



MEMORANDUM

DATE: October 30, 2020

TO: Eric Palm, Village Administrator

FROM: John Anderson, Director of Public Works

SUBJECT: Bicycle Plan Implementation – Reduced Number of Signs

Issue:

At the October 26th Village Board meeting staff was directed to reduce the amount of signage within the implementation plan set for the Bicycle Plan. The plan set included 342 signs to guide bicyclists along the designated routes, create motorist awareness, and improve safety at intersections. Since the key destinations within the Village were thought to be widely known by residents the inclusion of wayfinding signage was removed from the plan set. The removal of all wayfinding signs which point to destinations such as schools, town center, the library, etc. are now removed. This reduces the total number of signs to 199 signs that will be placed on existing posts as much as possible. These sign types include bike lane signs, bicycle crossing signs, turn and decision signs. The majority of the plan is located on streets under Village jurisdiction as opposed to IDOT controlled streets. Implementation will also include the installation of bike lane symbols, arrows, and shared lane markings, approximately 5,500 lineal feet of solid white lane line markings, and some pavement marking removals.

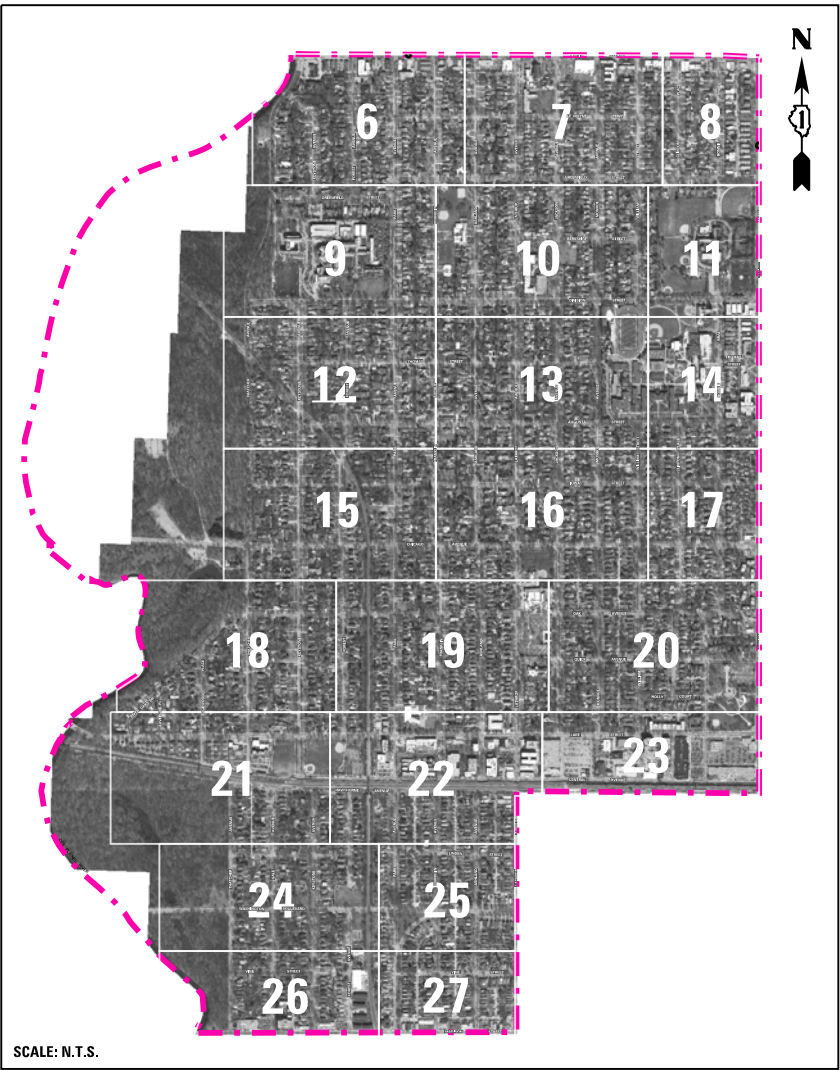
Background:

The Village will be able to utilize a grant for this project through the office of our Cook County Commissioner. This grant will cover \$30,735 of the funds needed for project implementation. The estimated cost of this portion of bicycle plan implementation which includes all signage and pavement striping is now \$147,936. It was previously estimated to cost \$194,000 when all wayfinding signage was included in the previous plan set. This is a reduction of \$46,060. This project was included in this fiscal year's budget. The project is scheduled to be bid this winter with construction planned for Spring 2021. Portions of the bicycle plan located on IDOT controlled streets will require coordination and approval from IDOT and will be pursued in the future. This also includes all of Thatcher Avenue where the Des Plaines River Trail Project is anticipated to be implemented in the future. Thank you.

Attachment: Revised Bicycle Sign and Pavement Marking Plan Set
Bicycle Plan Street Map

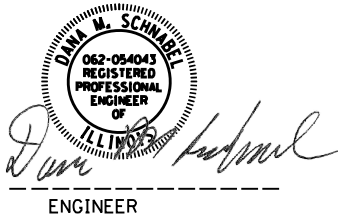
BICYCLE SIGN & PAVEMENT MARKING PLAN

RIVER FOREST, ILLINOIS
COOK COUNTY



INDEX OF SHEETS	
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31-33	CENTRAL AVENUE BIKE LANE STRIPING DETAIL
34-44	STANDARD DETAILS

VILLAGE OF RIVER FOREST
BICYCLE SIGN & PAVEMENT MARKING PLAN
SHEET LOCATION MAP



ENGINEER
DANA M. SCHNABEL
ILLINOIS REGISTRATION No.: 062-054043
EXPIRATION DATE: 11-30-2021
PROFESSIONAL DESIGN FIRM No.: 184-001747

NOTE: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION/DIRECTION AND MEANS/METHODS OF CONSTRUCTION.

GENERAL NOTES

UTILITIES:

THE CONTRACTOR SHALL COOPERATE WITH THE VILLAGE IN ANY UNDERGROUND UTILITY CONSTRUCTION WHICH THE VILLAGE MAY WANT TO PLACE DURING THE CONTRACTOR'S OPERATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNERS OF ALL EXISTING FACILITIES SO THAT THE UTILITIES AND THEIR APPURTENANCES MAY BE LOCATED AND ADJUSTED OR MOVED, IF NECESSARY, PRIOR TO THE START OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL COOPERATE WITH ALL UTILITY OWNERS AS PROVIDED FOR IN THE STANDARD SPECIFICATIONS.

THE LOCATIONS OF EXISTING DRAINAGE STRUCTURES, STORM AND SANITARY SEWERS, WATER SERVICE LINES AND OTHER UTILITY LINES ARE APPROXIMATE, AND THE VILLAGE DOES NOT GUARANTEE THEIR ACCURACY. THEIR EXACT HORIZONTAL AND VERTICAL LOCATIONS ARE TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR AT HIS OWN EXPENSE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR SURFACE UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER OR THE VILLAGE. THIS WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

BEFORE STARTING ANY EXCAVATION, THE CONTRACTOR SHALL CALL "JULIE" AT 800-892-0123 FOR FIELD LOCATIONS OF BURIED ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION FACILITIES. (48 HOUR NOTIFICATION IS REQUIRED.)

STAKING:

THE CONTRACTOR SHALL PROTECT AND CAREFULLY PRESERVE ALL SECTION OR SUBSECTION MONUMENTS OR PROPERTY OR REFERENCE MARKERS UNTIL THE VILLAGE, HIS AGENT OR AN AUTHORIZED SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.

WATER, STORM SEWER AND SANITARY SEWER:

WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF DRAINAGE STRUCTURES SUCH THAT THE NATURAL FLOW OF WATER IS OBSTRUCTED, IT SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL UTILITY STRUCTURES SHALL BE FREE FROM DIRT AND DEBRIS. THE WORK SPECIFIED ABOVE WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCIDENTAL TO THE CONTRACT.

ANY EXISTING OR PROPOSED STORM SEWER DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AND INCIDENTAL TO THE CONTRACT.

THE CONTRACTOR SHALL NOT OPEN OR SHUT ANY WATER VALVES OR FIRE HYDRANTS. CONTACT THE PUBLIC WORKS DEPARTMENT FOR THEM TO TURN VALVES OR OPERATE HYDRANTS. UNAUTHORIZED USE SHALL SUBJECT THE OFFENDER TO ARREST AND PROSECUTION.

GENERAL NOTES:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," ADOPTED JANUARY 1, 2017, THE "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS," ADOPTED JANUARY 1, 2017, AND THE LATEST EDITION OF THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS" (ILMUTCD).

HIGHWAY STANDARDS

000001-07	STANDARD SYMBOLS, ABBREVIATIONS, AND PATTERNS
701311-03	LANE CLOSURE 2L, 2W MOVING OPERATIONS-DAY ONLY
701801-06	LANE CLOSURE MULTILANE 1W OR 2W CROSSWALK OR SIDEWALK CLOSURE
701901-08	TRAFFIC CONTROL DEVICES
720001-01	SIGN PANEL MOUNTING DETAILS
720006-04	SIGN PANEL ERECTION DETAILS
720011-01	METAL POSTS FOR SIGNS, MARKERS & DELINEATORS
728001-01	TELESCOPING STEEL SIGN SUPPORT
729001-01	APPLICATIONS OF TYPES A & B METAL POSTS (FOR SIGNS & MARKERS)
731001-01	BASE FOR TELESCOPING STEEL SIGN SUPPORT
B.L.R. 18-6	TRAFFIC CONTROL DEVICES DAY LABOR MAINTENANCE

DISTRICT STANDARDS

TC-13	DISTRICT ONE TYPICAL PAVEMENT MARKINGS
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SUMMARY OF QUANTITIES

CODE NO.	ITEM DESCRIPTION	UNIT	TOTAL
67100100	MOBILIZATION	L SUM	1
70102640	TRAFFIC CONTROL AND PROTECTION, STANDARD 701801	L SUM	1
72000100	SIGN PANEL - TYPE I	SQ FT	705.58
72800100	TELESCOPING STEEL SIGN SUPPORT	FOOT	14
* 72900100	METAL POST - TYPE A	FOOT	182
72900200	METAL POST - TYPE B	FOOT	182
78000100	THERMOPLASTIC PAVEMENT MARKING - LETTERS AND SYMBOLS	SQ FT	3014
78000200	THERMOPLASTIC PAVEMENT MARKING-LINE 4"	FOOT	1735
78000400	THERMOPLASTIC PAVEMENT MARKING-LINE 6"	FOOT	3779
78000650	THERMOPLASTIC PAVEMENT MARKING-LINE 24"	FOOT	4
78300100	PAVEMENT MARKING REMOVAL	SQ FT	122
* X2600011	REMOVE AND RELOCATE SIGN PANEL	EACH	53
* Z0051398	REMOVE EXISTING SIGN POST	EACH	6

* EXACT QUANTITIES TO BE DETERMINED AT TIME OF INSTALLATION
BASED ON FIELD INSPECTION OF EXISTING SIGN POSTS,
LIGHT POLES, AND SIGN PLACEMENTS.



9575 West Higgins Road, Suite 400
Rosemont, Illinois 60018
P: (847) 518-9990 F: (847) 518-9987








PROJECT # 19-297

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -




GENERAL NOTES, IDOT STANDARDS & SUMMARY OF QUANTITIES

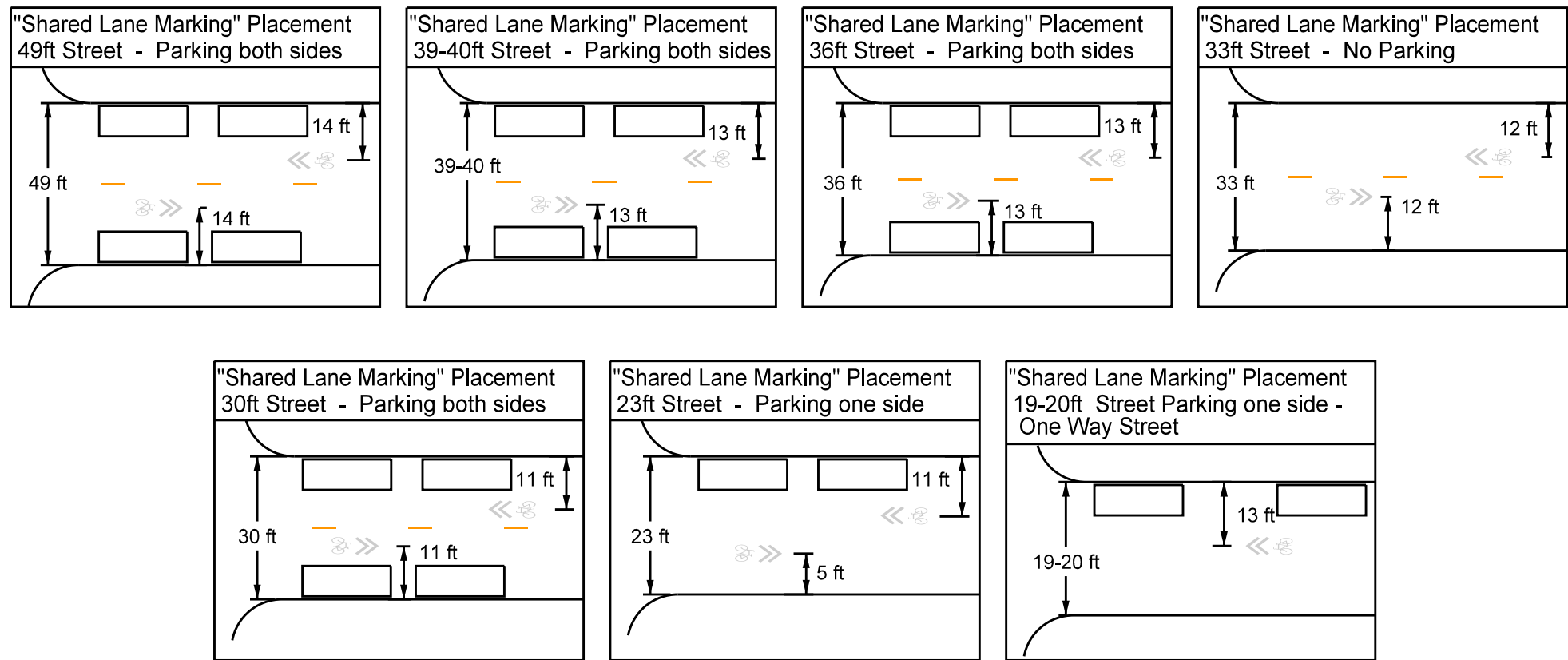
	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	2
SCALE: NONE			
PLOT DATE = 10/30/2020	ILLINOIS		

