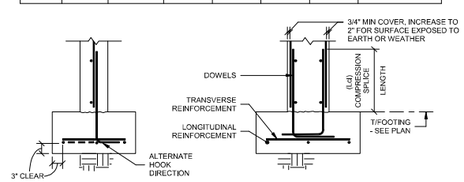
MARK	DIMENSIONS			REINFORCING		REMARKS
	A	B	THICKNESS	LONGITUDINAL	TRANSVERSE	



11 SPREAD FOOTING SCHEDULE

S4-1 N.T.S.

MARK	SIZE		REINFORCEMENT				REMARKS
	WIDTH	THICKNESS	LONG.	TRANS.	DOWELS	SPLICE	



12 WALL FOOTING SCHEDULE

S4-1 N.T.S.

PROGRESS 5/10/2018

HOLABIRD & ROOT

[illegible]
Tel: [illegible] Fax: [illegible]
www.holabird.com

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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	Author
Checked	Checker
Proj. Arch./Eng.	Approver

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St
River Forest, IL 60305

Project Name

TYPICAL CONCRETE DETAILS

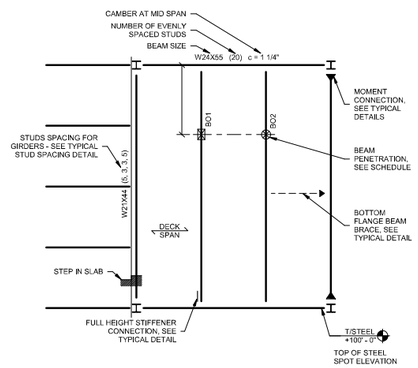
Sheet Name

Drawing No. **S4-1**

NOTES

1. THE FACTORED LOADS TO BE RESISTED BY THE INDIVIDUAL MEMBERS AND THEIR CONNECTIONS ARE SHOWN IN THE STRUCTURAL DESIGN DRAWINGS.
2. STEEL CONNECTION DETAILS SHOW GENERAL CRITERIA FOR DESIGN AND DETAILING, AND ARE NOT INTENDED TO SHOW COMPLETE CONNECTION CONFIGURATIONS OR OTHER SPECIFIC INFORMATION THAT IS THE RESPONSIBILITY OF THE CONNECTION DESIGN ENGINEER. ALTERNATE CONNECTION CONFIGURATIONS MAY BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
3. TYPICAL STEEL CONNECTIONS USE 7/8" Ø A325-N BOLTS PER AISC STANDARDS, UNLESS NOTED OTHERWISE.
4. BOLTS TO BE TIGHTENED TO AISC SNUG-TIGHT CONDITION UNLESS NOTED OTHERWISE. PRETENSIONED BOLTS ARE REQUIRED IN LOCATIONS SPECIFIED BY AISC 360-10, SECTION J1.10.
5. CONNECTIONS TO HAVE AISC STANDARD ROUND HOLES UNLESS NOTED OTHERWISE.
6. ALL CONNECTION PLATE MATERIALS TO BE A36 UNLESS NOTED OTHERWISE.

1 CONNECTION NOTES
S5-1 N.T.S.

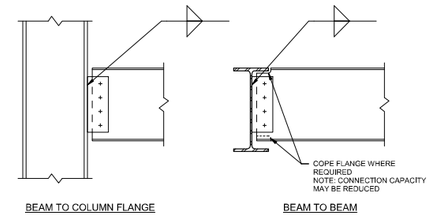


2 STEEL FRAMING SYMBOLS
S5-1 N.T.S.

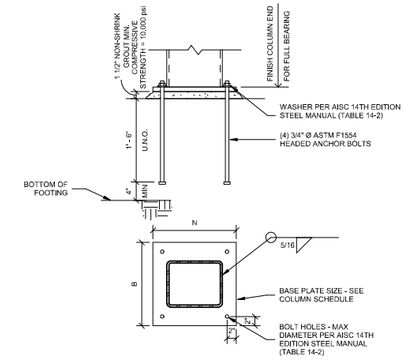
BEAM SIZE	NO. OF BOLTS	AISC CONNECTION CAPACITY (LRFD)
W8	2	26.1 K
W10	2	26.1 K
W12	3	39.2 K
W14	3	39.2 K
W16	4	65.3 K
W18	4	65.3 K

BEAM SIZE	NO. OF BOLTS	AISC CONNECTION CAPACITY (LRFD)
W21	5	81.6 K
W24	6	117 K
W27	7	137 K
W30	8	181 K
W33	9	203 K
W36	9	203 K

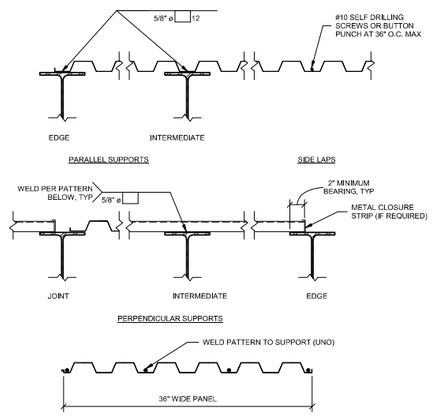
NOTES:
1. REFER TO AISC MANUAL OF STEEL CONSTRUCTION (14TH EDITION) FOR PLATE DIMENSIONS AND WELDS (TABLE 10-10a)
2. SHORT SLOTTED HOLES TRANSVERSE TO DIRECTION OF LOAD ARE PERMITTED IN THE CONNECTION PLATE.



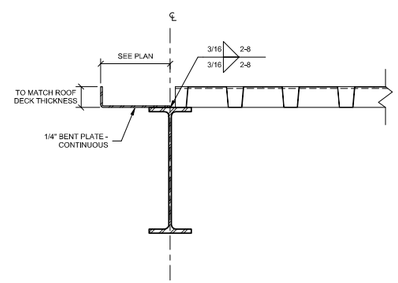
3 SINGLE-PLATE SHEAR CONNECTION
S5-1 N.T.S.



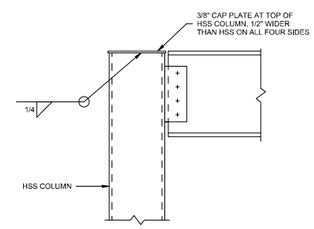
4 BASE PLATE TYPE BP-4
S5-1 N.T.S.



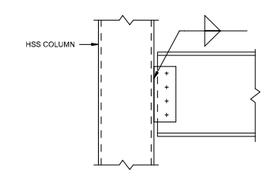
5 ROOF DECK FASTENING
S5-1 N.T.S.



6 ROOF DECK EDGE AT PERIMETER
S5-1 N.T.S.



7 CAP PLATE AT HSS COLUMN
S5-1 N.T.S.



NOTE: FOR FURTHER INFORMATION, REFER TO TYPICAL SINGLE PLATE SHEAR CONNECTION

8 SINGLE-PLATE CONNECTION TO HSS
S5-1 N.T.S.

PROGRESS 5/10/2018

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[illegible]
Tel: [illegible] Fax: [illegible]
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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	Author
Checked	Checker
Proj. Arch./Eng.	Approver

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St.
River Forest, IL 60305

Project Name

TYPICAL STEEL DETAILS

Sheet Name

Drawing No. **S5-1**

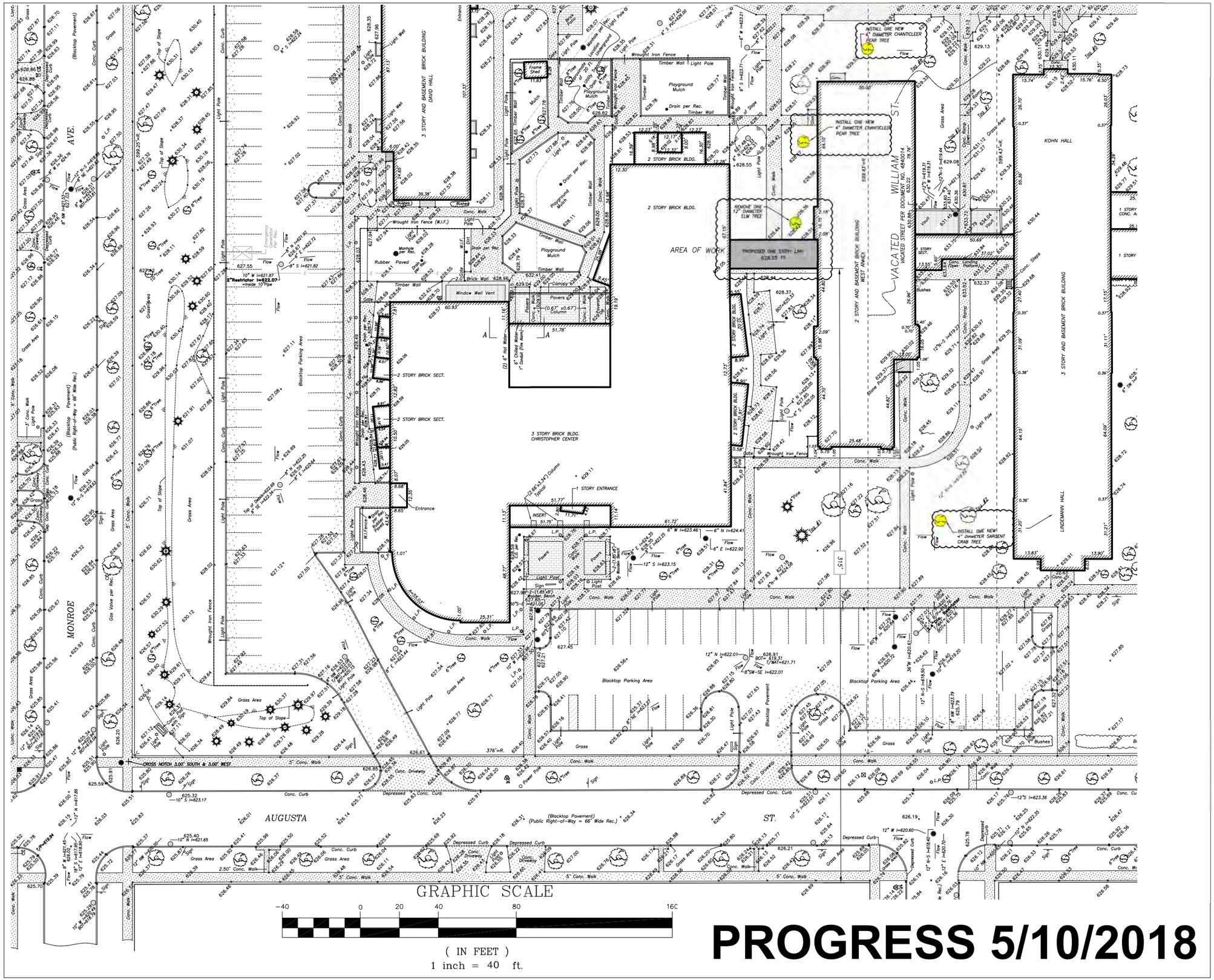
IX. Landscaping Plan

The Development Review Board had previously granted Concordia a waiver of the requirement to provide a landscaping plan. However, when the final construction drawings were submitted, Concordia realized that waiver could no longer apply. Concordia withdraws its previously approved request for a waiver of the landscape plan.