SIGN SUMMARY

IMAGE	TYPE	MUTCD DESIGNATION	COLOR		SIZE	UNIT	QUANTITY	SHEET LOCATION
			SYMBOLS/ LETTERS	BACKGROUND				
	BIKE ROUTE GUIDE SIGN	D11-1	WHITE	GREEN	24" x 18"	EA	107	6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27
	BIKE ROUTE DIRECTIONAL ARROW AUXILIARY PLAQUE	M6-1	WHITE	GREEN	12" x 9"	EA	3	9, 21
	BIKE ROUTE DIRECTIONAL ARROW AUXILIARY PLAQUE	M6-1	WHITE	GREEN	12" x 9"	EA	3	6, 9, 21
	BIKE LANE SIGN	R3-17	WHITE BLACK	BLACK WHITE	24" x 18"	EA	11	9, 23, 28, 29, 30, 32, 33
	BIKE LANE AHEAD PLAQUE	R3-17aP	BLACK	WHITE	24" x 8"	EA	1	9
	BIKE LANE ENDS PLAQUE	R3-17bP	BLACK	WHITE	24" x 8"	EA	3	9, 23, 28, 30, 32
	BICYCLES MAY USE FULL LANE SIGN	R4-11	BLACK	WHITE	30" x 30"	EA	19	7, 9, 10, 11, 13, 15, 16, 17, 19, 22, 24, 25, 27

SIGN SUMMARY

IMAGE	TYPE	MUTCD DESIGNATION	COLOR		SIZE	UNIT	QUANTITY	SHEET LOCATION
			SYMBOLS/ LETTERS	BACKGROUND				
	BICYCLE WARNING SIGN (2-SIDED)	W11-1	BLACK	FLUORESCENT YELLOW-GREEN	30" x 30"	EA	24	14, 15, 16, 17, 20
	COMBINED BICYCLE/ PEDESTRIAN SIGN (2-SIDED)	W11-15	BLACK	FLUORESCENT YELLOW-GREEN	30" x 30"	EA	4	18
	DIAGONAL DOWNWARD-POINTING ARROW PLAQUE (2-SIDED)	W16-17P	BLACK	FLUORESCENT YELLOW-GREEN	24" x 12"	EA	24	14, 15, 16, 17, 20



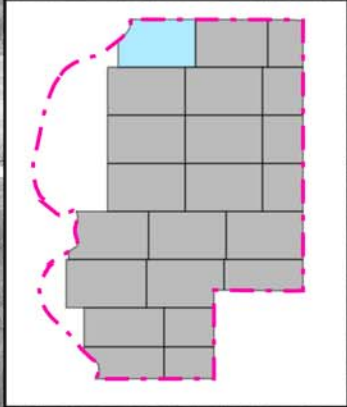
SHARED LANE MARKING PLACEMENT

Street	Block	Street Width (ft)	Centerline Marking	Side with Parking Lane	Northbound/Eastbound Symbol Placement (ft from curb face) ¹	Southbound/Westbound Symbol Placement (ft from curb face) ¹
Central Ave	Keystone-CN RR	19	n/a ²	North	n/a	13 ft from north curb
	CN RR-Park	19	n/a ²	South	n/a	13 ft from south curb
	Park-Lathrop	23	No	North	5 ft	11 ft
	Lathrop-Jackson	30	Yes	Both	11 ft	11 ft
	Jackson-William	30	Yes	South	11 ft	n/a ³
	William-Clinton	30	n/a ²	Both	19 ft from north curb	n/a
	Clinton-Harlem	20	n/a ²	South	14 ft from south curb	n/a
Chicago Ave	Thacker-Bonnie Brae	36	Yes	Both	13 ft	13 ft
	Bonnie Brae-Harlem	33	Yes	None	12 ft	12 ft
Division St	Park-Bonnie Brae	39	Yes	Both	13 ft	13 ft
	Bonnie Brae-Harlem	49	Yes	Both	14 ft	14 ft
Lathrop Ave	North-Lake	30	Yes	Both	11 ft	11 ft
	Lake-Central	36	Yes	Both	13 ft	13 ft
	Hawthorne-Madison	36	Yes	Both	13 ft	13 ft
Washington St	Thacker-Lathrop	40	Yes	Both	13 ft	13 ft

¹ Distance is measured from face of curb to centerline of shared lane marking.

² One-way street segment

³ Westbound direction will feature a dedicated bicycle lane.



NORTH AVENUE

64

CVS
PHARMACY

PARK AVENUE

FRANKLIN AVENUE

LE MOYNE PARKWAY

THATCHER AVENUE

KEYSTONE AVENUE

FOREST AVENUE



GREENFIELD STREET

LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY:
LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE
RECONFIGURATION OF THE SIGNS ON THE POLES

(2) CONTINGENCY:
EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

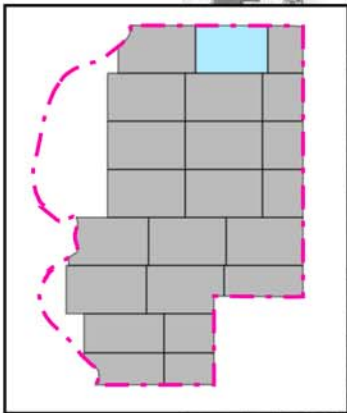


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PROJECT # 19-297

DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	DS	REVISED -	
DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	6
SCALE: 1"=80'		
PLOT DATE = 10/30/2020 RLJ/LNO/IS		



LEGEND

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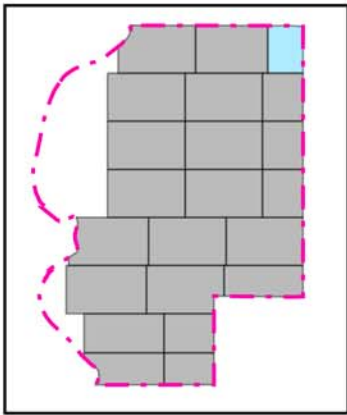


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BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	7
SCALE: 1"=80'		
PLOT DATE = 10/30/2020 RLJ/IN015		



LEGEND
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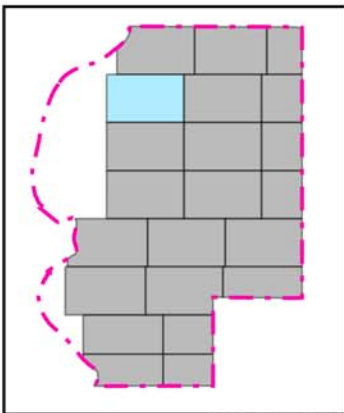
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⁽²⁾ CONTINGENCY:
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WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

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DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	8
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 RLN1015			



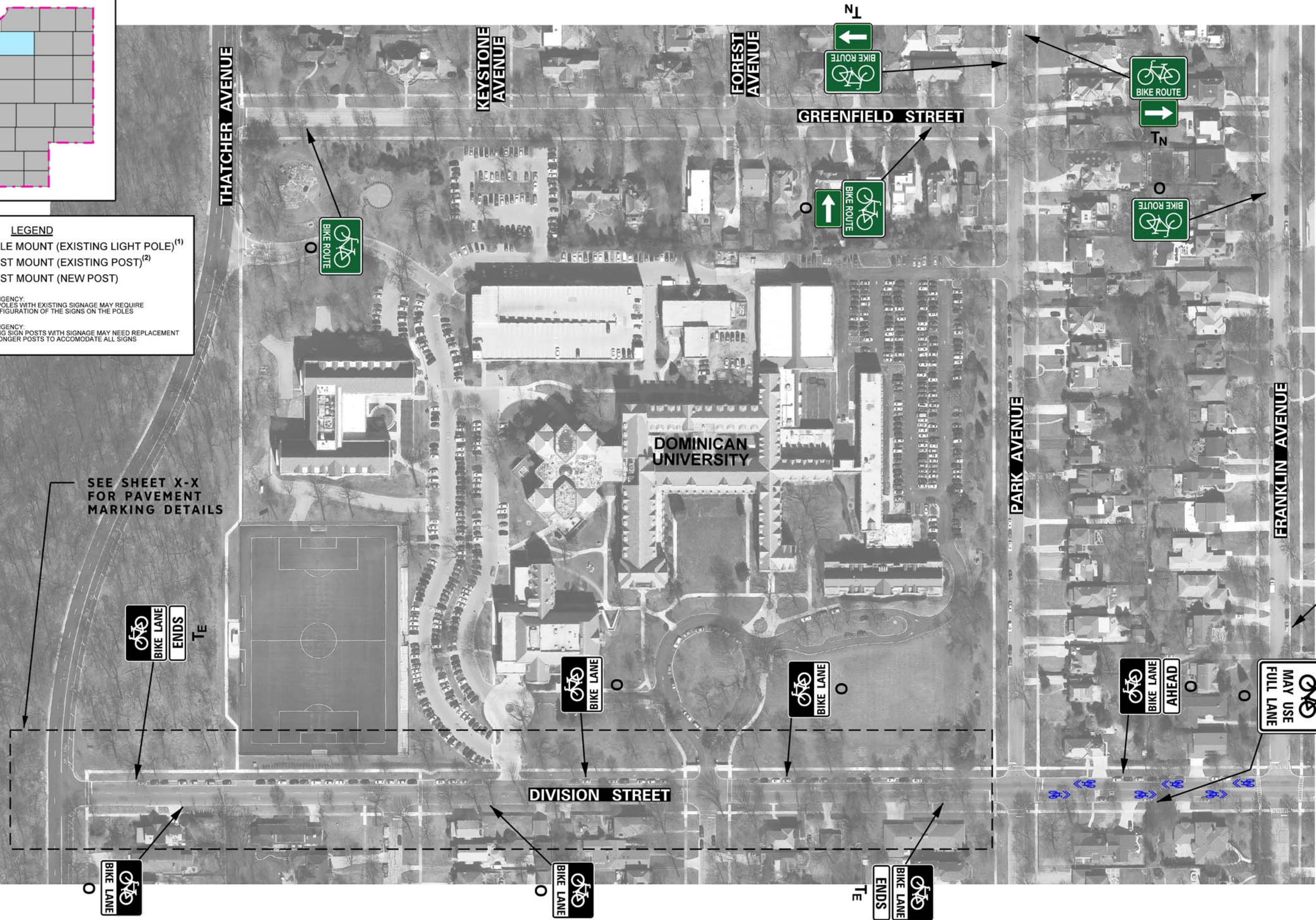
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SEE SHEET X-X
FOR PAVEMENT
MARKING DETAILS

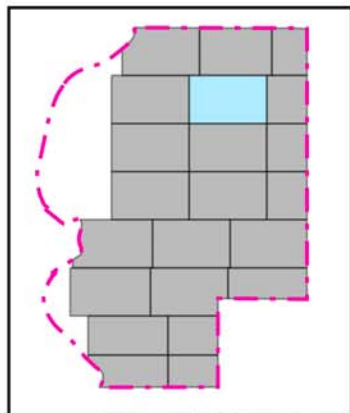


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DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	9

SCALE: 1"=80'
PLOT DATE: 10/30/2020

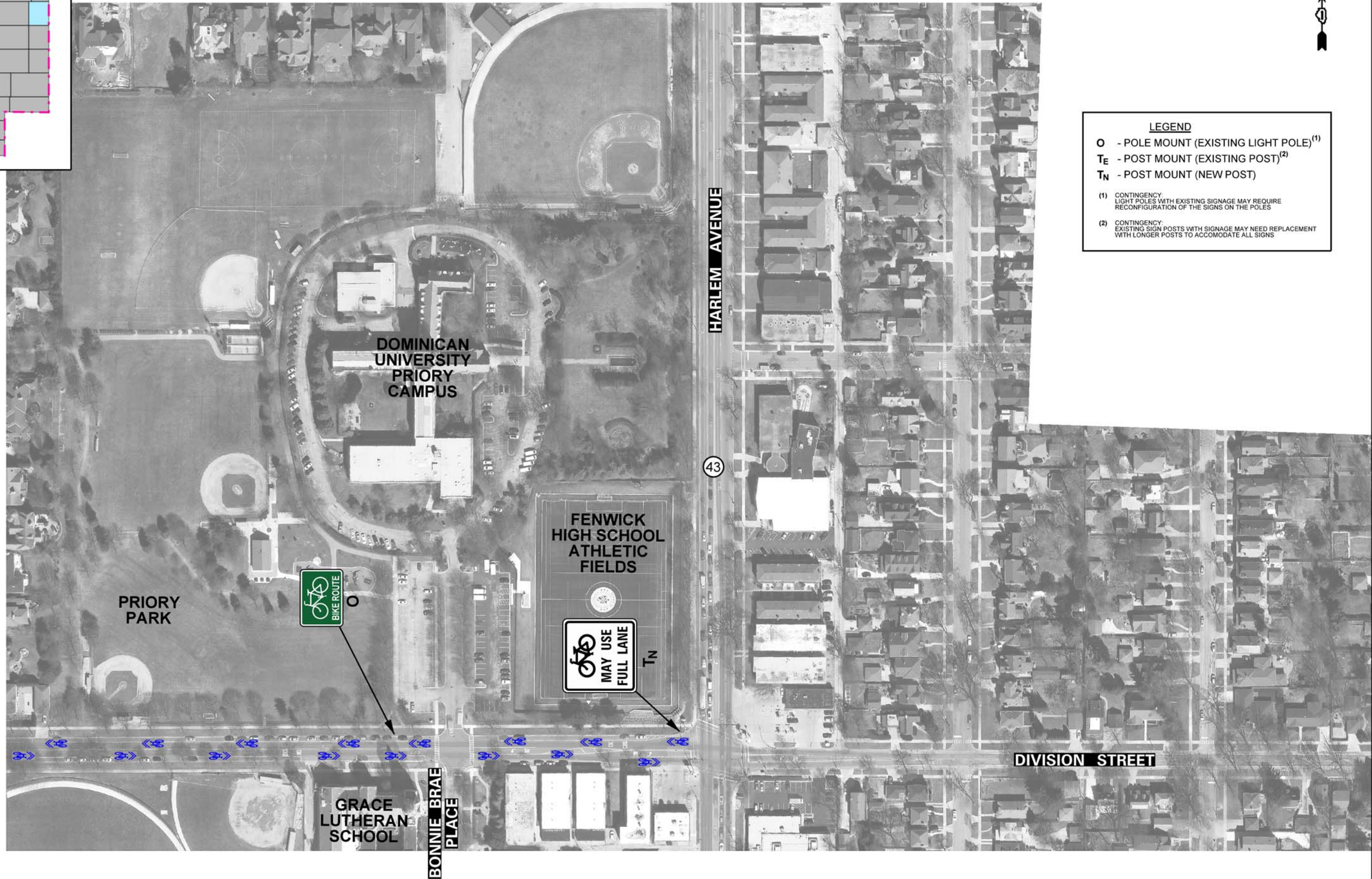
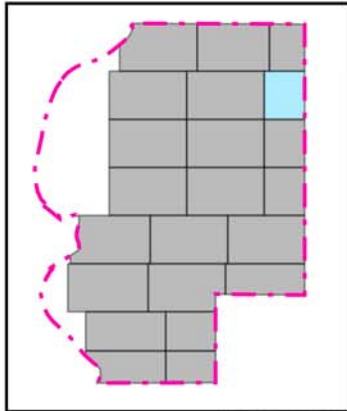