The proposed development requires removal of a 12” diameter tree immediately adjacent to the proposed enclosed pedestrian walkway. Concordia plans to replace that tree with the planting of three four-inch diameter trees: A Chanticleer Pear directly north of the West Annex, a Chanticleer Pear directly north of the tree to be removed, and a Sargent Crab southeast of the West Annex.

A landscape plan showing the locations of these four trees follows this page.

The rest of this page is intentionally left blank.



PROGRESS 5/10/2018

HOLABIRD & ROOT
140 South Dearborn Chicago, IL 60603
Tel: 312 357 1771 Fax: 312 357 1909
www.holabird.com

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No.	Date	Issue
1	5/10/2018	PROGRESS

Project Number	15896
Drawn	S. REKAS
Checked	G. GRUNLOH
Proj. Arch./Eng.	G. GRUNLOH

CONCORDIA UNIVERSITY CHICAGO

West Annex & Christopher Center Link

7400 Augusta St
River Forest, IL 60305

Project Name

ARCHITECTURAL LANDSCAPE PLAN

Sheet Name

Drawing No. **AS1-2**

X. Covenants, Easements, Other Restrictions

Concordia does not anticipate any change in existing easements to accommodate this project since the proposed enclosed pedestrian walkway is between two buildings and interior to the campus.

There are no existing easements in the area where the pedestrian walkway is planned.

The rest of this page is intentionally left blank.

XI. Schedule of Development

a. Beginning Date

The beginning date depends upon when this proposal is approved and permits are issued. The University hopes construction could begin in the summer of 2018.

b. Completion Date

Our contractor estimates the project will take 10 weeks to compete. Of note, the location of construction is so interior to the campus that we do not believe it will be a disruption to the surrounding community. We anticipate the movement of materials and the staging for the work will be north of the construction area inside the campus.

The rest of this page is intentionally left blank.

XII. Statement Acknowledging Responsibility of Applicant

a. Applicant's Responsibility to File with the Cook County Recorder of Deeds Office

The Applicant who is the owner, Concordia University Chicago, hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to record with the Cook County Recorder of Deeds a certified copy of the ordinance granting a planned development permit.

b. Provide Evidence of Filing within 30 Days of Planned Development

The Applicant, Concordia University Chicago, owns the property and hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to provide the Village with evidence of recording the above document within 30-days of passage of the Ordinance.

The rest of this page is intentionally left blank.

XIII. Professional Traffic Study

The proposed enclosed pedestrian walkway will not impact traffic flow or volume on any of the streets adjacent to the University.

At its meeting on May 3, 2018, the Development Review Board granted Concordia's request for a waiver of the requirement for a traffic study.

The rest of this page is intentionally left blank.

XIV. Professional Economic Study

a. Financial Capability

Concordia University Chicago has the financial capacity to assure completion of the proposed development. The University has already received the full amount of the funds necessary to complete the project from a donor.

b. Economic Viability and Impact

The proposed use is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village.

The proposed improvements are not of a nature to impose any new, material demands on municipal resources. The proposed improvements do not change the nature of activities on campus or impose any special demands on Village services. Rather, the proposed improvements should provide benefits for University faculty, staff, and students by providing an enclosed passageway between the West Annex and the Christopher Center.

At its meeting on May 3, 2018, the Development Review Board granted Concordia's request for a waiver of the requirement to submit a professional economic study.

The rest of this page is intentionally left blank.

XV. Copies of Environmental Impact Studies

The proposed development does not require the filing of any environmental impact studies as referenced in Section 10-19-6.B.14 of the Village of River Forest Zoning Ordinance. Prior studies have shown no environmental impact in the area of this project.

The rest of this page is intentionally left blank.

XVI. Estimated Demand on Village Services

The University does not anticipate this proposed development will require any additional services from Village departments or staff except as the Village may already provide directly or indirectly.

The University will continue to make its staff and facilities available for Village departments and activities to assist the Village wherever and whenever possible in accordance with current practice.

The rest of this page is intentionally left blank.

XVII. Off-Site Utility Improvements Required

Concordia does not anticipate any off-site utility improvements will be required as this is a short enclosed pedestrian walkway that will be interior to the campus.

Electrical service for lighting will come from one of the existing buildings at either end of the walkway.

The rest of this page is intentionally left blank.

XVIII. Site Drainage Plan

The plat at 7400 Augusta has a drainage system already installed. Based on the original platting of this area and subsequently utilized in the University's development, no new major installations are envisioned. This project will not create any drainage issues since construction envisions placing the enclosed pedestrian walkway primarily over an existing sidewalk. Accordingly, there is no need to update the previously approved site drainage plan.

At its meeting on May 3, 2018, the Development Review Board granted Concordia's request for waiver of any requirement to provide or update a site drainage plan.

The rest of this page is intentionally left blank.

XIX. Written Summary

a. Official Record of Resident's Meeting

At its meeting on May 3, 2018, the Development Review Board granted Concordia's request for a waiver of the requirement to hold a neighbor meeting.

b. Evidence of Proper Notice of Residents

The mailing list of property owners used for the announcement of the neighborhood meeting was prepared by Property Insight, LLC, 400 S. Jefferson, Chicago, IL 60607, based upon the specifications in the ordinance to notify owners of record of properties within the radius specified in the Village Code. Village officials approved the mailing list after known corrections and additions were made.

On May 22, 2018, Concordia sent the required Notice of the hearing before the Development Review Board to approximately 663 addresses. A copy of the Notice, mailing list, and certificate of mailing follow this page.

The rest of this page is intentionally left blank.

PUBLIC NOTICE
DEVELOPMENT REVIEW BOARD
RIVER FOREST, ILLINOIS

Public notice is hereby given that a Public Hearing will be held by the Development Review Board of the Village of River Forest, County of Cook, State of Illinois, on Thursday, June 21, 2018, at 7:30 p.m. in the Community Room of the River Forest Village Hall, 400 Park Ave., River Forest Illinois, on the following matters;

> Application # 18-04: Application for Amendment to Planned Development. The Applicant proposes to construct a one-story enclosed walkway between the Christopher Center and the West Annex building.

The address of the property is 7400 Augusta, River Forest, IL 60305. A legal description of the property is provided on page 2 of this Notice.

The applicant is Concordia University Chicago, 7400 Augusta, River Forest, IL 60305.

All interested persons will be given the opportunity to be heard at the Public Hearing. A copy of the application will be available to the public at the Village Hall as of Wednesday, June 6, 2016, or online at www.vrf.us.

Any questions regarding this project of the Planned Development process can be directed to:

Lisa Scheiner
Assistant Village Administrator
lscheiner@vrf.us
(708) 714-3554.

If you cannot attend the Public Hearing but would like to provide comments to the Development Review Board, you may submit comments in writing, via letter or email, no later than Wednesday, June 20, 2018.

Concordia University Chicago

Glen Steiner
Associate Vice President, Operations
Concordia University Chicago

The legal description of the property is as follows:

BLOCKS 2, 3, 4, 5, 6, AND 7 IN BOGUE'S ADDITION TO OAK PART, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6, AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK OUNTY, ILLINOIS EXCEPTING THREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.

CONCORDIA UNIVERSITY CHICAGO
1864

7400 Augusta Street
River Forest
Illinois 60305-1499
708-771-8300
fax 708-209-3176
www.CUChicago.edu

Certificate of Mailing Notice of Village Board Meeting

I, GLEN STEINER, Associate Vice President for Operations at Concordia University Chicago, certify that I caused the attached letter to be mailed to 663 property owners on the list provided to Village staff by causing the letters to be deposited postage paid, first class mail, in the mail box at the Oak Park postal substation at Concordia University, 7400 Augusta, River Forest, Illinois 60305, before the hour of four o'clock p.m. on May 22, 2018.

I further certify that the list of property owners is the same as the one previously prepared by Property Insight, and previously submitted to Village staff.

Dated: May 22, 2018

Glen Steiner
Associate Vice President for Operations
Concordia University Chicago

15-01-215-013-0000
Ms. Noreen Powers
Trinity High School
7574 Division St.
River Forest, IL 60305

15-01-216-009-0000
T R CUNNINGHAM
1240 MONROE AV
RIVER FOREST, IL 60305

15-01-216-010-0000
VANKER
1234 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-011-0000
JOHN A MORRISSEY III
1230 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-012-0000
IWEI HUANG
1224 MONROE AV
RIVER FOREST, IL 60305

15-01-216-013-0000
IWEI HUANG
1224 MONROE AV
RIVER FOREST, IL 60305

15-01-216-023-0000
ROBERT J KELLY
1220 MONROE AVE
RIVER FOREST, IL 60305

15-01-216-026-0000
CHRISTINE SHOW
1200 MONORE AV
RIVER FOREST, IL 60305

15-01-216-027-0000
STEPHEN M GRVZLO
1206 MONROE ST
RIVER FOREST, IL 60305

15-01-216-037-0000
WILLIAM J FUREY
1201 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-038-0000
LISA MOSS
1227 JACKSON
RIVER FOREST, IL 60305

15-01-216-039-0000
TIM MONICA MACNAMARA
1223 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-040-0000
DR ANGEL GALVEZ
1219 JACKSON AV
RIVER FOREST, IL 60305

15-01-216-041-0000
WENDY GALLERY
1215 JACKSON
RIVER FOREST, IL 60305

15-01-216-042-0000
ANA JOHN BARUN
1207 N JACKSON
RIVER FOREST, IL 60305

15-01-216-043-0000
STEVEN V NAPOLITANO
1212 N MONROE
RIVER FOREST, IL 60305

15-01-217-002-0000
NICHOLAS VANDERSCHIE
1241 MONROE
RIVER FOREST, IL 60305

15-01-217-003-0000
NICHOLAS VANDERSCHIE
1241 MONROE
RIVER FOREST, IL 60305

15-01-217-004-0000
ASKOLD L KOZBUR
1235 MONROE AV
RIVER FOREST, IL 60305

15-01-217-005-0000
CHARLES LUCCHESE
1231 MONROE
RIVER FOREST, IL 60305

15-01-217-006-0000
JOSEPH J DWYER
1225 MONROE
RIVER FOREST, IL 60305

15-01-217-007-0000
MATTHEW C MENEZES
1221 MONROE AVE 1
RIVER FOREST, IL 60305

15-01-217-008-0000
KARMALI
1215 MONROE AVE
RIVER FOREST, IL 60305

15-01-217-009-0000
BRIAN LINDA PROCTOR
1211 MONROE ST
RIVER FOREST, IL 60305

15-01-217-010-0000
JOHN H ANDERSEN
1205 MONROE AV
RIVER FOREST, IL 60305

15-01-217-012-0000
JOSE A L ARRUDA
1240 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-217-013-0000
DAVID R BERNI
1232 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-014-0000
J M DAGOSTINO
1226 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-015-0000
WILLIAM T SMITH
1220 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-016-0000
JUSTIN STEINBERG
1216 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-017-0000
JAMES P CAGNINA JR
1210 WILLIAM ST
RIVER FOREST, IL 60305