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BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	10
SCALE: 1"=80'		
PLOT DATE = 10/30/2020 RLJ/NOIS		



LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾

T_E - POST MOUNT (EXISTING POST)⁽²⁾

T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY:
LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE
RECONFIGURATION OF THE SIGNS ON THE POLES

(2) CONTINGENCY:
EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS



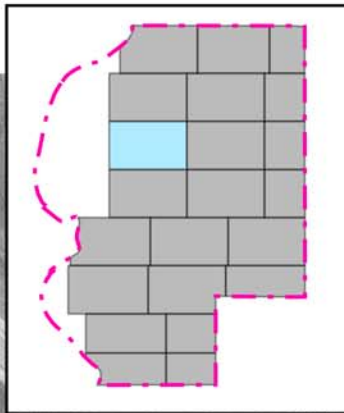
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BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	11

SCALE: 1"=80'
PLOT DATE = 10/30/2020 RLL/IN015



LEGEND

- O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
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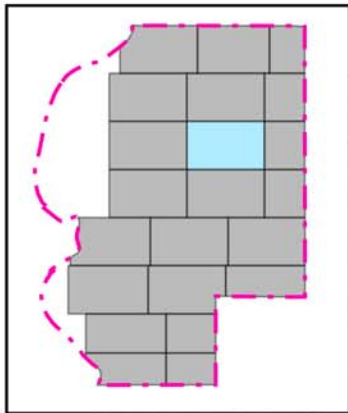


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BICYCLE SIGN & PAVEMENT MARKING PLAN

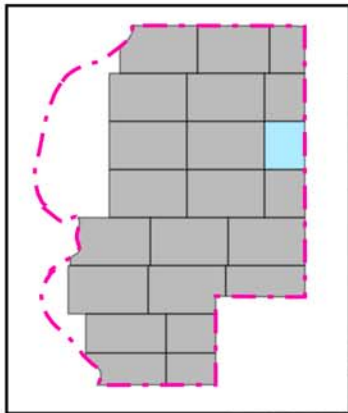
	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	12
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 RLJ/NOIS			



LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY: LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE RECONFIGURATION OF THE SIGNS ON THE POLES
(2) CONTINGENCY: EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS



LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
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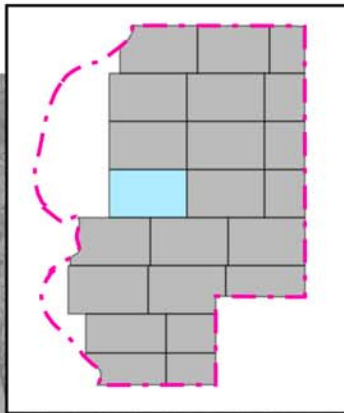
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EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
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DESIGNED	-	ER	REVISED	-
DRAWN	-	MD	REVISED	-
CHECKED	-	DS	REVISED	-
DATE	-	10/30/2020	REVISED	-

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	14

SCALE: 1"=80'
PLOT DATE: 10/30/2020 RLJ/LNO/IS



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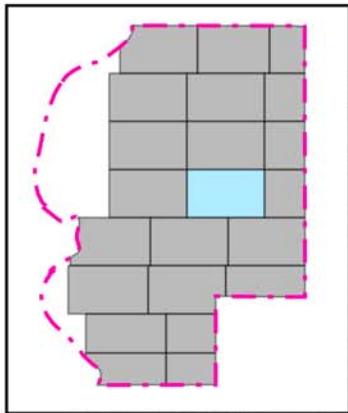


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BICYCLE SIGN & PAVEMENT MARKING PLAN

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	15
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 RLJ/LNO/IS			



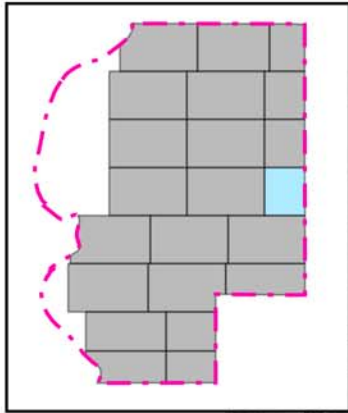
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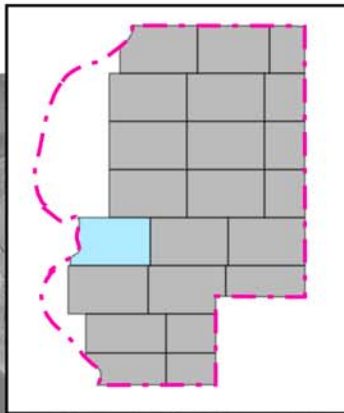
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WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

DESIGNED	-	ER	REVISED	-
DRAWN	-	MD	REVISED	-
CHECKED	-	DS	REVISED	-
DATE	-	10/30/2020	REVISED	-

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	17

SCALE: 1"=80'
PLOT DATE = 10/30/2020 RLJ/NOIS



LEGEND

O

- POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾

T_E

- POST MOUNT (EXISTING POST)⁽²⁾

T_N

- POST MOUNT (NEW POST)

(1)

CONTINGENCY:
LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE
RECONFIGURATION OF THE SIGNS ON THE POLES

(2)

CONTINGENCY:
EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

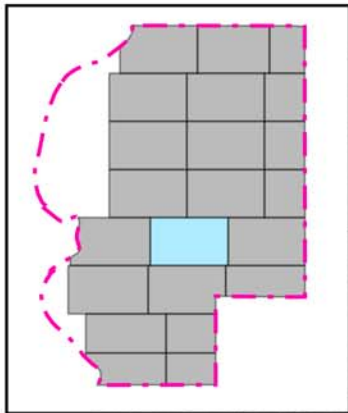


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PROJECT # 19-297

DESIGNED	-	ER	REVISED	-
DRAWN	-	MD	REVISED	-
CHECKED	-	DS	REVISED	-
DATE	-	10/30/2020	REVISED	-

BICYCLE SIGN & PAVEMENT MARKING PLAN

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	18
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 RLN/NOIS			



LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY: LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE RECONFIGURATION OF THE SIGNS ON THE POLES

(2) CONTINGENCY: EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS





LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
 T_E - POST MOUNT (EXISTING POST)⁽²⁾
 T_N - POST MOUNT (NEW POST)

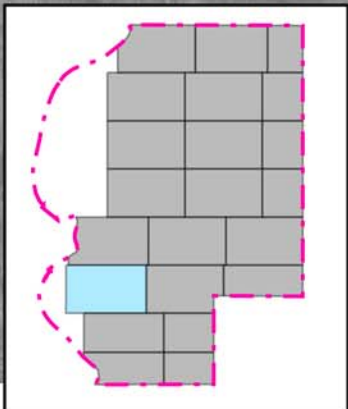
(1) CONTINGENCY:
 LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE
 RECONFIGURATION OF THE SIGNS ON THE POLES

(2) CONTINGENCY:
 EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
 WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	DS	REVISED -	
DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	20
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 RLN/IN/15			



LEGEND

O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾

Te - POST MOUNT (EXISTING POST)⁽²⁾

Tn - POST MOUNT (NEW POST)

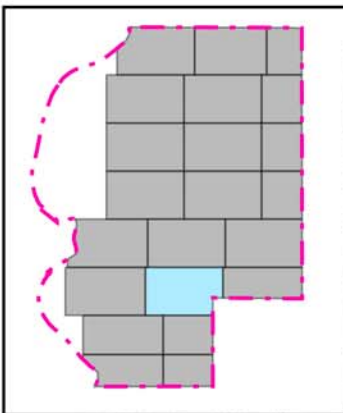
(1) CONTINGENCY:
LIGHT POLES WITH EXISTING SIGNAGE MAY REQUIRE
RECONFIGURATION OF THE SIGNS ON THE POLES

(2) CONTINGENCY:
EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	DS	REVISED -	
DATE -	10/30/2020	REVISED -	

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	21

SCALE: 1"=80'
PLOT DATE = 10/30/2020 RLJ/NOIS

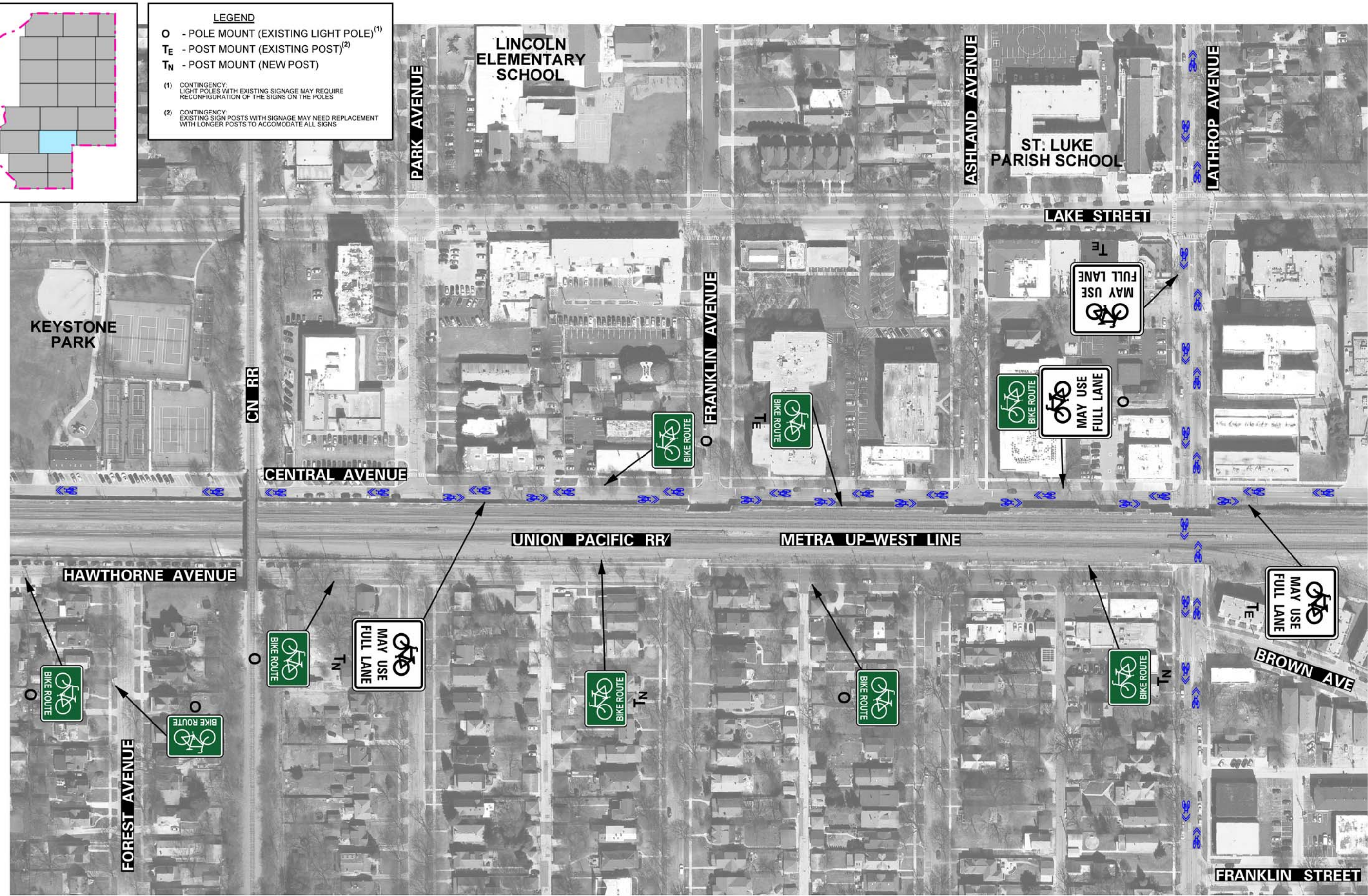


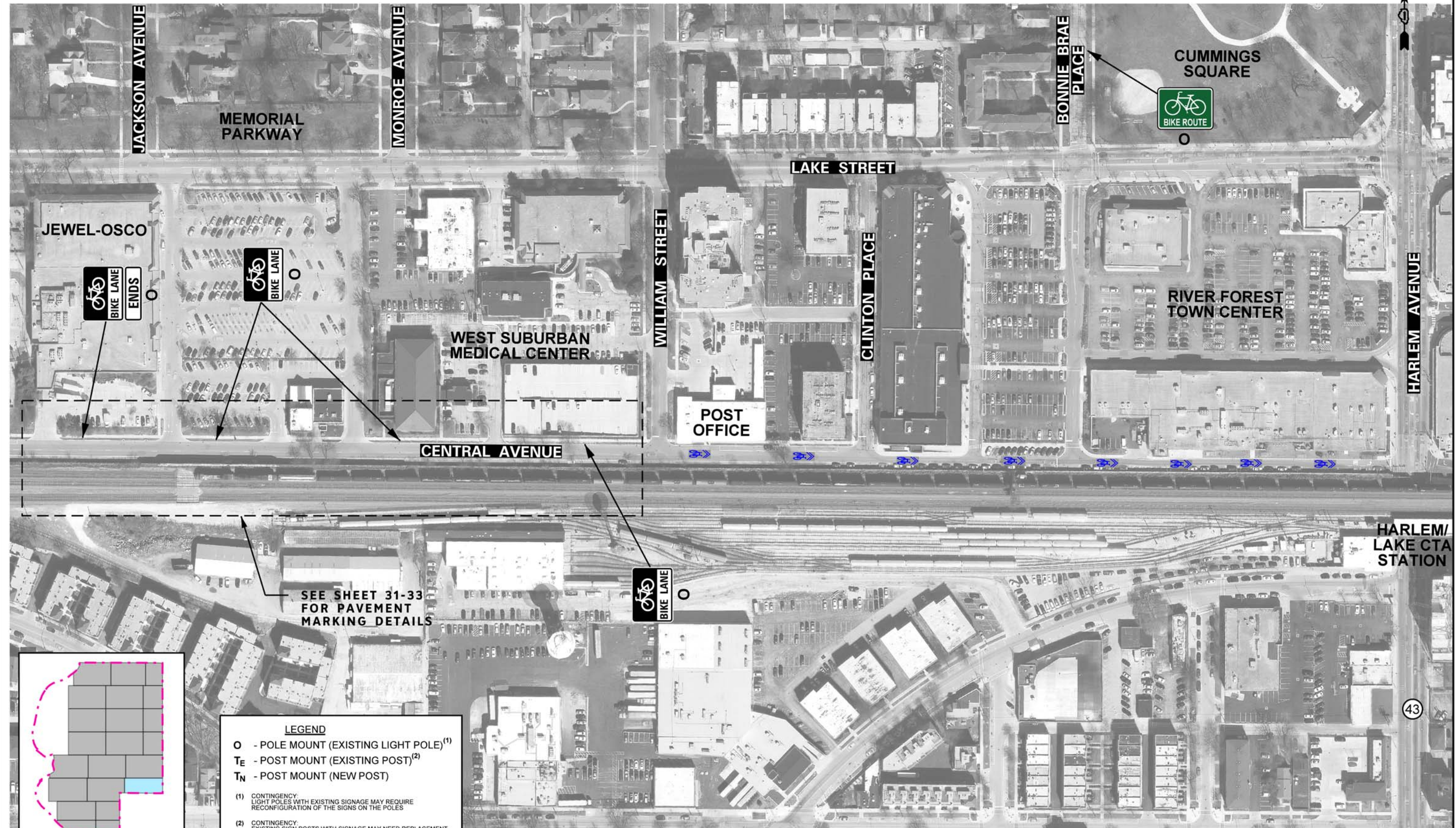
LEGEND

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T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

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EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
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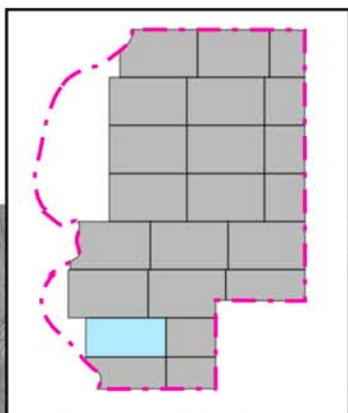


DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	DS	REVISED -	
DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	23

SCALE: 1"=80'
PLOT DATE: 10/30/2020 RLL/IN015



O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY:
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(2) CONTINGENCY:
EXISTING SIGN POSTS WITH SIGNAGE MAY NEED REPLACEMENT
WITH LONGER POSTS TO ACCOMMODATE ALL SIGNS

**GRAND ARMY
OF THE REPUBLIC
MEMORIAL WOODS**

WASHINGTON BOULEVARD

**THOMAS
JEFFERSON
MEMORIAL
WOODS**

THATCHER AVENUE

GALE AVENUE

LINDEN STREET

KEYSTONE AVENUE


FOREST AVENUE

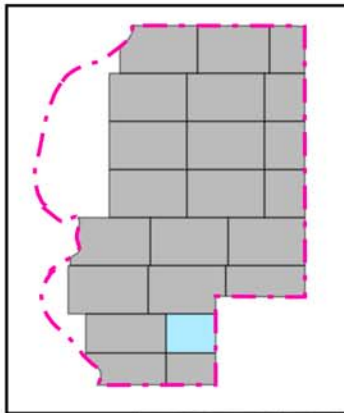
CN RR

**WASHINGTON
COMMONS
PARK**

FOREST AVENUE

**WASHINGTON
SQUARE
PARK**





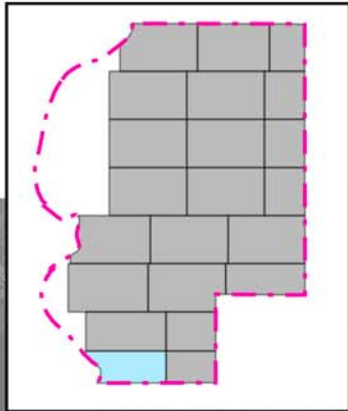
LEGEND

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LEGEND

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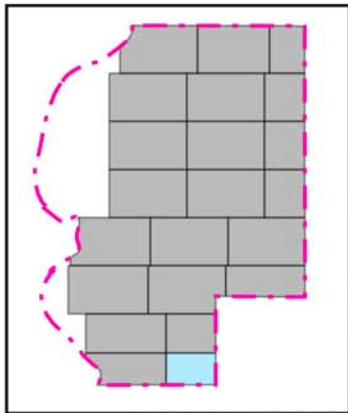


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CHECKED	-	DS	REVISED	-
DATE	-	10/30/2020	REVISED	-

BICYCLE SIGN & PAVEMENT MARKING PLAN

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	26
SCALE: 1"=80'			
PLOT DATE = 10/30/2020 BLD IN 015			



LEGEND

- O** - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
- T_E** - POST MOUNT (EXISTING POST)⁽²⁾
- T_N** - POST MOUNT (NEW POST)

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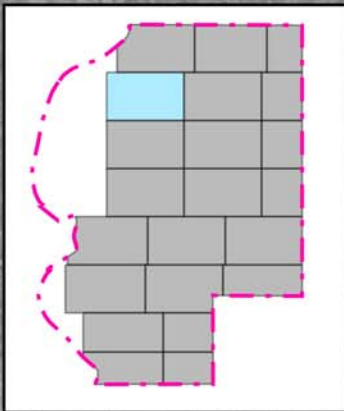


DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	DS	REVISED -	
DATE -	10/30/2020	REVISED -	

BICYCLE SIGN & PAVEMENT MARKING PLAN

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	27

SCALE: 1"=80'
PLOT DATE = 10/30/2020 BLD IN 015



LEGEND

- O** - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
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- T_N** - POST MOUNT (NEW POST)

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**PROPOSED THERMOPLASTIC
PAVEMENT MARKING SYMBOLS
(TYPICAL, WHITE)**

**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4" (WHITE)**

**REMOVE BROKEN YELLOW
CENTERLINE MARKINGS**

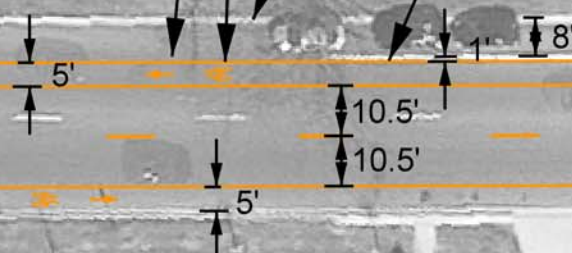
**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4"
(10' SKIP - 30' DASH, YELLOW)**

**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 6" (WHITE)**

**DOMINICAN
UNIVERSITY**

DIVISION STREET

THATCHER AVENUE



DESIGNED -	ER	REVISED -	
DRAWN -	MD	REVISED -	
CHECKED -	ER	REVISED -	
DATE -		REVISED -	

DIVISION STREET BIKE LANE STRIPING DETAIL

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	28

SCALE: 1"=80'
PLOT DATE: 10/30/2019

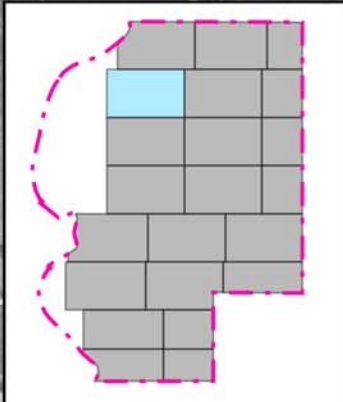
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**DOMINICAN
UNIVERSITY**



**PROPOSED THERMOPLASTIC
PAVEMENT MARKING SYMBOLS
(TYPICAL, WHITE)**

**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4" (WHITE)**

**REMOVE BROKEN YELLOW
CENTERLINE MARKINGS**



**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4" (10' SKIP - 30' DASH, YELLOW)**

DIVISION STREET

**PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 6" (WHITE)**

KEYSTONE AVENUE

FOREST AVENUE



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DATE -		REVISED -	

DIVISION STREET BIKE LANE STRIPING DETAIL

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	29
SCALE: 1"=80'		
PLOT DATE: 10/30/2024 BLD.LIN015		

DOMINICAN
UNIVERSITY

PROPOSED THERMOPLASTIC
PAVEMENT MARKING SYMBOLS
(TYPICAL, WHITE)

PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4" (WHITE)

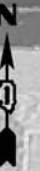
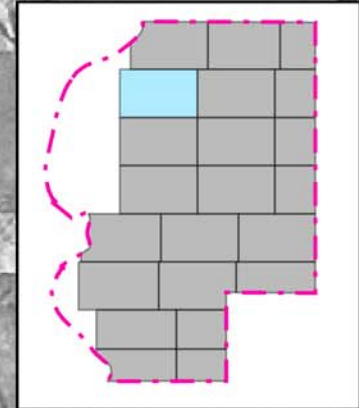
REMOVE BROKEN YELLOW
CENTERLINE MARKINGS

PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 4"
(10' SKIP - 30' DASH, YELLOW)



DIVISION STREET

PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 6" (WHITE)



PARK AVENUE

LEGEND

- O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
T_E - POST MOUNT (EXISTING POST)⁽²⁾
T_N - POST MOUNT (NEW POST)

(1) CONTINGENCY:
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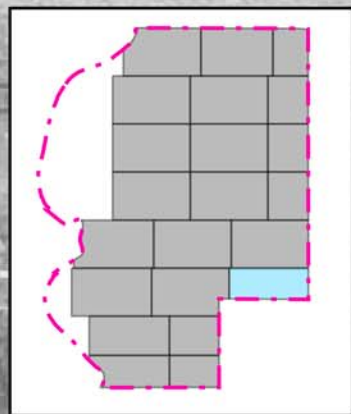


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DATE	-	REVISED	-

DIVISION STREET BIKE LANE STRIPING DETAIL

	COUNTY	TOTAL SHEETS	SHEET NO.
	COOK	44	30
SCALE: 1"=80'			
PLOT DATE = 10/30/2019			

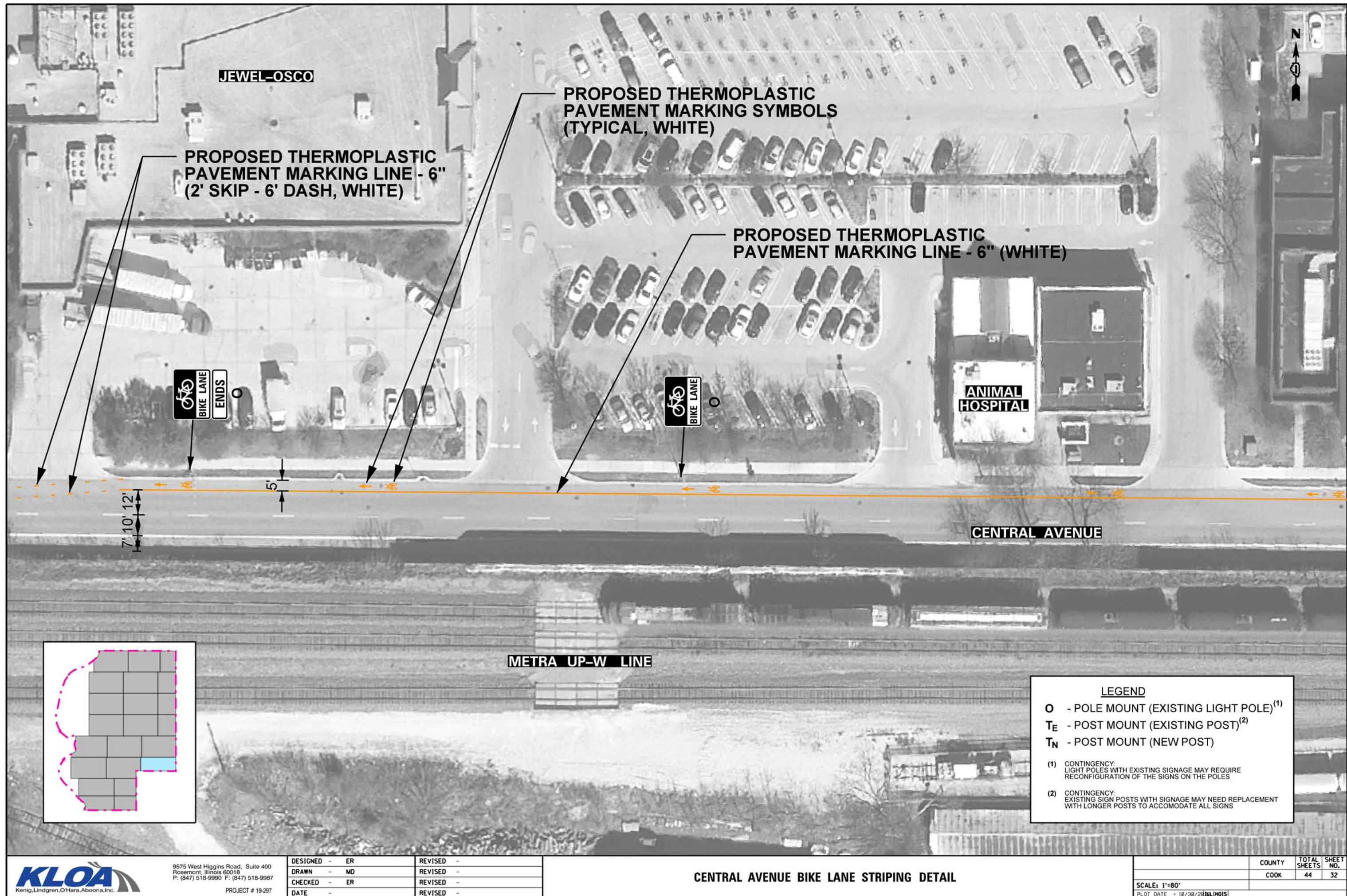


DESIGNED	-	ER	REVISED	-
DRAWN	-	MD	REVISED	-
CHECKED	-	ER	REVISED	-
DATE	-		REVISED	-

CENTRAL AVENUE BIKE LANE STRIPING DETAIL

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	31

SCALE: 1"=80'
PLOT DATE = 10/30/2010



JEWEL-OSCO

PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 6"
(2' SKIP - 6' DASH, WHITE)