15-01-217-018-0000
THOMAS E PROTHERO
1202 WILLIAM ST
RIVER FOREST, IL 60305

15-01-218-005-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-006-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-007-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-008-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-218-009-0000
River Forest Park District
401 Thatcher Ave.
River Forest, IL 60305

15-01-220-012-0000
CATHERINE M ADDUCI
1227 WILLIAM STREET
RIVER FOREST, IL 60305

15-01-220-013-0000
MATTHEW SORRENTINO
1221 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-014-0000
MICHAEL HUGAR
1217 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-015-0000
DAVID MARY CHEN
1211 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-016-0000
J LEEF T MCKENZIE
1201 WILLIAM ST
RIVER FOREST, IL 60305

15-01-220-019-0000
PETER DEIRDRE LIES
1231 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-220-020-0000
MATT JANSEN
1255 N WILLIAM ST
RIVER FOREST, IL 60305

15-01-400-009-0000
COLUMBUS FAM TRUST
8383 WILSHIRE BLVD#500
BEVERLY HILS, CA 90211

15-01-400-010-0000
MICHAEL S PETROS
1140 JACKSON AV
RIVER FOREST, IL 60305

15-01-400-011-0000
BRIAN M LISTON
1134 N JACKSON AV
RIVER FOREST, IL 60305

15-01-400-012-0000
SYED M AHMED
1130 JACKSON AVE
RIVER FOREST, IL 60305

15-01-400-013-0000
BARRY BAUMAN
1122 N JACKSON AV
RIVER FOREST, IL 60305

15-01-400-014-0000
JEFFREY BERNARD
1114 JACKSON
RIVER FOREST, IL 60305

15-01-400-015-0000
J K OGUNKEYE
1110 JACKSON
RIVER FOREST, IL 60305

15-01-400-016-0000
CARMELO A SCALZO
1106 W JACKSON
RIVER FOREST, IL 60305

15-01-400-017-0000
PHILIP A MARCUS
1102 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-001-0000
CURTIS PINNELL TRSTEE
20 N WACKER 2800
CHICAGO, IL 60606

15-01-401-002-0000
WILLIAM GLEASON
1143 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-003-0000
COLIN MARY FITT
1139 JACKSON
RIVERFOREST, IL 60305

15-01-401-004-0000
CHRISTOPHER M MACKIE
1133 JACKSON
RIVER FOREST, IL 60305

15-01-401-005-0000
LAWRENCE C VOGEL
1127 JACKSON AV
RIVER FOREST, IL 60305

15-01-401-006-0000
R TUCCI L CALABRESE
1119 N JACKSON AV
RIVER FOREST, IL 60305

15-01-401-007-0000
BURTON KATHLEEN KLEI
1115 JACKSON
RIVER FOREST, IL 60305

15-01-401-008-0000
TIMOTHY SHEAHAN
1107 JACKSON AVE
RIVER FOREST, IL 60305

15-01-401-009-0000
TERRENCE J DONLIN
1101 JACKSON AV
RIVER FOREST, IL 60305

15-01-401-010-0000
DERK VALERIE SMART
1146 MONROE AV
RIVER FOREST, IL 60305

15-01-401-011-0000
DIANE L MUSTAIN
1142 MONROE AV
RIVER FOREST, IL 60305

15-01-401-012-0000
CHRISTOPHER B LYNN
1136 MONROE AVE
RIVER FOREST, IL 60305

15-01-401-013-0000
JAMES C VECCHIO
1130 MONROE
RIVER FOREST, IL 60305

15-01-401-014-0000
KRISTEN BRIAN VITALE
1126 MONROE AVENUE
RIVER FOREST, IL 60305

15-01-401-015-0000
THOMAS B QUINN
1122 MONROE AV
RIVER FOREST, IL 60305

15-01-401-016-0000
BERARDINO ORFEI
1118 MONROE AV
RIVER FOREST, IL 60305

15-01-401-017-0000
SALVADOR AMIE GAMINO
1112 MONROE AV
RIVER FOREST, IL 60305

15-01-401-018-0000
EDWARD MARISA GREEN
1106 MONROE
RIVER FOREST, IL 60305

15-01-401-019-0000
MARK KATHERINE BUTTE
1102 MONROE
RIVER FOREST, IL 60305

15-01-402-002-0000
Rev. David Lyle
Grace Lutheran Church
7300 Division St.
River Forest, IL 60305

15-01-402-003-0000
James McClanahan
Grace Lutheran Church
7300 Division St.
River Forest, IL 60305

15-01-403-001-0000
GRACE EVAN. LUTH. CH.
7300 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-012-0000
CST TAX DEPT 23852
PO BOX 711
DALLAS, TX 75221

15-01-403-013-0000
GRACE LUTHERAN CHURCH
7300 DIVISION ST
RIVER FOREST, IL 60305

15-01-403-015-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-403-016-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-403-017-0000
ENRIQUE SALGADO
1119 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-403-018-0000
PKN REAL ESTATE INVEST
1020 N HARLEM AVE #3B
RIVER FOREST, IL 60305

15-01-403-019-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-020-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-021-0000
BONNIE BRAE CONSTRUCTI
3528 WALNUT AVE
WILMETTE, IL 60091

15-01-403-022-0000
DANIEL J BROWN
4 OAK BROOK CLUB G107
OAK BROOK, IL 60523

15-01-403-032-0000
JEFFREY SARABIA
1122 N HARLEM #D
RIVER FOREST, IL 60305

15-01-403-033-0000
CAROLINE MAHIC
1122 N HARLEM #C
RIVER FOREST, IL 60305

15-01-403-034-0000
KURT STADWALD
1122B N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-035-0000
MIKE NELSON
1122 N HARLEM APT 2
RIVER FOREST, IL 60305

15-01-403-038-0000
LEMAR KIMBALL LLC
1535 FOREST 302
RIVER FOREST, IL 60305

15-01-403-041-0000
ALLAN B PALL
1118 N HARLEM AVE #C
RIVER FOREST, IL 60305

15-01-403-042-0000
JUDY A KAVANAUGH
1118 N HARLEM AV B
RIVER FOREST, IL 60305

15-01-403-043-0000
VERONICA R OTTENHEIMER
1118 N HARLEM AVE #A
RIVER FOREST, IL 60305

15-01-216-001-0000
Eric Palm
Village of River Forest
400 Park Ave.
River Forest, IL 60305

15-01-403-044-1001
EDWARD HANRAHAN
1131 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-403-044-1002
MARY ALICE DACOSSE
1129 BONNIE BRAE 1S
RIVER FOREST, IL 60305

15-01-403-044-1003
PETERS
1131 BONNIE BRAE PL#2N
RIVER FOREST, IL 60305

15-01-403-044-1004
SUSAN GIORANGO
1129 N BONNIE BRAE 2S
RIVER FOREST, IL 60305

15-01-403-044-1005
EMILY D KOSMAL
1131 BONNIE BRAE PL 3N
RIVER FOREST, IL 60305

15-01-403-044-1006
M ABBATE S ABBATE
1129 BONNIE BRAE 3S
RIVER FOREST, IL 60305

15-01-403-044-1007
PETERS
1131 BONNIE BRAE PL#2N
RIVER FOREST, IL 60305

15-01-403-044-1008
M ABBATE S ABBATE
1129 BONNIE BRAE 3S
RIVER FOREST, IL 60305

15-01-403-044-1009
MARY ALICE DACOSSE
1129 BONNIE BRAE 1S
RIVER FOREST, IL 60305

15-01-403-044-1010
SUSAN W GIORGANGO
1129 N BONNIE BRAE 2S
RIVER FOREST, IL 60305

15-01-403-044-1011
EMILY D KOSMAL
1131 BONNIE BRAE PL 3N
RIVER FOREST, IL 60305

15-01-403-045-1001
ADAM WEST
1100 N HARLEM AVE APTG
RIVERFOREST, IL 60305

15-01-403-045-1002
P D MCGARRY
1100 N HARLEM 1
RIVER FOREST, IL 60305

15-01-403-045-1003
STEVEN SCHWARTZ
1100 N HARLEM AV 2
RIVER FOREST, IL 60305

15-01-403-045-1004
YOU HONG CHENG L SUN
1100 HARLEM 3D
RIVER FOREST, IL 60305

15-01-403-045-1005
DEBRA WILSON
1102 N HARLEM AVE #G
RIVER FOREST, IL 60305

15-01-403-045-1006
VICKY POWELL
1102 N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-045-1007
JEFFREY A LYNCH
2116 N NORDICA AVE
CHICAGO, IL 60707

15-01-403-045-1008
VICTORIA M TUFANO
1102 N HARLEM 3
RIVER FOREST, IL 60305

15-01-403-045-1009
KATHLEEN MULVEY
1104 N HARLEM AVE 1
RIVER FOREST, IL 60305

15-01-403-045-1010
CZESLAW CHLEBEK
1151 S TAYLOR AVE
OAK PARK, IL 60304

15-01-403-045-1011
JOSE TAMAYO
1104 N HARLEM #3
RIVER FOREST, IL 60305

15-01-403-045-1012
LESTER ALICE RICHMOND
1106 N HARLEM AV
RIVER FOREST, IL 60305

15-01-403-045-1013
GWENDOLYN MOTON
707 N HAYES AVE
OAK PARK, IL 60302

15-01-403-045-1014
STEVEN G FERRIER
1106 N HARLEM AVE #3
RIVER FOREST, IL 60305

15-01-403-045-1015
SUZANNE F BRENNAN
1108 N HARLEM AV #1
RIVER FOREST, IL 60305

15-01-403-045-1016
JOHN R KOCH
1624 HIGHRIDGE PKWY
WESTCHESTER, IL 60154

15-01-403-045-1017
ALFREDO RIVERA
1909 N 72ND CT
ELMWOOD PARK, IL 60707

15-01-403-045-1018
JOSEPH C SCHAK
1622 N 75TH AVE
ELMWOOD PARK, IL 60707

15-01-403-045-1019
JASON A SHERMAN
427 N HARVEY AVE
OAK PARK, IL 60302

15-01-403-045-1020
MICHAEL JUNES
2313 SOUTH 16TH AVENUE
BROADVIEW, IL 60155

15-01-403-045-1021
THOMAS MICHAEL NISBET
1112 N HARLEM AVE G
RIVER FOREST, IL 60305

15-01-403-045-1022
LESHONDA S HOWARD
1112 N HARLEM 1
RIVER FOREST, IL 60305

15-01-403-045-1023
MICHAEL STURDIVANT
1112 N HARLEM #2
RIVER FOREST, IL 60305

15-01-403-045-1024
EDMUND V PADLECKAS
1285 LILY LN
CAROL STREAM, IL 60188

15-01-403-045-1025
CYNTHIA E GORDON
1114 N HARLEM GAR
RIVER FOREST, IL 0

15-01-403-045-1026
JEROME DAVIS
1114 N HARLEM AV #1
RIVER FOREST, IL 60305

15-01-403-045-1027
SERGIO VELEZ
1114 N HARLEM AVE 2
RIVER FOREST, IL 60305

15-01-403-045-1028
KATE BURCH
1114 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-403-046-1001
KRISTEN KOPP
7209 W DIVISION A1
RIVER FOREST, IL 60305