PROPOSED THERMOPLASTIC
PAVEMENT MARKING SYMBOLS
(TYPICAL, WHITE)

PROPOSED THERMOPLASTIC
PAVEMENT MARKING LINE - 6" (WHITE)

ANIMAL
HOSPITAL

CENTRAL AVENUE

METRA UP-W LINE

LEGEND

- O - POLE MOUNT (EXISTING LIGHT POLE)⁽¹⁾
- T_E - POST MOUNT (EXISTING POST)⁽²⁾
- T_N - POST MOUNT (NEW POST)

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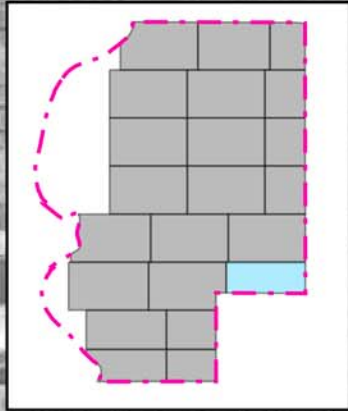
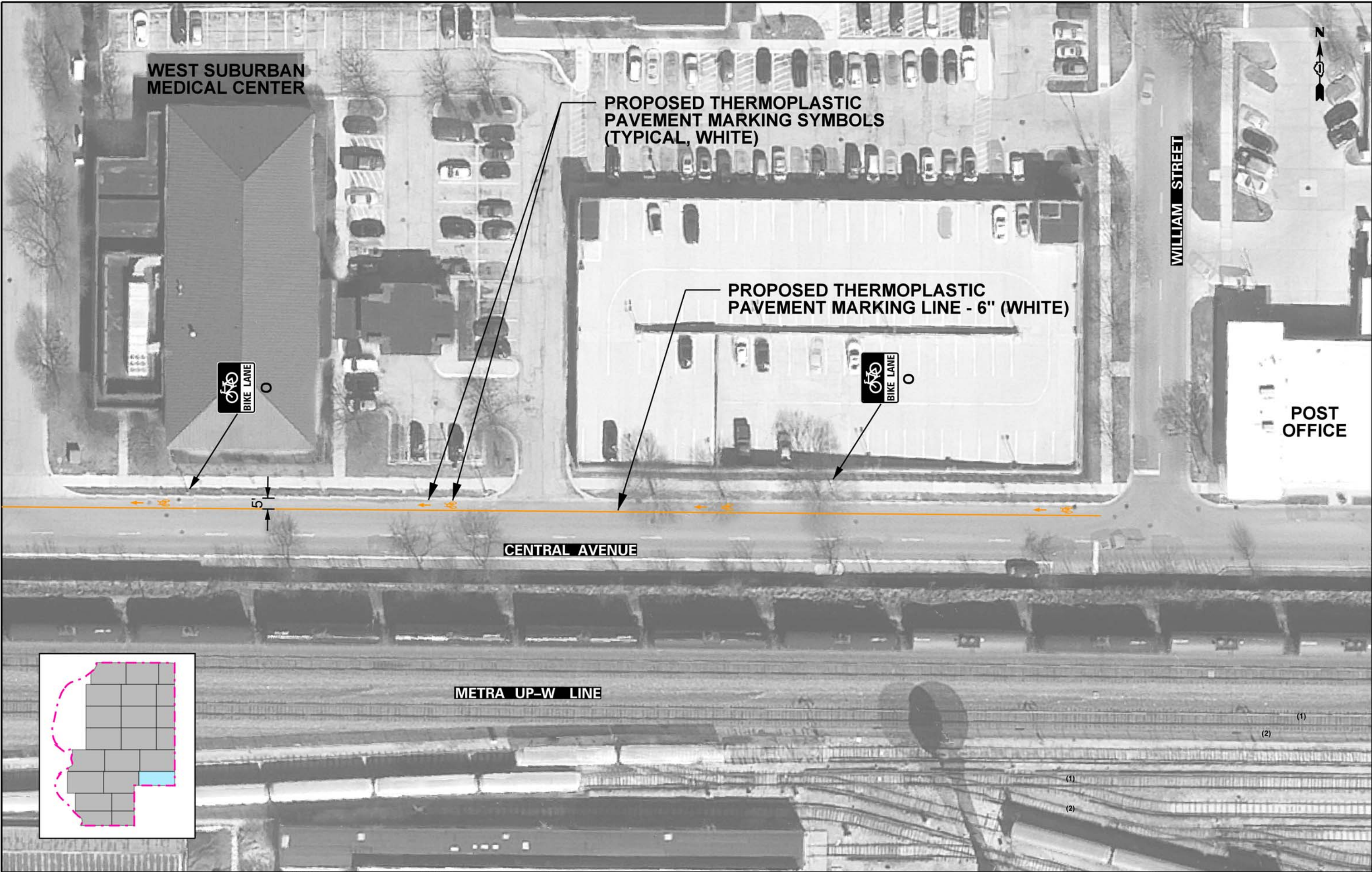


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DATE	-		REVISED	-

CENTRAL AVENUE BIKE LANE STRIPING DETAIL

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	32
SCALE: 1"=80'		
PLOT DATE = 10/30/2019		




DESIGNED	-	ER	REVISED	-
DRAWN	-	MD	REVISED	-
CHECKED	-	ER	REVISED	-
DATE	-		REVISED	-

CENTRAL AVENUE BIKE LANE STRIPING DETAIL

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	33
SCALE: 1"=80'		
PLOT DATE: 10/30/2019		

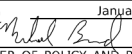
ABV	ABOVE	CU YD	CUBIC YARD	HD	HEAD	PED	PEDESTAL	STD	STANDARD
A/C	ACCESS CONTROL	CULV	CULVERT	HDW	HEADWALL	PNT	POINT	SBI	STATE BOND ISSUE
AC	ACRE	C&G	CURB & GUTTER	HDUTY	HEAVY DUTY	PC	POINT OF CURVATURE	SR	STATE ROUTE
ADJ	ADJUST	D	DEGREE OF CURVE	ha	HECTARE	PI	POINT OF INTERSECTION OF HORIZONTAL CURVE	STA	STATION
AS	AERIAL SURVEYS	DC	DEPRESSED CURVE	HMA	HOT MIX ASPHALT			SPBGR	STEEL PLATE BEAM GUARDRAIL
AGG	AGGREGATE	DET	DETECTOR	HWY	HIGHWAY	PRC	POINT OF REVERSE CURVE	SS	STORM SEWER
AH	AHEAD	DIA	DIAMETER	HORIZ	HORIZONTAL	PT	POINT OF TANGENCY	STY	STORY
APT	APARTMENT	DIST	DISTRICT	HSE	HOUSE	POT	POINT ON TANGENT	ST	STREET
ASPH	ASPHALT	DOM	DOMESTIC	IL	ILLINOIS	POLYETH	POLYETHYLENE	STR	STRUCTURE
AUX	AUXILIARY	DBL	DOUBLE	IMP	IMPROVEMENT	PCC	PORTLAND CEMENT CONCRETE	e	SUPERELEVATION RATE
AGS	AUXILIARY GAS VALVE (SERVICE)	DSEL	DOWNSTREAM ELEVATION	IN DIA	INCH DIAMETER	PP	POWER POLE OR PRINCIPAL POINT	S.E. RUN.	SUPERELEVATION RUNOFF LENGTH
AVE	AVENUE	DSFL	DOWNSTREAM FLOWLINE	INL	INLET	PRM	PRIME	SURF	SURFACE
AX	AXIS OF ROTATION	DR	DRAINAGE OR DRIVE	INST	INSTALLATION	PE	PRIVATE ENTRANCE	SMK	SURVEY MARKER
BK	BACK	DI	DRAINAGE INLET OR DROP INLET	IDS	INTERSECTION DESIGN STUDY	PROF	PROFILE	T	TANGENT DISTANCE
B-B	BACK TO BACK	DRV	DRIVEWAY	INV	INVERT	PGL	PROFILE GRADELINE	T.R.	TANGENT RUNOUT DISTANCE
BKPL	BACKPLATE	DCT	DUCT	IP	IRON PIPE	PROJ	PROJECT	TEL	TELEPHONE
B	BARN	EA	EACH	IR	IRON ROD	P.C.	PROPERTY CORNER	TB	TELEPHONE BOX
BARR	BARRICADE	EB	EASTBOUND	JT	JOINT	PL	PROPERTY LINE	TP	TELEPHONE POLE
BGN	BEGIN	EOP	EDGE OF PAVEMENT	kg	KILOGRAM	PR	PROPOSED	TEMP	TEMPORARY
BM	BENCHMARK	E-CL	EDGE TO CENTERLINE	km	KILOMETER	R	RADIUS	TBM	TEMPORARY BENCH MARK
BIND	BINDER	E-E	EDGE TO EDGE	LS	LANDSCAPING	RR	RAILROAD	TD	TILE DRAIN
BIT	BITUMINOUS	EL	ELEVATION	LN	LANE	RRS	RAILROAD SPIKE	TBE	TO BE EXTENDED
BTM	BOTTOM	ENTR	ENTRANCE	LT	LEFT	RPS	REFERENCE POINT STAKE	TBR	TO BE REMOVED
BLVD	BOULEVARD	EXC	EXCAVATION	LP	LIGHT POLE	REF	REFLECTIVE	TBS	TO BE SAVED
BRK	BRICK	EX	EXISTING	LGT	LIGHTING	RCCP	REINFORCED CONCRETE CULVERT PIPE	TWP	TOWNSHIP
BBOX	BUFFALO BOX	EXPWAY	EXPRESSWAY	LF	LINEAL FEET OR LINEAR FEET	REINF	REINFORCEMENT	TR	TOWNSHIP ROAD
BLDG	BUILDING	E	EXTERNAL DISTANCE OF HORIZONTAL CURVE	L	LITER OR CURVE LENGTH	REM	REMOVAL	TS	TRAFFIC SIGNAL
CIP	CAST IRON PIPE	E	OFFSET DISTANCE TO VERTICAL CURVE	LC	LONG CHORD	RC	REMOVE CROWN	TSCB	TRAFFIC SIGNAL CONTROL BOX
CB	CATCH BASIN	F-F	FACE TO FACE	LNG	LONGITUDINAL	REP	REPLACEMENT	TSC	TRAFFIC SYSTEMS CENTER
C-C	CENTER TO CENTER	FA	FEDERAL AID	L SUM	LUMP SUM	REST	RESTAURANT	TRVS	TRANSVERSE
CL	CENTERLINE OR CLEARANCE	FAI	FEDERAL AID INTERSTATE	MACH	MACHINE	RESURF	RESURFACING	TRVL	TRAVEL
CL-E	CENTERLINE TO EDGE	FAP	FEDERAL AID PRIMARY	MB	MAIL BOX	RET	RETAINING	TRN	TURN
CL-F	CENTERLINE TO FACE	FAS	FEDERAL AID SECONDARY	MH	MANHOLE	RT	RIGHT	TY	TYPE
CTS	CENTERS	FAUS	FEDERAL AID URBAN SECONDARY	MATL	MATERIAL	ROW	RIGHT-OF-WAY	T-A	TYPE A
CERT	CERTIFIED	FP	FENCE POST	MED	MEDIAN	RD	ROAD	TYP	TYPICAL
CHSLD	CHISELED	FE	FIELD ENTRANCE	m	METER	RDWY	ROADWAY	UNDGND	UNDERGROUND
CS	CITY STREET	FH	FIRE HYDRANT	METH	METHOD	RTE	ROUTE	USGS	U.S. GEOLOGICAL SURVEY
CP	CLAY PIPE	FL	FLOW LINE	M	MID-ORDINATE	SAN	SANITARY	USEL	UPSTREAM ELEVATION
CLSD	CLOSED	FB	FOOT BRIDGE	mm	MILLIMETER	SANS	SANITARY SEWER	USFL	UPSTREAM FLOWLINE
CLID	CLOSED LID	FDN	FOUNDATION	mm DIA	MILLIMETER DIAMETER	SEC	SECTION	UTIL	UTILITY
CT	COAT OR COURT	FR	FRAME	MIX	MIXTURE	SEED	SEEDING	VBOX	VALVE BOX
COMB	COMBINATION	F&G	FRAME & GRATE	MBH	MOBILE HOME	SHAP	SHAPING	VV	VALVE VAULT
C	COMMERCIAL BUILDING	FRWAY	FREEWAY	MOD	MODIFIED	S	SHED	VLT	VAULT
CE	COMMERCIAL ENTRANCE	GAL	GALLON	MFT	MOTOR FUEL TAX	SH	SHEET	VEH	VEHICLE
CONC	CONCRETE	GALV	GALVANIZED	N & BC	NAIL & BOTTLE CAP	SHLD	SHOULDER	VP	VENT PIPE
CONST	CONSTRUCT	G	GARAGE	N & C	NAIL & CAP	SW	SIDEWALK OR SOUTHWEST	VERT	VERTICAL
CONTD	CONTINUED	GM	GAS METER	N & W	NAIL & WASHER	SIG	SIGNAL	VC	VERTICAL CURVE
CONT	CONTINUOUS	GV	GAS VALVE	NOAA	NATIONAL OCEANIC ATMOSPHERIC	SOD	SODDING	VPC	VERTICAL POINT OF CURVATURE
COR	CORNER	GRAN	GRANULAR		ADMINISTRATION	SM	SOLID MEDIAN	VPI	VERTICAL POINT OF INTERSECTION
CORR	CORRUGATED	GR	GRATE	NC	NORMAL CROWN	SB	SOUTHBOUND	VPT	VERTICAL POINT OF TANGENCY
CMP	CORRUGATED METAL PIPE	GRVL	GRAVEL	NB	NORTHBOUND	SE	SOUTHEAST	WM	WATER METER
CNTY	COUNTY	GND	GROUND	NE	NORTHEAST	SPL	SPECIAL	WV	WATER VALVE
CH	COUNTY HIGHWAY	GUT	GUTTER	NW	NORTHWEST	SD	SPECIAL DITCH	WMAIN	WATER MAIN
CSE	COURSE	GP	GUY POLE	OLID	OPEN LID	SQ FT	SQUARE FEET	WB	WESTBOUND
XSECT	CROSS SECTION	GW	GUY WIRE	PAT	PATTERN	m ²	SQUARE METER	WILDFL	WILDFLOWERS
m ³	CUBIC METER	HH	HANDHOLE	PVD	PAVED	mm ²	SQUARE MILLIMETER	W	WITH
mm ³	CUBIC MILLIMETER	HATCH	HATCHING	PVMT	PAVEMENT	SQ YD	SQUARE YARD	WO	WITHOUT
				PM	PAVEMENT MARKING	STB	STABILIZED		