15-01-403-046-1002
BARBARA BUTZEN
7209 DIVISION ST A2
RIVER FOREST, IL 60305

15-01-403-046-1003
F TUNGOL R SONON
7209 W DIVISION A3
RIVER FOREST, IL 60305

15-01-403-046-1004
MARIA E ROSA
5201 S INGLESIDE AVE
CHICAGO, IL 60615

15-01-403-046-1005
JOSEPHINE ELAMO
7209 DIVISION ST B2
RIVER FOREST, IL 60305

15-01-403-046-1006
ANDREA KRZAK
7209 W DIVISION ST 3B
RIVER FOREST, IL 60305

15-01-403-046-1007
HEATHER M OLEKSY
7211 W DIVISION ST 1C
RIVER FOREST, IL 60305

15-01-403-046-1008
VICTOR HOWARD MOORE
7211 W DIVISION #2C
RIVER FOREST, IL 60305

15-01-403-046-1009
NORMA SHERBONDY
7211 W DIVISION 3C
RIVER FOREST, IL 60305

15-01-403-046-1010
GREGORY REPOSH
7977 LAKE ST
RIVER FOREST, IL 60305

15-01-403-046-1011
STEPHANIE JEFFERSON
7211 DIVISION 2D
RIVER FOREST, IL 60305

15-01-403-046-1012
ALZY POWELL
7209 DIVISION #B1
RIVER FOREST, IL 60305

15-01-403-046-1013
BARBARA BUTZEN
7209 DIVISION ST A2
RIVER FOREST, IL 60305

15-01-403-046-1014
STEPHANIE JEFFERSON
7211 DIVISION 2D
RIVER FOREST, IL 60305

15-01-403-046-1015
F TUNGOL R SONON
7209 W DIVISION 3A
RIVER FOREST, IL 60305

15-01-403-046-1016
GREGORY REPOSH
7977 LAKE ST
RIVER FOREST, IL 60305

15-01-403-046-1017
TAXPAYER OF
7219 DIVISION ST PK6
RIVER FOREST, IL 0

15-01-403-046-1018
Y J CALLOWAY
7209 W DIVISION AVE 3B
RIVER FOREST, IL 60305

15-01-403-047-1001
CASE HOOGENDOORN TTEE
122 S MICHIGAN AVE
CHICAGO, IL 60603

15-01-403-047-1002
LUIS G DEFRAGA
151 N HUMPHREY
OAK PARK, IL 60302

15-01-403-047-1003
TAXPAYER OF
7221 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-047-1004
MICHAEL TRANKINA
7221 W DIVISION ST #4
RIVER FOREST, IL 60305

15-01-403-047-1005
DOUG MCGOLDRICK
7221 W DIVISION ST #5
RIVER FOREST, IL 60305

15-01-403-047-1006
LEE M FORREST
7221 DIVISION ST
RIVER FOREST, IL 60305

15-01-403-047-1007
LUIS G DEFRAGA
151 N HUMPHREY
OAK PARK, IL 60302

15-01-403-047-1008
DONALD L KVIZ
2340 S KENILWORTH
BERWYN, IL 60402

15-01-403-047-1009
BARBARA CROOM
7221 W DIVISION #9
RIVER FOREST, IL 60305

15-01-403-047-1010
ELZBIETA KOLEBACZ
7221 W DIVISION 10
RIVER FOREST, IL 60305

15-01-403-047-1011
DONALD L KVIZ
2340 S KENILWORTH
BERWYN, IL 60402

15-01-403-047-1012
BARBARA CROOM
7221 W DIVISION #9
RIVER FOREST, IL 60305

15-01-403-047-1013
MICHAEL TRANKINA
7221 W DIVISION ST #4
RIVER FOREST, IL 60305

15-01-403-047-1014
LEE M FORREST
7221 DIVISON ST
RIVER FOREST, IL 60305

15-01-403-047-1015
DONALD A RINNAN
122 S MICHIGAN #1220
CHICAGO, IL 60603

15-01-403-048-1001
TIFFANY L JONES
7213 W DIVISION #1
RIVER FOREST, IL 60305

15-01-403-048-1002
TERESA ANDRADE
7213 DIVISION ST #2B
RIVER FOREST, IL 60305

15-01-403-048-1003
FAREESA G KHAN
15316 NOONING TR CT
CHESTERFIELD, MO 63017

15-01-403-048-1004
SEAN T OLIS
7213 W DIVISION 4
RIVER FOREST, IL 60305

15-01-403-048-1005
MARTIN BECKER
7213 W DIVISION ST
RIVER FOREST, IL 60305

15-01-403-048-1006
HAZARIAN UNLUSOY
7213 W DIVISION #6
RIVER FOREST, IL 60305

15-01-403-048-1007
ANDREW GORDON DUKE
7213 W DIVISION 7
RIVER FOREST, IL 60305

15-01-403-048-1008
ROSEMARY CAMILLERI
7213 W DIVISION ST 8
RIVER FOREST, IL 60305

15-01-403-048-1009
STEVEN MCMAHON ZELLER
922 COLUMBIAN AVE
OAK PARK, IL 60302

15-01-406-013-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-403-049-1001
ELSA E OROZCO
1124 N HARLEM AV UNITA
RIVER FOREST, IL 60305

15-01-403-049-1002
DONNA WESTBROOK
1124 N HARLEM AV #B
RIVER FOREST, IL 60305

15-01-403-049-1003
MAIDALIZ MARRERO
1124 N HARLEM AVE C
RIVER FOREST, IL 60305

15-01-403-049-1004
T HILL
1126 N HARLEM A
RIVER FOREST, IL 60305

15-01-403-049-1005
JENNIFER L KEMP
1126 N HARLEM B
RIVER FOREST, IL 60305

15-01-403-049-1006
EDDY PIERRE
1126 N HARLEM APT C
RIVER FOREST, IL 60305

15-01-403-049-1007
DELFINA CERVANTES
1128 N HARLEM AV #A
RIVER FOREST, IL 60305

15-01-403-049-1008
MYRON RUSSELL
1128 N HARLEM AVE B
RIVER FOREST, IL 60305

15-01-403-049-1009
RONALD A DAVIS
1128 N HARLEM AVE #C
RIVER FOREST, IL 60305

15-01-403-049-1010
CHITRAKAR PATHAK
1130 N HARLEM A
RIVER FOREST, IL 60305

15-01-403-049-1011
CONSTANCE J STRAIT
1130 N HARLEM AVE #B
RIVER FOREST, IL 60305

15-01-403-049-1012
RONALD J MALIK
1130 HARLEM AV #C
RIVER FOREST, IL 60305

15-01-404-007-0000
GREGORY W CAPPELLI
1046 JACKSON AVE
RIVERFOREST, IL 60305

15-01-404-008-0000
GREGORY CAPPELLI
1046 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-009-0000
B DRAB
1030 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-010-0000
B ALEXANDRA CHARBEL
1020 JACKSON AV
RIVER FOREST, IL 60305

15-01-404-011-0000
C M WELDON LINNE
1014 JACKSON AVE
RIVER FOREST, IL 60305

15-01-404-012-0000
GEORGE W SPELLMIRE
7500 AUGUSTA ST
RIVER FOREST, IL 60305

15-01-405-001-0000
MATTHEW LISA CAROLAN
1041 JACKSON AVE
RIVER FOREST, IL 60305

15-01-405-002-0000
RICHARD J DEOGRACIAS
1045 JACKSON AVENUE
RIVER FRST, IL 60305

15-01-405-003-0000
ANN LATZ DUNBAR TRUST
1035 JACKSON AVE
RIVER FOREST, IL 60305

15-01-405-004-0000
PAUL L BRENNAN
1031 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-005-0000
ROANLD A STEELE
1025 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-006-0000
PRADEEP RATTAN
1019 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-007-0000
MICHAEL REANEY
1015 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-008-0000
ROSS FASANO
1009 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-009-0000
MARC KIESELSTEIN
1001 JACKSON AV
RIVER FOREST, IL 60305

15-01-405-010-0000
GARY M MART
1046 N MONROE AVE
RIVER FOREST, IL 60305

15-01-405-011-0000
SAMUEL J TARARA
1040 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-012-0000
JORGE A PEREZ
1034 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-013-0000
MARTIRE
1028 N MONROE
RIVER FOREST, IL 60305

15-01-405-014-0000
TIMOTHY ANNA DALY
1024 MONROE
RIVER FOREST, IL 60305

15-01-405-015-0000
SCOTT HALL
1012 MONROE AVE
RIVER FOREST, IL 60305

15-01-405-016-0000
MICHAEL PRITZ
1006 MONROE AV
RIVER FOREST, IL 60305

15-01-405-017-0000
JEFF CAPPEL
1002 MONROE AV
RIVER FOREST, IL 60305

15-01-405-018-0000
HARRY M RICHTER
1020 MONROE
RIVER FOREST, IL 60305

15-01-406-004-0000
R C MILLER
1025 BONNIE BRAE PLACE
RIVER FOREST, IL 60305

15-01-406-006-0000
ALEX J JULIA MORELLI
1019 N BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-010-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-011-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-012-0000
Rabbi Adir Glick
Temple Har Zion
1040 Harlem Ave.
River Forest, IL 60305

15-01-406-019-0000
DOUGLAS L WINCHELL
1002 N HARLEM AV
RIVER FOREST, IL 60305

15-01-406-022-0000
BONNIE BRAE DEV. L.L.C
1115-1127 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-024-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-406-026-1001
G R MASON R BONE
1009 BONNIE BRAE #1B
RIVER FOREST, IL 60305

15-01-406-026-1002
T C DUNIGAN
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1003
J RICHARD CAREY
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1004
KENNEDY STEPHEN R
1005 BONNIE BRAE #1E
RIVER FOREST, IL 60305

15-01-406-026-1005
PATRICIA A HUEBNER
1005 BONNIE BRAE #1F
RIVER FOREST, IL 60305

15-01-406-026-1006
PHILIP M GORDON
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1007
K QUAID T FARRELL
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1008
GEORGE L STEWART JR
1009 BONNIE BRAE PL 2A
RIVER FOREST, IL 60305

15-01-406-026-1009
EMIL A BAUMBACH JR
1009 N BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1010
EUGENE SULLIVAN
1009 BONNIE BRAE #2C
RIVER FOREST, IL 60305