Illinois Department of Transportation

PASSED

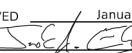
January 1, 2019



ENGINEER OF POLICY AND PROCEDURES

APPROVED

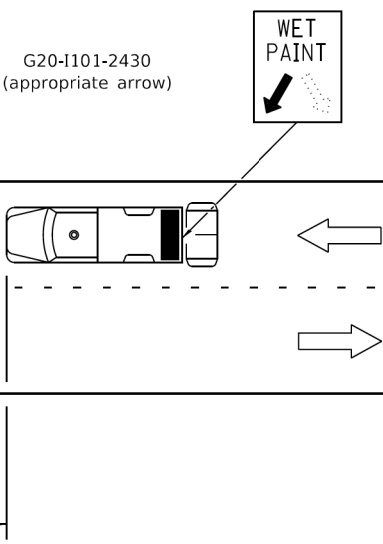
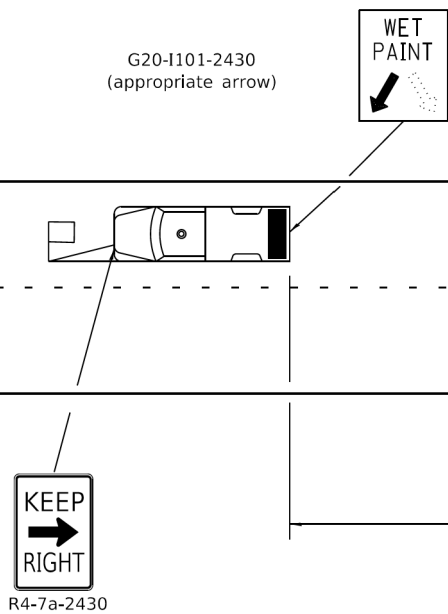
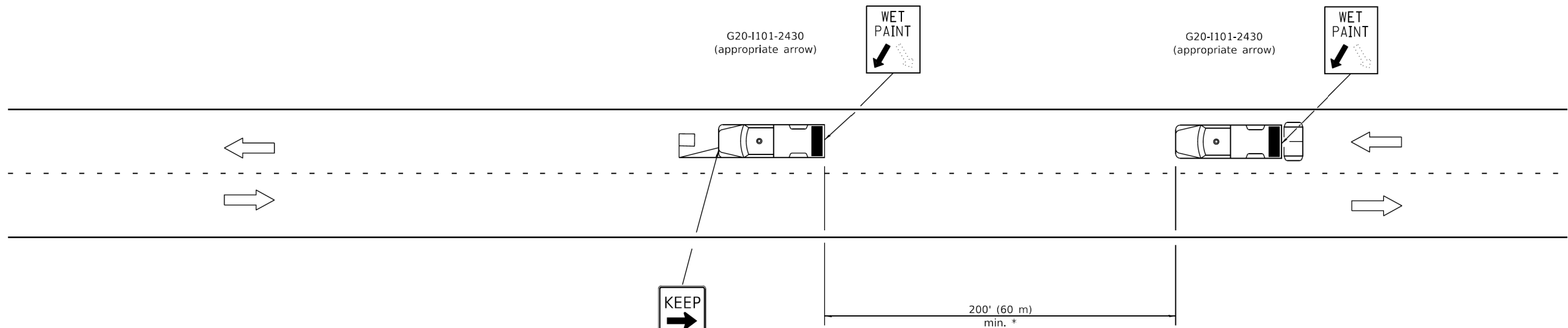
January 1, 2019



ENGINEER OF DESIGN AND ENVIRONMENT

ISSUED 1-1-97

DATE	REVISIONS	STANDARD SYMBOLS, ABBREVIATIONS AND PATTERNS (Sheet 1 of 9)
1-1-19	Added new symbols.	
1-1-11	Updated abbreviations and symbols.	STANDARD 000001-07



* Distance varies depending on terrain and susceptibility of pavement marking or crack sealant to wheel tracking.

TYPICAL APPLICATIONS

- Landscaping work
- Utility work
- Pavement marking
- Weed spraying
- Roadometer measurements
- Debris cleanup
- Crack pouring

SYMBOLS

- Arrow board (Hazard Mode only)
- Truck with headlights, emergency flashers and flashing amber light. (visible from all directions)
- 18x18 (450x450) min. orange flag (use when guide wheel is used)
- Truck mounted attenuator

GENERAL NOTES

This Standard is used where any vehicle, equipment, workers or their activities will require a continuous moving operation where the average speed is greater than 3 mph (5 km/h).

For shoulder operations not encroaching on the pavement, use DETAIL A, Standard 701426.

All dimensions are in inches (millimeters) unless otherwise shown.

Illinois Department of Transportation

PASSED January 1, 2009

ENGINEER OF OPERATIONS

APPROVED January 1, 2009

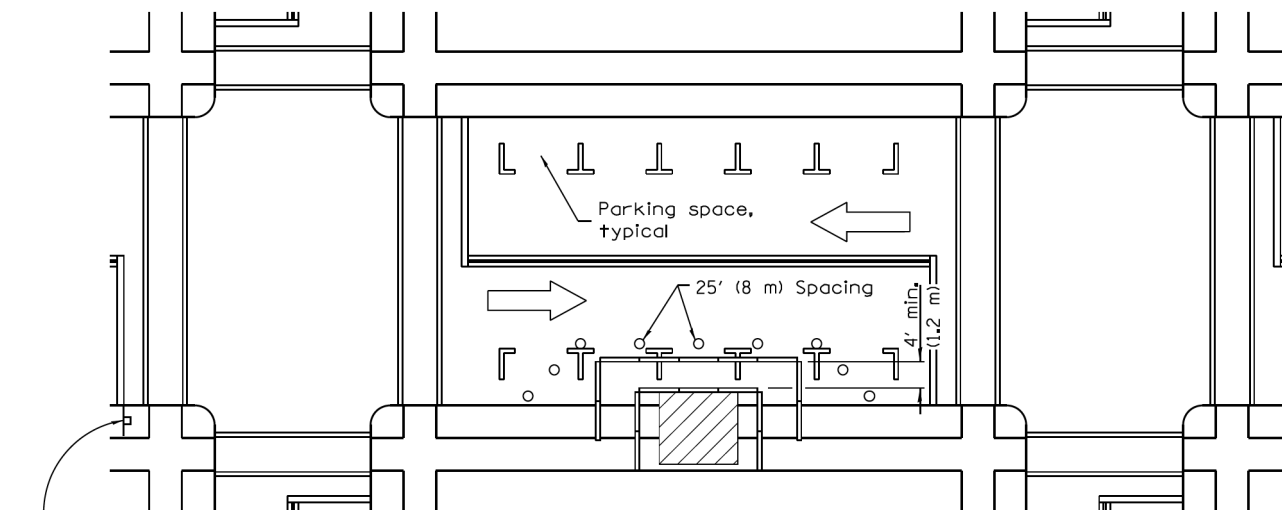
ENGINEER OF DESIGN AND ENVIRONMENT

ISSUED 1-1-97

DATE	REVISIONS	LANE CLOSURE 2L, 2W MOVING OPERATIONS- DAY ONLY
1-1-09	Switched units to	
	English (metric). Omitted	
	Pass With Care sign.	
1-1-00	Elim. speed restrictions	
	in Standard title.	STANDARD 701311-03

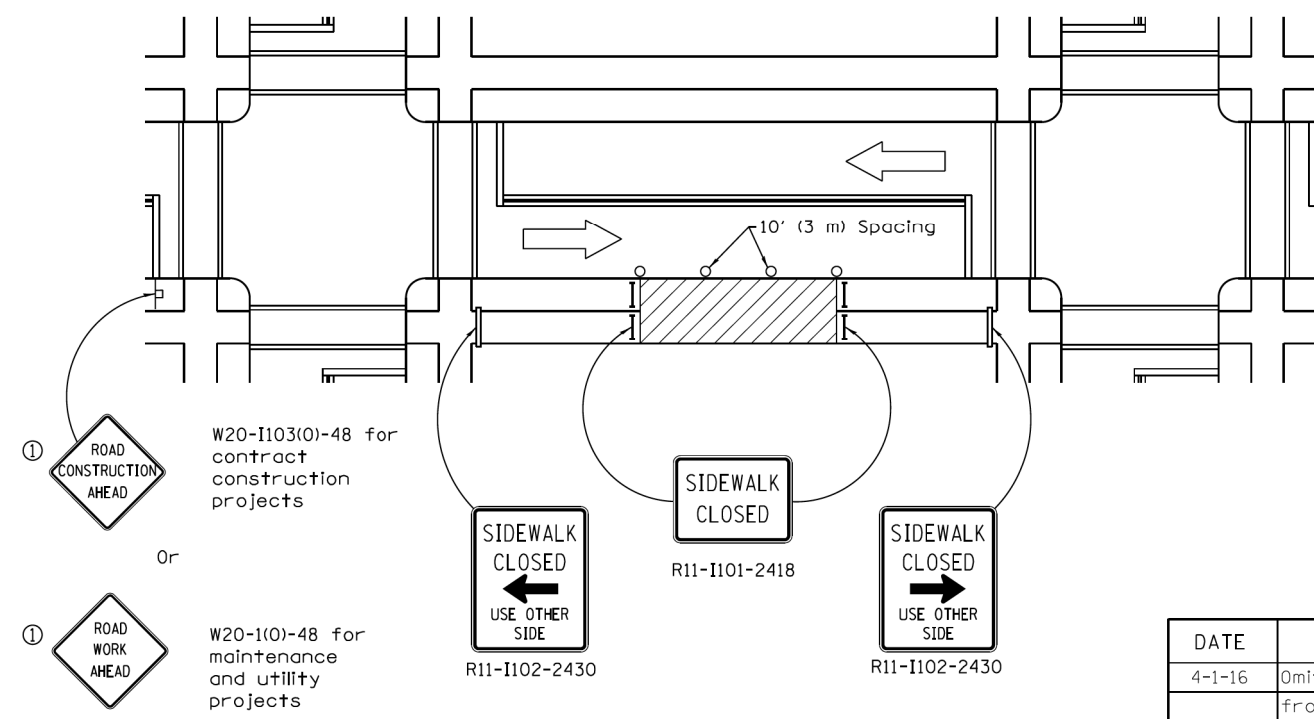
DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	35
SCALE: 1"=80'		
PLOT DATE = 10/30/2020		



- ① ROAD CONSTRUCTION AHEAD W20-I103(O)-48 for contract construction projects
- Or
- ① ROAD WORK AHEAD W20-1(O)-48 for maintenance and utility projects

SIDEWALK DIVERSION



- ① ROAD CONSTRUCTION AHEAD W20-I103(O)-48 for contract construction projects
- Or
- ① ROAD WORK AHEAD W20-1(O)-48 for maintenance and utility projects

SIDEWALK CLOSED
USE OTHER SIDE
R11-I102-2430

SIDEWALK CLOSED
R11-I101-2418

SIDEWALK CLOSED
USE OTHER SIDE
R11-I102-2430

SIDEWALK CLOSURE

- SYMBOLS**
- Work area
 - Sign on portable or permanent support
 - Barricade or drum
 - Cone, drum or barricade
 - Type III barricade
 - Detectable pedestrian channelizing barricade

① Omit whenever duplicated by road work traffic control.

GENERAL NOTES

This Standard is used where, at any time, pedestrian traffic must be rerouted due to work being performed.

This Standard must be used in conjunction with other Traffic Control & Protection Standards when roadway traffic is affected.

Temporary facilities shall be detectable and accessible.

The temporary pedestrian facilities shall be provided on the same side of the closed facilities whenever possible.

The SIDEWALK CLOSED / USE OTHER SIDE sign shall be placed at the nearest crosswalk or intersection to each end of the closure. Where the closure occurs at a corner, the signs shall be erected on the corners across the street from the closure. The SIDEWALK CLOSED signs shall be used at the ends of the actual closures.

Type III barricades and R11-2-4830 signs shall be positioned as shown in "ROAD CLOSED TO ALL TRAFFIC" detail on Standard 701901.

All dimensions are in inches (millimeters) unless otherwise shown.

Illinois Department of Transportation

APPROVED April 1, 2016
ENGINEER OF SAFETY ENGINEERING

APPROVED April 1, 2016
ENGINEER OF DESIGN AND ENVIRONMENT

ISSUED 1-1-97

DATE	REVISIONS
4-1-16	Omitted orange safety fence from standard as this is covered in the std. spec.
1-1-12	Added SIDEWALK DIVERSION.
	Modified appearance of plan views. Renamed Std.