15-01-406-026-1011
LOUISE A SUMNARSKI
1005 BONNIE BRAE #2D
RIVER FOREST, IL 60305

15-01-406-026-1012
HARRY M PETERSON JR
1005 BONNIE BRAE 2E
RIVER FOREST, IL 60305

15-01-406-026-1013
RUTH CARROLL
1005 BONNIE BRAE 2F
RIVER FOREST, IL 60305

15-01-406-026-1014
ZORA ZIVKOVIC
1005 BONNIE BRAE #2G
RIVER FOREST, IL 60305

15-01-406-026-1015
ED MARYALYCE BURKE
1009 BONNIE BRAE 3A
RIVER FOREST, IL 60305

15-01-406-026-1016
MANUEL C IGLESIAS
1009 BONNIE BRAE 3B
RIVER FOREST, IL 60305

15-01-406-026-1017
LEROY NANCY ROSASCO
1009 BONNIE BRAE PL 3C
RIVER FOREST, IL 60305

15-01-406-026-1018
ALLISON L BURDICK
1005 BONNIE BRAE 3D
RIVER FOREST, IL 60305

15-01-406-026-1019
KATIE NEWSHAM
1005 BONNIE BRAE #3E
RIVER FOREST, IL 60305

15-01-406-026-1020
EBRAHIM AMIR MOKRI
1005 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-406-026-1021
MINA AMIR MOKRI
1005 BONNIE BRAE #3G
RIVER FOREST, IL 60305

15-01-406-026-1022
K A MURPHY
1009 BONNIE BRAE PL 4A
RIVER FOREST, IL 60305

15-01-406-026-1023
MAURICE FARHI MD
7010 W NORTH AVENUE
CHICAGO, IL 60707

15-01-406-026-1024
MARCELLE FARHI
1009 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1025
CTLTC
1005 BONNIE BRAE 4D
RIVER FOREST, IL 60305

15-01-406-026-1026
PATRICIA M LAPPE
1005 BONNIE BRAE 4E
RIVER FOREST, IL 60305

15-01-406-026-1027
LYNNE J HORWICH
1005 BONNIE BRAE PL#4F
RIVER FOREST, IL 60305

15-01-406-026-1028
NANCY B MCGURN
1005 BONNIE BRAE 4G
RIVER FOREST, IL 60305

15-01-406-026-1029
JOAN B WOJCIK
1009 BONNIE BRAE 5A
RIVER FOREST, IL 60305

15-01-406-026-1030
CHARLES R WINKLER
1009 BONNIE BRAE #5B
RIVER FOREST, IL 60305

15-01-406-026-1031
SELMA BELAJEC
1009 BONNIE BRAE #5C
RIVER FOREST, IL 60305

15-01-406-026-1032
BRIAN P SULLIVAN
152 PARK DR
BAL HARBOUR, FL 33154

15-01-406-026-1033
MAUREEN BARNICLE
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-026-1034
FIFTH THIRD BK DARLEY
PO BOX 13519
ARLINGTON, TX 76094

15-01-406-026-1035
NANCY C MAY
1005 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-027-0000
DENIS AZABAGIC
1031 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-406-028-0000
TAX PAYER OF
1029 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-029-1001
JUDITH WOLF
1010 N HARLEM AVE #201
RIVER FOREST, IL 60305

15-01-406-029-1002
LORI OCONNOR
1010 N HARLEM 202
RIVER FOREST, IL 60305

15-01-406-029-1003
ROBERT NAVARRO
1010 N HARLEM #203
RIVER FOREST, IL 60305

15-01-406-029-1004
THOMAS F LINT
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-029-1005
NANCY GOOD
1010 N HARLEM APT 205
RIVER FOREST, IL 60305

15-01-406-029-1006
MARK MICHELLE MARTIN
1010 N HARLEM #301
RIVER FOREST, IL 60305

15-01-406-029-1007
LUIS MARIA REYES
1010 N HARLEM #302
RIVER FOREST, IL 60305

15-01-406-029-1008
EVELYN MENSAH
1010 N HARLEM #303
RIVER FOREST, IL 60305

15-01-406-029-1009
D ADAMS M MCENERY
1010 N HARLEM 304
RIVER FOREST, IL 60305

15-01-406-029-1010
ZONICE GREGORY
110 N KENILWORTH AVE4A
OAK PARK, IL 60301

15-01-406-029-1011
MARGARET M KRAFT
1010 N HARLEM AV
RIVER FOREST, IL 60305

15-01-406-029-1012
DIANE COLLETTI
1010 N HARLEM AVE 402
RIVER FOREST, IL 60305

15-01-406-029-1013
JUANITA J LECRONE
1010 N HARLME AVE #403
RIVER FOREST, IL 60305

15-01-406-029-1014
KATHLEEN POLK
1010 N HARLEM AVE 404
RIVER FOREST, IL 60305

15-01-406-029-1015
PAUL MARY BOWMAN
1010 N HARLEM 405
RIVER FOREST, IL 60305

15-01-406-029-1016
HAROLEON CROSS
1010 N HARLEM AVE 501
RIVER FOREST, IL 60305

15-01-406-029-1017
JOHN R MULDOON
1010 N HARLEM UNIT 502
RIVER FOREST, IL 60305

15-01-406-029-1018
ENRIQUE IBARRA
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-029-1019
MARIE J ROACH
1010 HARLEM AV #504
RIVER FOREST, IL 60305

15-01-406-029-1020
MARY E HALPIN
1010 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-031-0000
LEO BARANOWSKI
1023 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-406-032-1001
TAXPAYER OF
1020 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1002
ROOHI SHAMSAI
1020 N HARLEM AV 1B
RIVER FOREST, IL 60305

15-01-406-032-1003
GAIL M POPOWITS
1020 N HARLEM AV 1C
RIVER FOREST, IL 60305

15-01-406-032-1004
PATRICIA PARKER
1020 N HARLEM AV 1D
RIVER FOREST, IL 60305

15-01-406-032-1005
BROTMAN MONIQUE M
1020 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1006
1 MIDWEST BANK 86 4948
218 W MAIN ST
WEST DUNDEE, IL 60118

15-01-406-032-1007
CYRUS MOKRY
1020 N HARLEM AV A2
RIVER FOREST, IL 60305

15-01-406-032-1008
GARY MANCUSO
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-032-1009
HENRY KLEMPEL
1020 N HARLEM AVE #2C
RIVER FOREST, IL 60305

15-01-406-032-1010
KEN LORETTA WRIGHT
1020 HARLEM AV #2D
RIVER FOREST, IL 60305

15-01-406-032-1011
ALEJANDRO HORNIK
1020 NORTH HARLEM AVE
RIVER FOREST, IL 60305

15-01-406-032-1012
EVELYN C FINEGAN
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-032-1013
JUNE R WITZL
1020 N HARLEM AV 3A
RIVER FOREST, IL 60305

15-01-406-032-1014
PAMELA KNAPEK
1020 N HARLEM AV 3B
RIVER FOREST, IL 60305

15-01-406-032-1015
JOYCE K WASHINGTON
1020 N HARLEM AV 3C
RIVER FOREST, IL 60305

15-01-406-032-1016
GUILBERT PALMA GOLZ
1020 N HARLEM AV 3D
RIVER FOREST, IL 60305

15-01-406-032-1017
RICHARD W PRESCOTT
1020 N HARLEM AVE#3E
RIVER FOREST, IL 60305

15-01-406-032-1018
SMILEY
1020 N HARLEM AVE 3F
RIVER FOREST, IL 60305

15-01-406-032-1019
LARRY E MITCHENER
1020 N HARLEM AVE 4A
RIVER FOREST, IL 60305

15-01-406-032-1020
CIRRUS INV GRP LLC
120 W MADISION 1407
CHICAGO, IL 60602

15-01-406-032-1021
CYNTHIA MEARS
1020 N HARLEM AVE 4C
RIVER FOREST, IL 60305

15-01-406-032-1022
RONALD R MARICH
1020 N HARLEM #4D
RIVER FOREST, IL 60305

15-01-406-032-1023
JAMES PATRICIA ELSEN
1020 N HARLEM AVE 4E
RIVER FOREST, IL 60305

15-01-406-032-1024
MARTIN E SIEGEL
1020 N HARLEM AV 4F
RIVER FOREST, IL 60305

15-01-406-032-1025
EMLEE HILLIARD SMITH
1020 N HARLEM 5A
RIVER FOREST, IL 60305

15-01-406-032-1026
GARY GAGLIANO
1020 N HARLEM AVE #5B
RIVER FOREST, IL 60305

15-01-406-032-1027
THOMAS J MCDONNELL
1020 N HARLEM AV 5C
RIVER FOREST, IL 60305

15-01-406-032-1028
GARY GAGLIANO
1020 N HARLEM AVE #5D
RIVER FOREST, IL 60305

15-01-406-032-1029
BETTINA RUFFOLO
1020 N HARLEM #5E
RIVER FOREST, IL 60305

15-01-406-032-1030
H KARL REKO 25485
1020 N HARLEM
RIVER FOREST, IL 60305

15-01-406-033-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-406-034-0000
BBD LLC ATTN DG WATTS
1018 ASHLAND AVE
RIVER FOREST, IL 60305

15-01-407-009-0000
ROBERT O TUERK
946 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-010-0000
MARK WOZNIAK
942 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-011-0000
STEVEN L MANDELL
938 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-012-0000
MATTHEW T NIX
934 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-013-0000
CHRIS DANIELLE LOCKE
930 JACKSON
RIVER FOREST, IL 60305

15-01-407-014-0000
MARK EMILY BROWN
926 JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-015-0000
TAXPAYER OF
922 N JACKSON AVE
RIVER FOREST, IL 60305

15-01-407-016-0000
T WATERS A MANDUJANO
918 JACKSON
RIVER FOREST, IL 60305

15-01-407-017-0000
MARGOT M DYBOWSKI
914 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-018-0000
RICHARD A MCMAHON JR
910 JACKSON AV
RIVER FOREST, IL 60305

15-01-407-019-0000
JOHN ANNETTE VINCENT
906 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-001-0000
PAUL BALTER
947 JACKSON
RIVER FOREST, IL 60305

15-01-408-002-0000
JOHN G MOORE
943 JACKSON AV
RIVER FORST, IL 60305

15-01-408-003-0000
J V SHAKER
937 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-004-0000
BRIAN C JOSEPHS
933 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-005-0000
COREY PERRY
927 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-006-0000
LA VAUGHN PETERSON
923 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-007-0000
WILLIAM A TODD
919 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-008-0000
JILL E ZUCKER
913 JACKSON AV
RIVER FOREST, IL 60305

15-01-408-009-0000
LAWRENCE T O BRIEN
907 JACKSON AVE
RIVER FOREST, IL 60305

15-01-408-013-0000
MARY C ARVIS
938 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-014-0000
JOAN U YOUNG
930 MONROE AV
RIVER FOREST, IL 60305

15-01-408-015-0000
H R PATEL
926 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-016-0000
CHARLES VIETZEN
922 MONROE AV
RIVER FOREST, IL 60305

15-01-408-017-0000
JOSEPH KRISTINE FARK
918 MONROE
RIVER FOREST, IL 60305

15-01-408-018-0000
JOHN FOREHAND
914 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-019-0000
Property Owner
1006 Monroe
River Forest, IL 60305