SIDEWALK, CORNER OR CROSSWALK CLOSURE

(Sheet 1 of 2)

STANDARD 701801-06

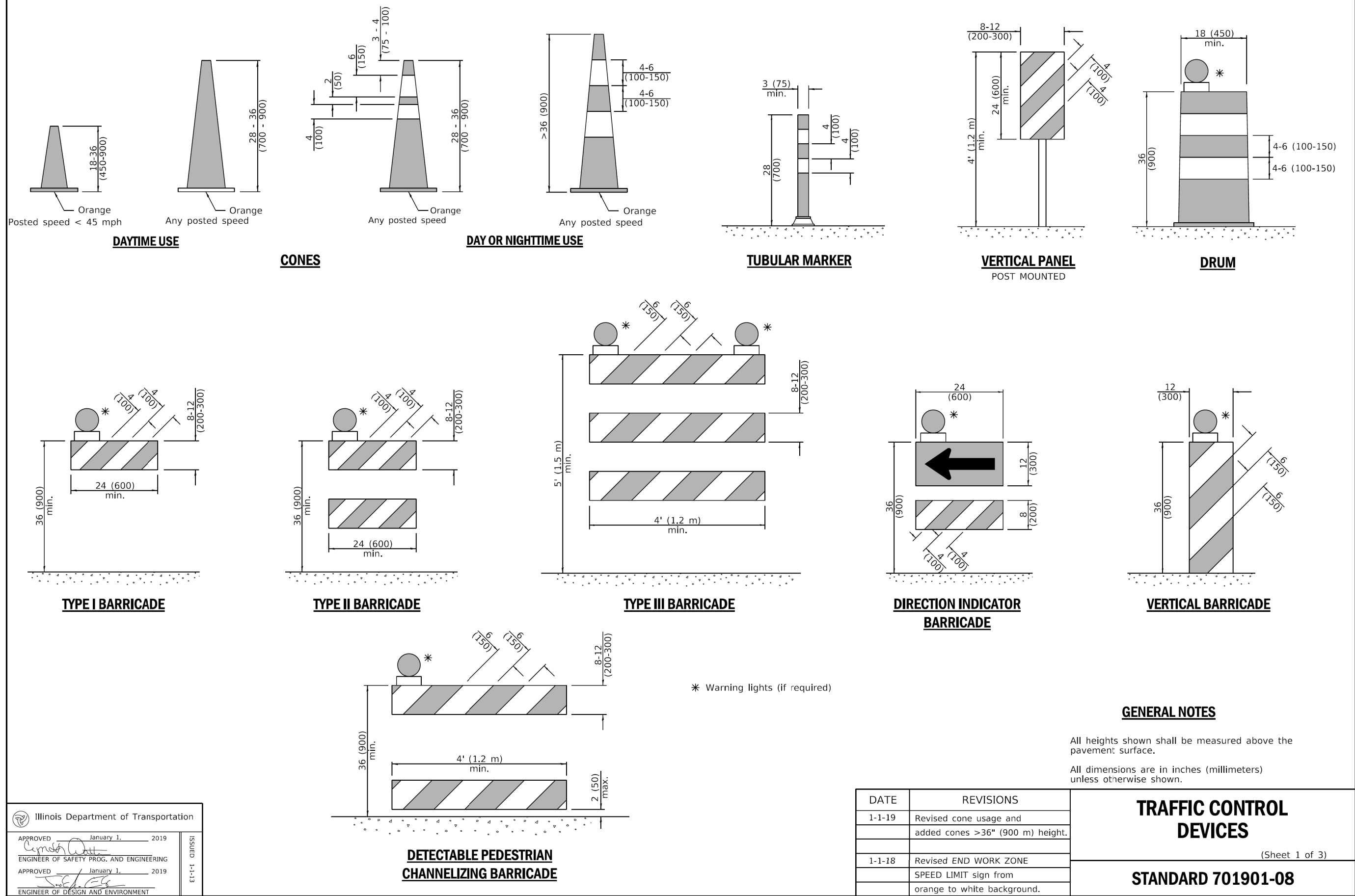


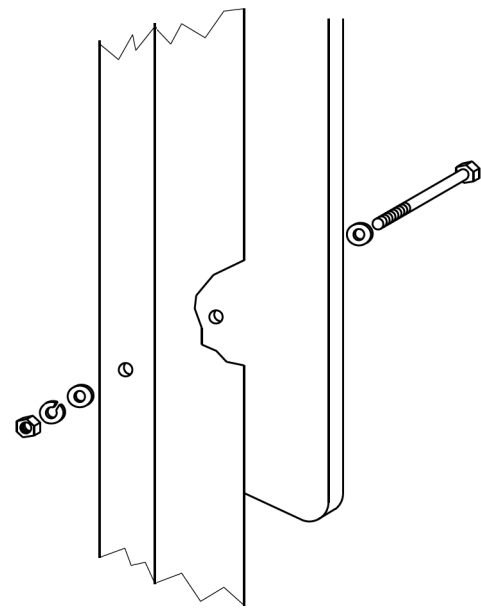
9575 West Higgins Road, Suite 400
Rosemont, Illinois 60018
P: (847) 518-9990 F: (847) 518-9987
PROJECT # 19-297

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

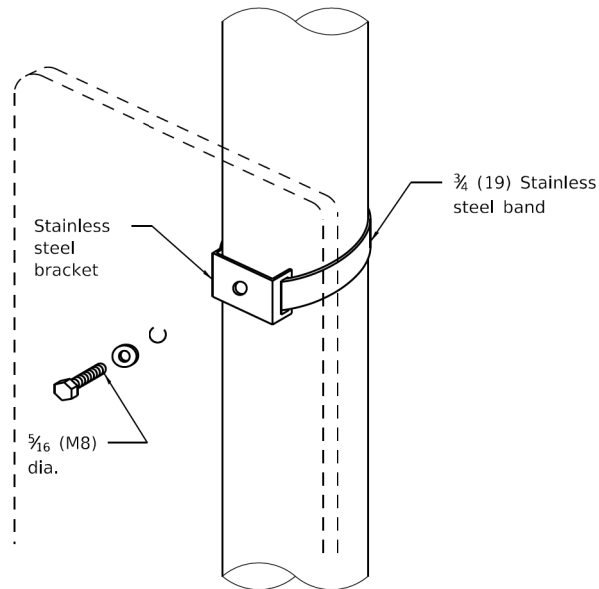
STANDARD DETAILS

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	36
SCALE: 1"=80'		
PLOT DATE = 10/30/2020		

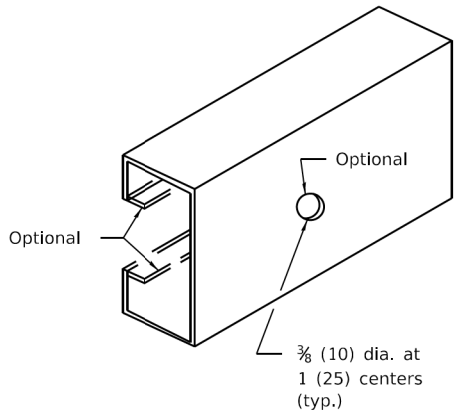
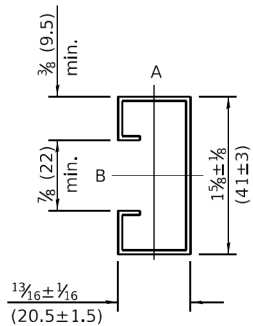




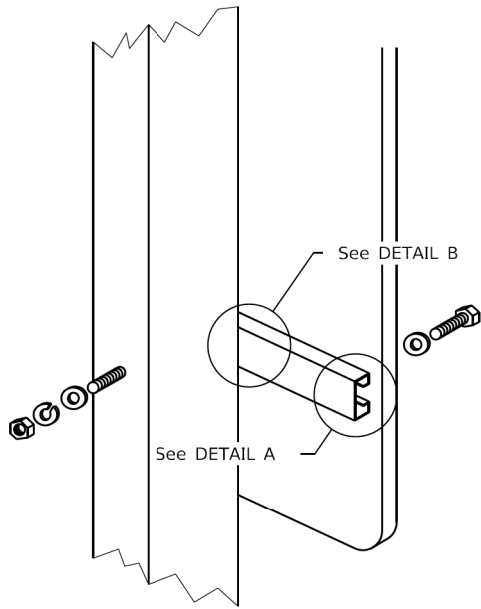
Sign panel 36 (900) wide or less



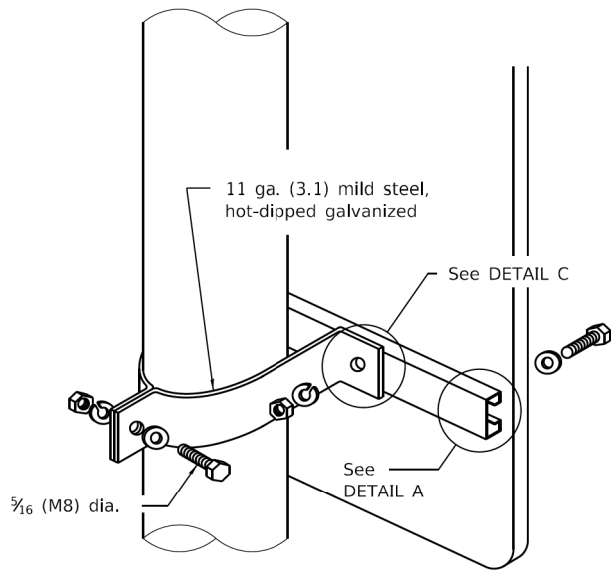
Sign panel 36 (900) wide or less



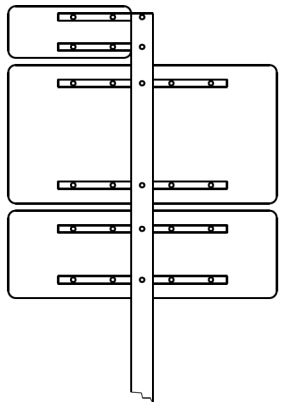
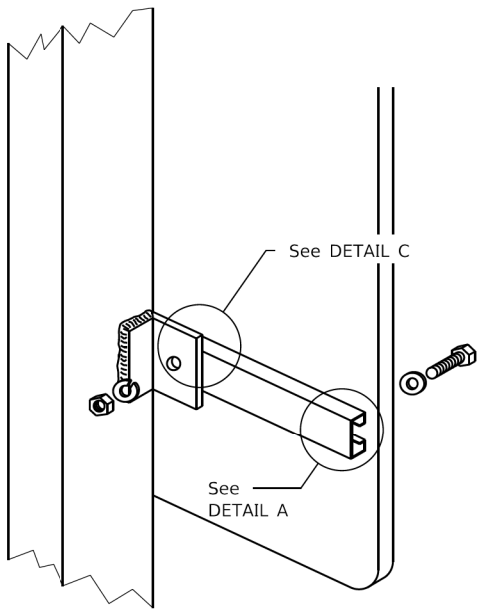
SUPPORTING CHANNEL DETAILS



Sign panel over 36 (900) wide



Sign panel over 36 (900) wide

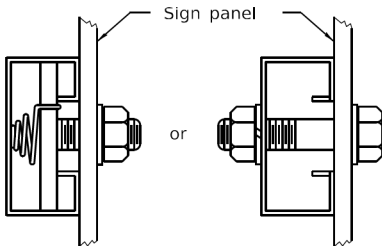


ROUTE MARKER ASSEMBLY

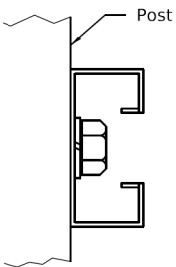
**WOOD OR TELESCOPING
STEEL POSTS**

LIGHT OR SIGNAL STANDARDS

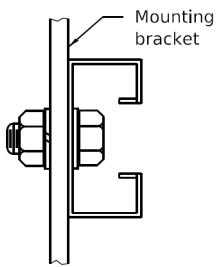
**BREAKAWAY STEEL
TUBING POSTS**
(All sign panel sizes)



DETAIL A



DETAIL B



DETAIL C

All dimensions are in inches (millimeters)
unless otherwise shown.

DATE	REVISIONS
1-1-09	Switched units to English (metric).
1-1-97	Renum. Standard 2319-6.

**SIGN PANEL
MOUNTING DETAILS**

STANDARD 720001-01

Illinois Department of Transportation	
PASSED January 1, 2009	ISSUED 1-1-97
ENGINEER OF OPERATIONS	
APPROVED January 1, 2009	
ENGINEER OF DESIGN AND ENVIRONMENT	

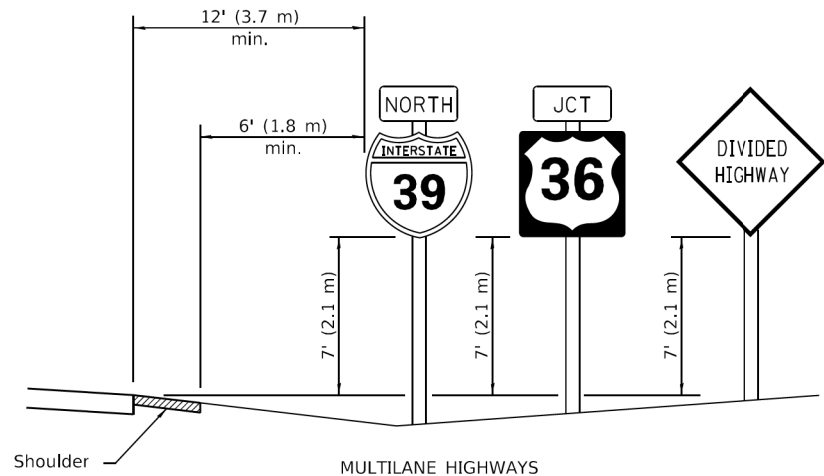


9575 West Higgins Road, Suite 400
Rosemont, Illinois 60018
P: (847) 518-9990 F: (847) 518-9987
PROJECT # 19-297

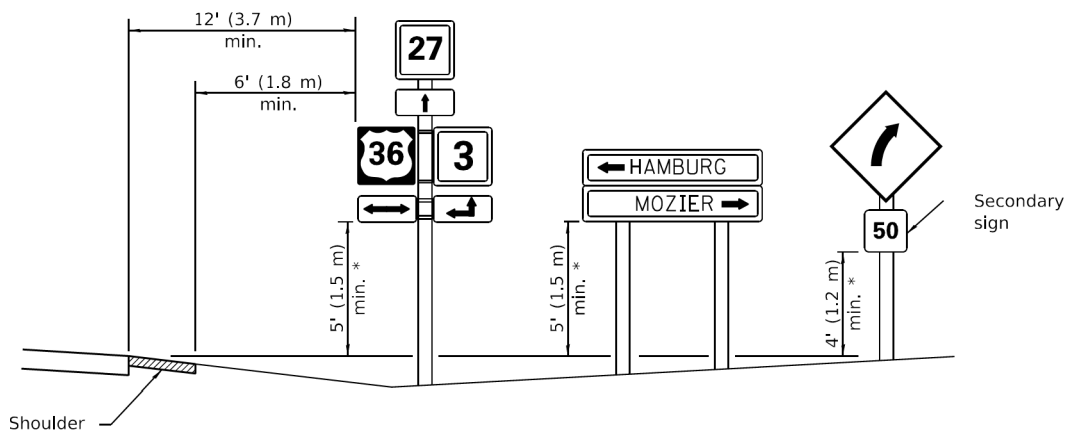
DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