15-01-408-022-0000
BRIAN VAN MEURS
942 MONROE AVE
RIVER FOREST, IL 60305

15-01-408-023-0000
HAROLD J PELZER JR
946 MONROE AV
RIVER FOREST, IL 60305

15-01-409-001-0000
RAYMOND O BELL 27464
947 MONROE AV
RIVER FOREST, IL 60305

15-01-409-002-0000
ROBERT J BUSCHMANN
943 MONROE AV
RIVER FOREST, IL 60305

15-01-409-003-0000
JOANNA HORSNAIL
937 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-004-0000
FRANK VITO MARSICO
935 MONROE AV
RIVER FOREST, IL 60305

15-01-409-005-0000
MICHAEL KENNEDY
931 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-006-0000
DAVID P MURRAY
927 MONROE
RIVER FOREST, IL 60305

15-01-409-007-0000
THE JOHN R MINIUTTI RE
923 MONROE AVE
RIVER FOREST, IL 60305

15-01-409-008-0000
RUBEN A LLANES
919 MONROE AVENUE
RIVER FOREST, IL 60305

15-01-409-009-0000
ADRIENNE ALLEN
915 MONROE AV
RIVER FOREST, IL 60305

15-01-409-010-0000
J BARKER M HAAG
7426 IOWA ST
RIVER FOREST, IL 60305

15-01-409-011-0000
GEORGE MACIAG
7422 W IOWA
RIVER FOREST, IL 60305

15-01-409-012-0000
RICHARD SIMCOX
7416 IOWA STREET
RIVER FOREST, IL 60305

15-01-409-013-0000
DULAL K BHAUMIK
946 WILLIAMS ST
RIVER FOREST, IL 60305

15-01-409-014-0000
GUS PAPPAS
942 N WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-015-0000
THOMAS CARGIE
938 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-016-0000
RICHARD W SCHUMACHER
934 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-017-0000
SHANE KATHRYN THURST
930 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-018-0000
DAVID LATHAM
926 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-019-0000
ALEXANDER NEKRASOV
922 WILLIAM ST
RIVER FOREST, IL 60305

15-01-409-020-0000
CTLTC 8002364657
918 WILLIAM
RIVER FOREST, IL 60305

15-01-409-021-0000
MUCCIANTI JANCIUS
914 WILLIAM AVE
RIVER FOREST, IL 60305

15-01-409-022-0000
JULIE DIANE FANTETTI
910 WILLIAM
RIVER FOREST, IL 60305

15-01-410-001-0000
J ANDERSON
947 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-002-0000
JOHN COURTNEY
941 WILLIAM
RIVER FOREST, IL 60305

15-01-410-003-0000
JAD PETERSON
935 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-004-0000
MICHAEL-SUE W HARKINS
929 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-005-0000
GEORGE J DURAKIS
671 MOURNING DOVE DR
SARASOTA, FL 34236

15-01-410-006-0000
AUGUST J CRIVOLIO
919 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-007-0000
STEVEN LINDA SPERACINO
915 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-008-0000
TAX PAYER OF
909 WILLIAM ST
RIVER FOREST, IL 60305

15-01-410-010-0000
Rev. Dr. Daniel Gard
946 Clinton
River Forest, IL 60305

15-01-410-011-0000
LINDA HOLLIDAY
940 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-014-0000
LIVIO MARYANN PAROLIN
924 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-015-0000
WILLIAM K MCVISK
918 N CLINTON 233
RIVER FOREST, IL 60305

15-01-410-016-0000
PAUL C SCHRECKENBERGER
914 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-017-0000
ROBERT AND MARY BERG
908 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-410-019-0000
HOWARD E JAPLON
934 CLINTON PL
RIVER FOREST, IL 60305

15-01-410-021-0000
M L BURRELLO
930 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-001-0000
SUSAN JAMES LUCCI
947 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-002-0000
DEREK KIMBERLY BRIGG
941 CLINTON
RIVER FOREST, IL 60305

15-01-411-003-0000
MICHAEL T TRUCCO
935 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-005-0000
W DAVID MILLS
919 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-411-006-0000
KELLY OKEEFE
915 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-007-0000
BILL GRESHAM
909 CLINTON PL
RIVER FOREST, IL 60305

15-01-411-009-0000
MARK RENEE ROTATORI
944 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-010-0000
JOHN CLEARY
940 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-411-011-0000
DAVID C NEILSON
934 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-012-0000
JOHN C EGAN
930 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-013-0000
MARTIN N PREISER
924 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-014-0000
JAMES ARADO
920 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-015-0000
SPIROS BOURGIKOS
914 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-016-0000
PETER G PELAFAS
910 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-411-018-0000
BRIAN ALVERS
933 CLINTON PLACE
RIVER FOREST, IL 60305

15-01-411-019-0000
THOMAS FRIEDRICH
907 KEYSTONE AVE
RIVER FOREST, IL 60305

15-01-412-001-0000
FRANKLIN MOORE
947 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-002-0000
LIAM JENNIFER KELLY
941 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-412-003-0000
JOHN GIURA
935 BONNIE BRAE PL
RIVER FOREST, IL 60305

15-01-412-004-0000
HOWARD LEVINSKY
931 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-005-0000
DANIEL L FORAN
925 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-006-0000
PATRICIA HERRERA
919 BONNE BRAE
RIVER FOREST, IL 60305

15-01-412-007-0000
PAUL W SCHROEDER
915 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-008-0000
LEONARD VERTUNO
909 BONNIE BRAE
RIVER FOREST, IL 60305

15-01-412-013-0000
SALAMEH ALKARAKI
926 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-014-0000
JANET E MILLER
922 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-015-0000
B J STANDISH
918 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-412-016-0000
ALLISON MICHAEL SOCI
914 N HARLEM
RIVER FOREST, IL 60305

15-01-412-017-0000
PAT AND ELIZ NEVINS
910 N HARLEM
RIVER FOREST, IL 60305

15-01-412-020-0000
Chicago Meditation Group
946 Harlem Ave.
River Forest, IL 60305

15-01-412-022-0000
BYOUNGCHAN PARK
930 N HARLEM AV
RIVER FOREST, IL 60305

15-01-412-023-0000
JUSTIN XIAOTANG GRAH
938 N HARLEM AVE
RIVER FOREST, IL 60305

15-01-412-024-0000
PETER SCHONMAN
934 N HARLEM AV
RIVER FORST, IL 60305

16-06-120-010-0000
ANGEL ASSOCIATES LP
30W180 BUTTERFIELD RD
WARRENVILLE, IL 60555

16-06-120-024-0000
JAMES E FORTE
1215 N HARLEM A
OAK PARK, IL 60302

16-06-120-025-0000
RUTH BAUER
1215 N HARLEM B
OAK PARK, IL 60302

16-06-120-026-0000
EDWARD FANTIS
1215 N HARLEM AV C
OAK PARK, IL 60302

16-06-120-027-0000
LINWOOD DUROE
1217 N HARLEM AV A
OAK PARK, IL 60302

16-06-120-028-0000
JEANNINE W BALDWIN
1217 B HARLEM APT B
OAK PARK, IL 60302

16-06-120-029-0000
MONIQUE MANDERSON
1217C HARLEM AVE
OAK PARK, IL 60302

16-06-120-030-0000
JOHN TOMASZEWSKI
3222 KNOLLWOOD LN
GLENVIEW, IL 60025

16-06-120-031-0000
MATTHEW KRYSTAL
1221B N HARLEM AV
OAK PARK, IL 60302

16-06-120-032-0000
JAMES DIANE JEFFRIES
1221C N HARLEM AV
OAK PARK, IL 60302

16-06-120-033-0000
CHRISTOPHER D HUNTLEY
1223 N HARLEM #A
OAK PARK, IL 60302

16-06-120-034-0000
SANDRA L KASPROWICZ
1223 N HARLEM B
OAK PARK, IL 60302

16-06-120-035-0000
SANDRA L KASPROWICA
1223 N HARLEM AV C
OAK PARK, IL 60302

16-06-120-044-1001
ANDRES RODRIGUEZ
1209 N HARLEM #1
OAK PARK, IL 60302

16-06-120-044-1002
KAREN TELLEZ
3632 N PACIFIC AV
CHICAGO, IL 60634

16-06-120-044-1003
MICHELLE FORTIER
7827 FOREST PRESERVE
CHICAGO, IL 60634

16-06-120-044-1004
ANDREA A FLOWERS
1209 N HARLEM 2
OAK PARK, IL 60302

16-06-120-044-1005
JILLIAN A KREIMAN
1209 N HARLEM 3
OAK PARK, IL 60302

16-06-120-044-1006
ALAN GLAVANOVITS
1209 N HARLEM AVE
OAK PARK, IL 60302

16-06-120-044-1007
MICHAEL J SPILOTRO JR
1209 N HARLEM AVE 4
OAK PARK, IL 60302

16-06-120-044-1008
ERVA BRUNO
627 N HARVEY #2
OAK PARK, IL 60302

16-06-120-044-1009
DEAN LIVAS
1209 N HARLEM AVE #5
OAK PARK, IL 60302

16-06-120-044-1010
IRENE VONGLUEKIAT
1209 N HARLEM AVE
OAK PARK, IL 60302

16-06-120-045-1001
JOYCE M PARKER
1205 N HARLEM AV #1
OAK PARK, IL 60302

16-06-120-045-1002
PARKWAY B T CO
4800 N HARLEM AV
HARWOOD HTS, IL 60706

16-06-120-045-1003
ELIZABETH LOPEZ
1205 N HARLEM AV #3
OAK PARK, IL 60302

16-06-120-045-1004
TOMASZ MOROZ
1205 N HARLEM AVE #4
OAK PARK, IL 60302

16-06-120-045-1005
MIHAELA PANTIRU
1205 N HARLEM AVE#5
OAK PARK, IL 60302

16-06-120-045-1006
S POTTS
1205 N HARLEM #6
OAK PARK, IL 60302

16-06-120-045-1007
ALYSSA KATTIYAMAN
1014 HIGHRIDGE RD
LOMBARD, IL 60148

16-06-120-045-1008
IULIAN C BREZEANU
1205 N HARLEM AVE #8
OAK PARK, IL 60302

16-06-120-045-1009
AGING DISABILTY
203 COSMAN RD
ELK GRV VLG, IL 60007

16-06-120-045-1010
TAXPAYER OF
1205 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-001-0000
ALDO LLC
10 S LA SALLE ST 2750
CHICAGO, IL 60603

16-06-300-008-0000
LILA PANTOS
1117 N HARLEM
OAK PARK, IL 60302

16-06-300-036-0000
JULIE A RANALLI
1125 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-037-0000
MYRNA E MEJIA
1125B N HARLEM AVE
OAK PARK, IL 60302

16-06-300-038-0000
LEWIS DAVIS NORTON
625 W HAIL ST
BUSINESS, IL 61422

16-06-300-039-0000
LILLIAN M HIDALGO
1837 N 74TH COURT
ELMWOOD PARK, IL 60707

16-06-300-040-0000
ANGELICA C C LAU
1125 N HARLEM AV E
OAK PARK, IL 60302

16-06-300-041-0000
T GAVLIN
1125 N HARLEM F
OAK PARK, IL 60302

16-06-300-042-0000
JACQUELINE NAPIER
1121A N HARLEM AV
OAK PARK, IL 60302

16-06-300-043-0000
NWOKO EBIRIM CHIMATARA
1121 N HARLEM AV B
OAK PARK, IL 60302

16-06-300-044-0000
ANNETTE MILEY
1121 N HARLEM AV
OAK PARK, IL 60302

16-06-300-045-0000
LILIAN LAU
1121 N HARLEM AV D
OAK PARK, IL 60302

16-06-300-046-0000
VIKRAM CHOPRA
1121 N HARLEM AVE#E
OAK PARK, IL 60302

16-06-300-047-0000
BETTE J WILSON
1121 N HARLEM F
OAK PARK, IL 60302

16-06-300-048-0000
ALDO LLC
10 S LA SALLE ST 2750
CHICAGO, IL 60603

16-06-300-049-1001
MARY LOU CIVIDINO
1120 W THOMAS ST 101
OAK PARK, IL 60302

16-06-300-049-1002
STEPHEN B FORWARD
1120 W THOMAS 102
OAK PARK, IL 60302

16-06-300-049-1003
SUJAY SHARMA
PO BOX 4381
HOUSTON, TX 77210

16-06-300-049-1004
JOHN P WARD
1120 W THOMAS 104
OAK PARK, IL 60302

16-06-300-049-1005
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1006
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1007
BEVERLY J MYERS
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1008
JERRY JU
1120 W THOMAS 203
OAKPARK, IL 60302

16-06-300-049-1009
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1010
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1011
ROSELYN M GIESCHEN
1120 THOMAS 301
OAK PARK, IL 60302

16-06-300-049-1012
CJ MA BUCK
1120 THOMAS ST #302
OAK PARK, IL 60302

16-06-300-049-1013
SHEILA R TRAINOR
1120 W THOMAS ST #303
OAK PARK, IL 60302

16-06-300-049-1014
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-049-1015
HARSHAL PALAK JANI
1120 THOMAS #305
OAK PARK, IL 60302

16-06-300-049-1016
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1017
CHRISTINE M KUYPERS
1120 THOMAS#201
OAK PARK, IL 60302

16-06-300-049-1018
SUJAY SHARMA
PO BOX 4381
HOUSTON, TX 77210

16-06-300-049-1019
SHEILA R TRAINOR
1120 W THOMAS ST #303
OAK PARK, IL 60302

16-06-300-049-1020
STEPH BEVRLY FORWARD
1120 W THOMAS #102
OAK PARK, IL 60302

16-06-300-049-1021
KONSTANTIN SHATALIN
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1022
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1023
KEITH O NEWTON
1120 W THOMAS 105
OAK PK, IL 60302

16-06-300-049-1024
KONSTANTIN SHATALIN
1120 THOMAS ST #202
OAK PARK, IL 60302

16-06-300-049-1025
JOHN P WARD
1120 W THOMAS 104
OAK PARK, IL 60302

16-06-300-049-1026
CJ MA BUCK
1120 THOMAS ST#302
OAK PARK, IL 60302

16-06-300-049-1027
CJ MA BUCK
1120 THOMAS ST #302
OAK PARK, IL 60302

16-06-300-049-1028
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1029
ROSALIE GRAY
1120 W THOMAS 204
OAK PARK, IL 60302

16-06-300-049-1030
STEPHEN B FORWARD
1120 W THOMAS #102
OAK PARK, IL 60302

16-06-300-049-1031
JERRY WU
1120 W THOMAS 203
OAK PARK, IL 60302

16-06-300-049-1032
JERRY JU
1120 W THOMAS 203
OAKPARK, IL 60302

16-06-300-049-1033
HARSHAI PALAK JANI
1120 THOMAS #305
OAK PARK, IL 60302

16-06-300-049-1034
MARY LOU CIVIDINO
1120 W THOMAS ST 101
OAK PARK, IL 60302

16-06-300-049-1035
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-049-1036
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1037
ROSELYN M GIESCHEN
1120 THOMAS 301
OAK PARK, IL 60302

16-06-300-049-1038
MARY STRUDEMAN
1120 THOMAS ST 205
OAK PARK, IL 60302

16-06-300-049-1039
FELICE E MACIEJEWSKI
1120 THOMAS ST #304
OAK PARK, IL 60302

16-06-300-050-1001
TAXPAYER OF
P O BOX 814
OAK PARK, IL 60303

16-06-300-050-1002
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1003
LEVY PALACIO
1115 N HARLEM #1B
OAK PARK, IL 60302

16-06-300-050-1004
COLBY V BURNETT
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1005
ZUZANA BALCIUNAS
1115 N HARLEM 1C
OAK PARK, IL 60302

16-06-300-050-1006
ELVIN ESTRELLITA RAM
10335 KENT ST
WESTCHESTER, IL 60154

16-06-300-050-1014
LUIS CARO
1115 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-050-1015
ELVIN ESTRELLITA RAM
10335 KENT ST
WESTCHESTER, IL 60154

16-06-300-050-1016
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1017
CYNTHIA EMERY
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1018
LEVY IY PALACIO
1115 N HARLEM 1B
OAK PARK, IL 60302

16-06-300-050-1019
BALCIUNAS ZUZANA
1115 N HARLEM 1C
OAK PARK, IL 60302

16-06-300-050-1020
COMEQUITY 1115
328 S WISCONSIN AV 1A
OAK PARK, IL 60302

16-06-300-050-1021
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1022
LEVY Y PALACIO
1115 N HARLEM AV 1B
OAK PARK, IL 60302

16-06-300-050-1023
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1024
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1025
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1026
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1027
ZUZANA E BALCIUNAS
1115 B HARLEM AV 1C
OAK PARK, IL 60302

16-06-300-050-1028
LUIS CARO
1115 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-050-1029
LEVY Y PALACIO
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1030
CURRENT TAXPAYER OF
1115 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-050-1031
CURRENT TAXPAYER
1115 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1001
LARRY E MOODY
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1002
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1003
SETTLERS HOUSING SVC
12220 WHITLEY ST
WHITTIER, CA 90601

16-06-300-051-1004
MAAZA BONFANTI
1111 N HARLEM AVE #2B
OAK PARK, IL 60302

16-06-300-051-1005
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1006
NEUMAN S KIAMCO2C
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1014
CURRENT TAXPAYER
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1015
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1016
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1017
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1018
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1019
JAMES E CARROLL L TO
1111 N HARLEM AVENUE
OAK PARK, IL 60302

16-06-300-051-1020
CURRENT TAXPAYER OF
1111 N HARLEM AVE
OAK PARK, IL 60302

16-06-300-051-1021
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1022
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1023
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1024
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1025
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1026
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1027
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1028
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1029
SOT2 LLC
5339 W BELMONT AVE
CHICAGO, IL 60641

16-06-300-051-1030
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1031
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1032
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-300-051-1033
CTLTC USB 7375
10 S LASALLE ST #2750
CHICAGO, IL 60603

16-06-307-003-0000
MATHEW THOMPSON
1029 N HARLEM AVE
OAK PARK, IL 60302

16-06-307-004-0000
HONGWU WANG
723 N CUYLER
OAK PARK, IL 60302

16-06-307-006-0000
SERGIO MARTINEZ
1021 N HARLEM AVE
OAK PARK, IL 60302

16-06-307-007-0000
NICHAYETTE VIL
25W271 OLDHAM RD
NAPERVILLE, IL 60563

16-06-307-008-0000
LARRY AYERS
PO BOX 5571
RIVER FOREST, IL 60305

16-06-307-029-0000
1031 N HARLEM INC
P O BOX 87
RIVER GROVE, IL 60171

16-06-307-034-1001
CURTISSA WARE
1037 N HARLEM AVE 15A
OAK PARK, IL 60302

16-06-307-034-1002
M FAIR
1037 N HARLEM
OAK PARK, IL 60302

16-06-307-034-1003
MARGARET HARRIS
1037 N HARLEM AV 3SA
OAK PARK, IL 60302

16-06-307-034-1004
RENATO GRAZIANO
1037 N HARLEM APT 1SB
OAK PARK, IL 60302

16-06-307-034-1005
SUNDAY WEGNER
1037 N HARLEM AV 25B
OAK PARK, IL 60302

16-06-307-034-1006
JOHN LITTLE
1037 N HARLEM AVE 3SB
OAK PARK, IL 60302

16-06-307-034-1007
ALLISON YUMLU
1125 PARK AVE
RIVER FOREST, IL 60305

16-06-307-034-1008
JOSEPH R IRONS
1039 N HARLEM AV 2S
OAK PARK, IL 60302

16-06-307-034-1009
LILLIAN E VAIL
1039 N HARLEM AV 3C
OAK PARK, IL 60302

16-06-307-034-1010
CHRISTIAN JAPLIT
1039 N HARLEM AVE 1D
OAK PARK, IL 60302

16-06-307-034-1011
PALMINA TROMBETTA
1039 N HARLEM 2SD
OAK PARK, IL 60302

16-06-307-034-1012
CANDACE F DEMARIO
1039 N HARLEM AV 3D
OAK PARK, IL 60302

16-06-307-034-1013
LAVERNE WISDOM
1045 N HARLEM AV
OAK PARK, IL 60302

16-06-307-034-1014
WILLIAM R COURTRIGHT
1045 N HARLEM AV 2NC
OAK PARK, IL 60302

16-06-307-034-1015
CHARLES M LAKE
1045 N HARLEM AVE 3NC
OAK PARK, IL 60302

16-06-307-034-1016
DAVID C CASO
1047 N HARLEM 1NB
OAK PARK, IL 60302

16-06-307-034-1017
RICHARD F MUNDT
1047 N HARLEM AV 2NB
OAK PARK, IL 60302

16-06-307-034-1018
ENEA LAKO
1047 N HARLEM AVE 3NB
OAK PARK, IL 60302

16-06-307-034-1019
ROGER STRAW
352 PERSIMMON DR
FRONT ROYAL, VA 22630

16-06-307-034-1020
LAWRENCE H MC DONALD
1047 N HARLEM #2NA
OAK PARK, IL 60302

16-06-307-034-1021
CLIDIE YOKELY
1047 N HARLEM AV 3NA
OAK PARK, IL 60302

16-06-307-034-1022
LILLIAN E VAIL
1039 N HARLEM AV 3C
OAK PARK, IL 60302

16-06-307-034-1023
CLIDIE YOKELY
1047 N HARLEM AV 3NA
OAK PARK, IL 60302

16-06-307-034-1024
ROGER STRAW
352 PERSIMMON RD
FRONT ROYAL, VA 22630

16-06-307-034-1025
RENATO A GRAZIANO
1037 N HARLEM AV
OAK PARK, IL 60302

16-06-307-034-1026
CHARLES M LAKE
1045 N HARLEM AVE 3NC
OAK PARK, IL 60302

16-06-307-034-1027
LAVERNE WISDOM
1045 N HARLEM AV 1NC
OAK PARK, IL 60302

16-06-307-034-1028
WILLIAM R COURTRIGHT
1045 N HARLEM AV 2NC
OAK PARK, IL 60302

16-06-307-034-1029
PALMINA V TROMBETTA
1039 N HARLEM 2SD
OAK PARK, IL 60302

16-06-307-034-1030
ENEA LAKO
1047 N HARLEM AVE 3NB
OAK PARK, IL 60302

16-06-307-034-1031
MARGARET HARRIS
1037 N HARLEM AV 3SA
OAK PARK, IL 60302

16-06-307-034-1032
CANDACE DEMARIO BUTERA
1022 N KENILWORTH
OAK PARK, IL 60302

16-06-307-034-1033
CHRISTIAN JAPLIT
1039 N HARLEM AVE 1D
OAK PARK, IL 60302

16-06-307-035-0000
ROBERT MILSTEIN
1011 N HARLEM A
OAK PARK, IL 60302

16-06-307-036-0000
MICHAEL RUTKOWSKI
935 W CHESTNUT ST 201
CHICAGO, IL 60642

16-06-307-037-0000
ALEJANDRO BELOZ
1011-C N HARLEM
OAK PARK, IL 60302

16-06-307-038-0000
THERESA JACK
1013 N HARLEM A
OAK PARK, IL 60302

16-06-307-039-0000
PATRICIA POSKITT
1013 N HARLEM AV B
OAK PARK, IL 60302

16-06-307-040-0000
ANTOINETTE ZACCAGNINO
1013 N HARLEM AVE #C
OAK PARK, IL 60302

16-06-307-041-0000
LEIGH ANN TAILLIE
1007 N HARLEM AV #A
OAK PARK, IL 60302

16-06-307-042-0000
JOEMAR LLC
1007 FRANKLIN
RIVER FOREST, IL 60305

16-06-307-043-0000
SCYLA MURRAY
1007 N HARLEM AV C
OAK PARK, IL 60302

16-06-307-044-0000
GLORIA J WOODEN
1009 N HARLEM AVE #A
OAK PARK, IL 60302

16-06-307-045-0000
MONNETTE M BARIEL
1009 N HARLEM
OAK PARK, IL 60302

16-06-307-046-0000
RICHARD MASON
1009C N HARLEM AVE
OAK PARK, IL 60302

16-06-307-047-1001
GUSSIE PETTIS
1001 N HARLEM AV A
OAK PARK, IL 60302

16-06-307-047-1002
ALLISON YUMLU
1125 PARK AVE
RIVER FOREST, IL 60305

16-06-307-047-1003
LINDA LEE
1001-C N HARLEM AVE
OAK PARK, IL 60302

16-06-307-047-1004
NANCY ALLEGRETTI
1001 N HARLEM AV D
OAK PARK, IL 60302

16-06-307-047-1005
MARY GOGGIN
251 CONCORD DR
MELROSE PARK, IL 60160

16-06-307-047-1006
GINO J PISANI
8119 W LAKE ST
RIVER FOREST, IL 60305

16-06-307-047-1007
GINO J PISANI
8119 W LAKE ST
RIVER FOREST, IL 60305

16-06-307-047-1008
DEBBIE R WILLIAMS
1005 N HARLEM AV B
OAK PARK, IL 60302

16-06-307-047-1009
JULIE ANNE CARRAMUSA S
39 W WRIGHTWOOD AVENUE
GLENDALE HTS, IL 60139

16-06-307-047-1010
RACHEL M HERMAN 8633
221 N KENILWORTH
OAK PARK, IL 60302

16-06-307-047-1011
BARRY BLATTBERG
1005 N HARLEW #D
OAK PARK, IL 60302

16-06-307-047-1012
M SEXTON
503 E NORTH ST
ITASCA, IL 60143

16-06-307-048-1001
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1002
PACIANO EBARUIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1003
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1004
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1005
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-307-048-1006
PACIANO EBARVIA
1715 N 74TH CT
ELMWOOD PARK, IL 60707

16-06-314-003-0000
JOSH RACHEL DENNIS
1129 AUGUSTA
OAK PARK, IL 60302

16-06-314-008-0000
JOHN RAMM
1140 MILLER
OAK PARK, IL 60302

16-06-314-009-0000
DELIA MEENAGHAN
325 SHARON LN
NO AURORA, IL 60542

16-06-314-010-0000
HAMEL SEFFERMAN
1132 MILLER
OAK PARK, IL 60302

16-06-314-011-0000
ERIC ROHMANN
1130 MILLER AVE
OAK PARK, IL 60302

16-06-314-022-0000
ZYLA PROPERTIES LLC
47 W DIVISION ST 395
CHICAGO, IL 60610

16-06-314-023-0000
ZYLA PROPERTIES LLC
47 W DIVISION ST #395
CHICAGO, IL 60610

16-06-315-001-0000
DONALD LAMKEN
1139 W MILLER
OAK PARK, IL 60302

16-06-315-002-0000
KENNETH L HUNTER
1135 W MILLER
OAK PARK, IL 60302

16-06-315-003-0000
STEPHEN D ABTAHI
1131 MILLER AVE
OAK PARK, IL 60302

16-06-315-004-0000
TERESA ERIC WRIGHT
1129 MILLER AVE
OAK PARK, IL 60302

16-06-315-021-0000
ROVAGNATI TEMPORITI
1154 SCHNEIDER AVE
OAK PK, IL 60302

16-06-315-022-0000
TAXPAYER OF
1150 SCHNEIDER AV
OAK PARK, IL 60302

16-06-315-023-0000
TAPARIA GOYAL
1146 SCHNEIDER AVE
OAK PK, IL 60302

16-06-315-024-0000
IRENE M IVANOVA
1142 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-025-0000
DOUGLAS LINDA BELPEDIO
1005 N LINDEN AVE
OAK PARK, IL 60302

16-06-315-028-0000
ECKHARDT
1152 SCHNIEDER
OAK PARK, IL 60302

16-06-315-029-0000
CHANAS J ADAMS T
1148 SCHNEIDER AV
OAK PARK, IL 60302

16-06-315-030-0000
D SCULLY
1144 SCHNEIDER
OAK PARK, IL 60302

16-06-315-031-0000
W HUANG
1140 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-032-0000
M CHESEBRO
1134 SCHNEIDER AVE
OAK PARK, IL 60302

16-06-315-035-0000
VICTORIAN SQUARE
41 CHICAGOAV
OAK PARK, IL 60302

16-06-316-026-0000
R C JEWELL
1844 N NORDICA
CHICAGO, IL 60707

16-06-316-030-1001
FRANK ALEXANDER
1135 SCHNEIDER AV
OAK PARK, IL 60302

16-06-316-030-1002
GREG MORRISEY
1135 SCHNEIDER 3A
OAK PARK, IL 60302

16-06-316-030-1003
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

16-06-316-030-1004
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

16-06-316-030-1005
SEBASTIAN BLICHARZ
1135 SCHNEIDER AVE #3B
OAK PARK, IL 60302

16-06-316-030-1006
MELANIE RAK
1135 SCHNEIDER B4
OAK PARK, IL 60302

16-06-316-030-1007
JIHWAN KIM
1135 SCHNEIDER
OAK PARK, IL 60302

16-06-316-030-1008
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

16-06-316-030-1009
CAROL S PERLEE
1135 SCHNEIDER C4
OAK PARK, IL 60302

16-06-316-030-1010
JOHN ROBEL
1135 SCHNEIDER #3D
OAK PARK, IL 60302

16-06-316-030-1011
FRANK ALEXANDER
1135 SCHNEIDER 2A
OAK PARK, IL 60302

16-06-316-030-1012
MELANIE RAK
1135 SCHNEIDER B4
OAK PARK, IL 60302

16-06-316-030-1013
JIHWAN KIM
1135 SCHNEIDER
OAK PARK, IL 60302

16-06-316-030-1014
JOHN ROBEL
1135 SCHNEIDER 3D
OAK PARK, IL 60302

16-06-316-030-1015
MORRISEY
1135 SCHNEIDER AV #3A
OAK PARK, IL 60302

16-06-316-030-1016
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

16-06-316-030-1017
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

16-06-316-030-1018
BARBARA L CLOUSE
1135 SCHNEIDER 2B
OAK PARK, IL 60302

16-06-316-030-1019
SEBASTIAN BLICHARZ
1135 SCHNEIDER AVE #3B
OAK PARK, IL 60302

16-06-316-030-1020
CAROL PERLEE
1135 SCHNEIDER 4C
OAK PARK, IL 60302

16-06-316-030-1021
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

16-06-316-030-1022
ANDREW HOLLY MCCARTH
1135 SCHNEIDER #4A
OAK PARK, IL 60302

16-06-316-030-1023
JOHN ROBEL
1135 SCHNEIDER #3D
OAK PARK, IL 60302

16-06-316-030-1024
GREG MORRISEY
1135 SCHNEIDER 3A
OAK PARK, IL 60302

16-06-316-030-1025
BARBARA MIREL
1135 SCHNEIDER AVE #3C
OAK PARK, IL 60302

XX. Written Request for Waivers

Concordia requests the following waivers from the application process:

- A scaled site plan showing existing contiguous land uses, natural topographic features, zoning district, public thoroughfares, transportation and utilities because the proposed enclosed pedestrian walkway will be located between two buildings interior to the campus and located approximately 269 feet from the sidewalk along the north side of Augusta and approximately 315 feet from the sidewalk on the south side of Augusta; Village Code Section 10-19-6 B 5;
- A scaled site plan showing of the proposal showing lot area, required yards and setbacks and lot area coverage because the proposal is for an enclosed pedestrian walkway of approximately 675 square feet in size (45 X 15 feet) between two buildings and which will be approximately 269 feet from the sidewalk along the north side of Augusta and approximately 315 feet from the sidewalk on the south side of Augusta; Village code Section 10-19-6 B 6;
- A professional traffic study since the proposal contemplates construction of an enclosed pedestrian walkway between the West Annex and the Christopher Center; see Sections VII and XIII above; Village Code Section 10-19-6 B 12;
- A professional economic analysis as to the financial capability of the University and of the project's economic viability; see Section XIV above; Village Code Section 10-19-6 B 13 (b) economic viability does not apply and 13 (c) since there is no anticipated economic impact on the Village;
- An environmental impact study as none are required by law for this project; see Section XV above; Village Code Section 10-19-6 B 14;
- A site drainage plan since the proposal does not alter any site drainage facilities previously approved and since this enclosed pedestrian walkway will be built primarily over an existing sidewalk; see Section VII above; Village Code Section 10-19-6 B 17;
- The requirement to hold a neighbor meeting since the proposed pedestrian walkway is interior to the campus and would be screened from the neighbor view by existing buildings and existing landscaping; see Section XIX above; Village Code Section 10-19-6 B 19;

As pointed out previously in this Application, the University believes this proposed Amendment meets the Standards for Review set out in Section 10-19-3 of the Village Code (see Sec. V.).

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XXI. Fee for Village

Concordia University Chicago stands ready to make any deposits deemed necessary as notified by the Village of River Forest.

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