STANDARD DETAILS

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	38
SCALE: 1"=80'		
PLOT DATE: 10/30/2020		

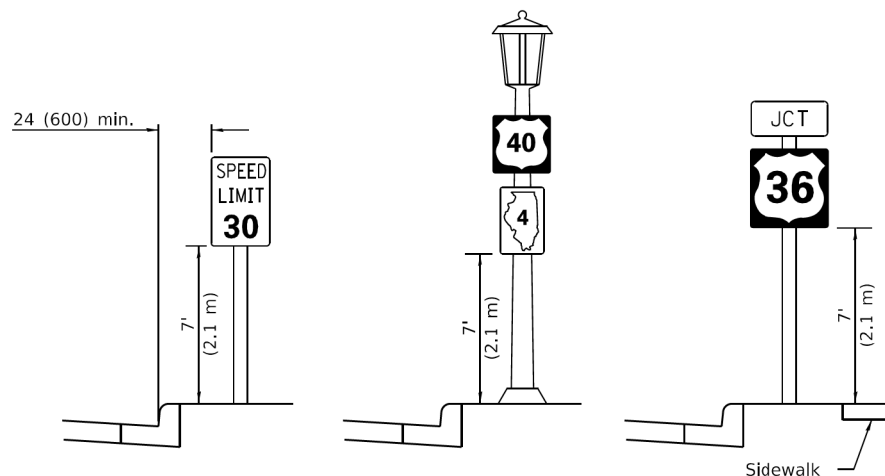


MULTILANE HIGHWAYS



* In any area where parking is likely to occur or where there are obstructions to view or where signs are located over sidewalks, the height shall be at least 7' (2.1 m).

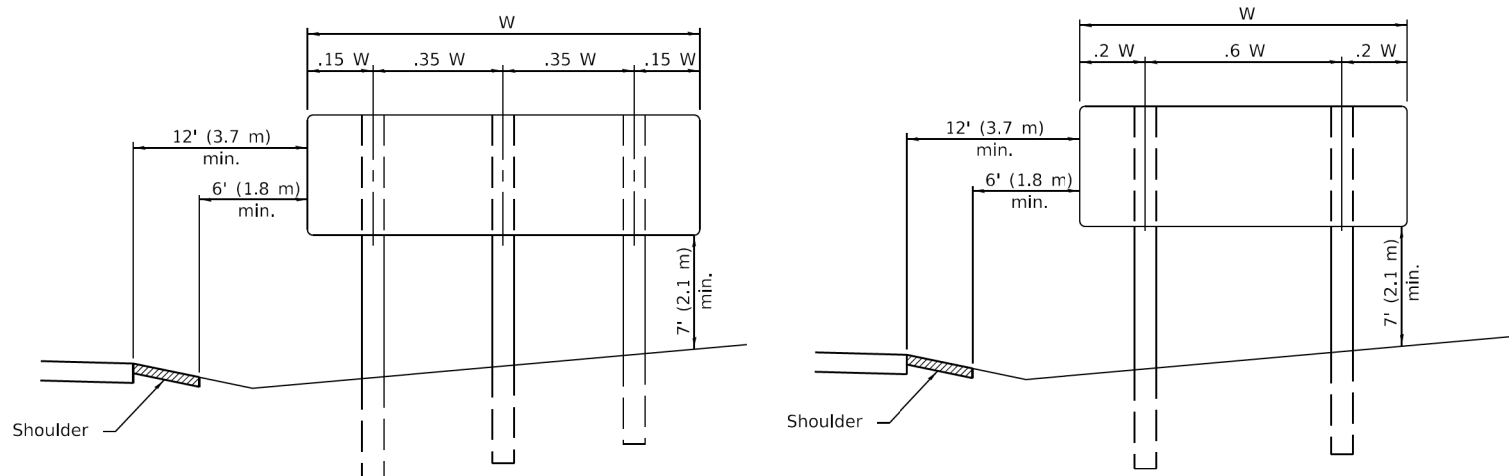
TWO LANE RURAL HIGHWAYS



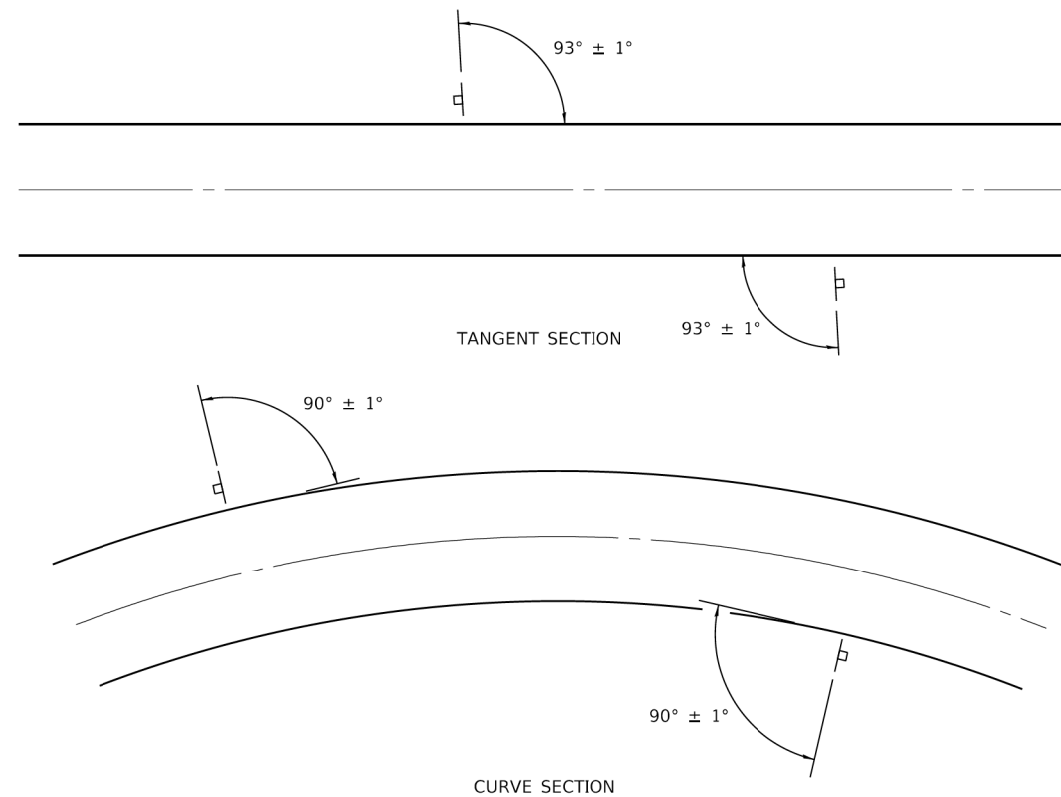
URBAN LOCATIONS

TYPICAL INSTALLATIONS

Signs in any area shall be erected to a uniform height above the edge of the pavement.



POST SPACING FOR NON-FREEWAY SIGN PANELS



GROUND MOUNT SIGN POSITIONING

All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS	SIGN PANEL ERECTION DETAILS
1-1-14	Added shoulders and slopes.	
	Changed sign distances	STANDARD 720006-04
	from roadway and shoulder.	
1-1-12	Rev. sign elev. for multilane	
	hwy's. Revised sign elev. and	
	dist. to curb for rural loc.	

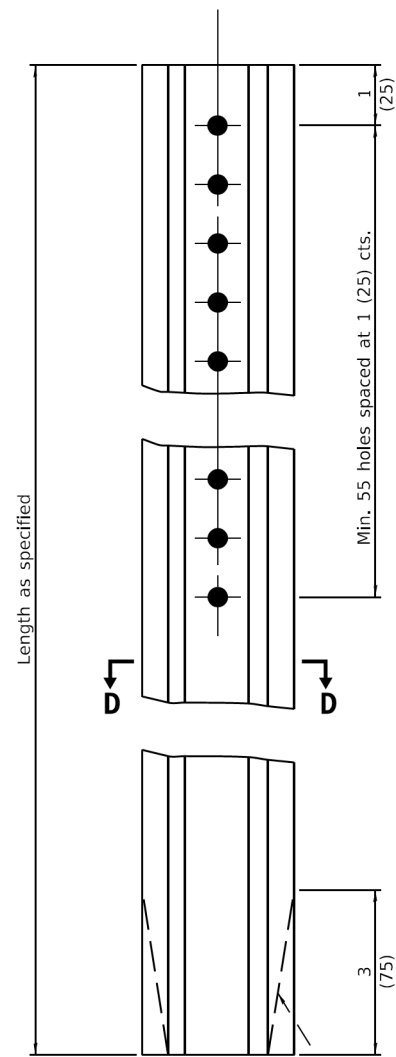
Illinois Department of Transportation

PASSED January 1, 2014
ENGINEER OF OPERATIONS
APPROVED January 1, 2014
ENGINEER OF DESIGN AND ENVIRONMENT

ISSUED 1-1-97

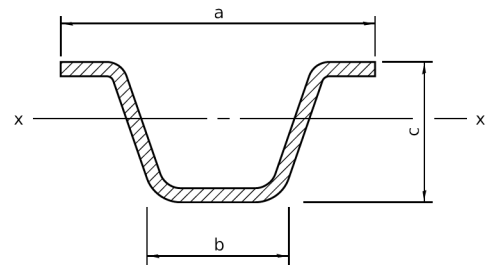
DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	39
SCALE: 1"=80'		
PLOT DATE = 10/30/2020		

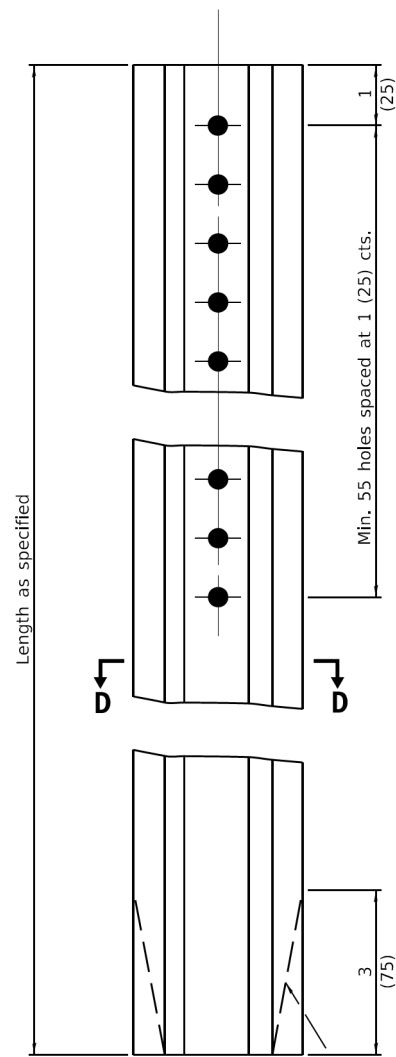


TYPE A

Taper optional

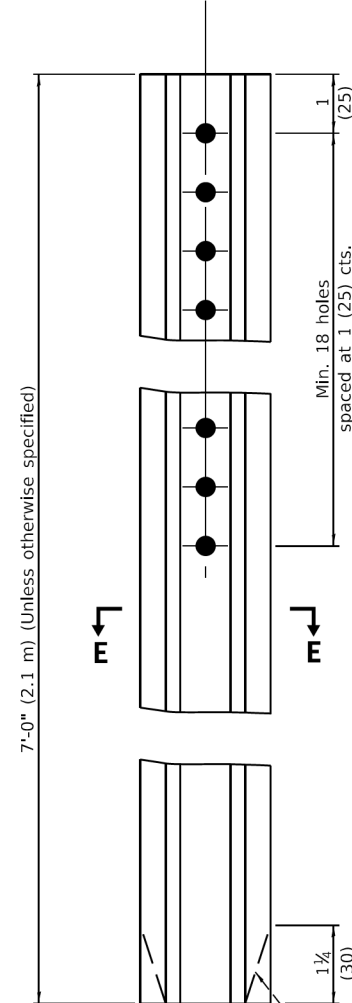


SECTION D-D



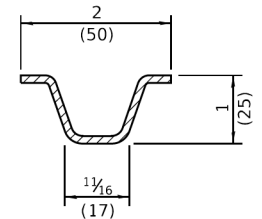
TYPE B

Taper optional



TYPE C

Taper optional



SECTION E-E

Steel - 1.12 lbs./ft. (1.67 kg/m)

		a	b	c	Sx-x in. ³ (mm ³)	lbs./ft. (kg/m)
TYPE A	Steel	3 7/16 (78)	1 1/2 (32)	1 1/8 (37)	0.223 (3,654)	2.00 (2.98)
	Aluminum	3 1/2 (89)	1 5/8 (41)	1 5/8 (48)	0.435 (7,128)	0.90 (1.34)
TYPE B	Steel	3 7/16 (81)	1 1/2 (32)	1 1/2 (38)	0.341 (5,588)	3.00 (4.46)
	Aluminum	4 3/8 (118)	2 1/4 (57)	2 1/4 (60)	0.888 (14,552)	1.30 (1.93)

GENERAL NOTES

Dimensions shown for cross sections are minimum.

All holes are 3/8 (10).

Sx-x is the minimum section modulus about the x-x axis of the post as shown. For posts in which holes are punched or drilled for more than half their length, Sx-x shall be computed for the net section.

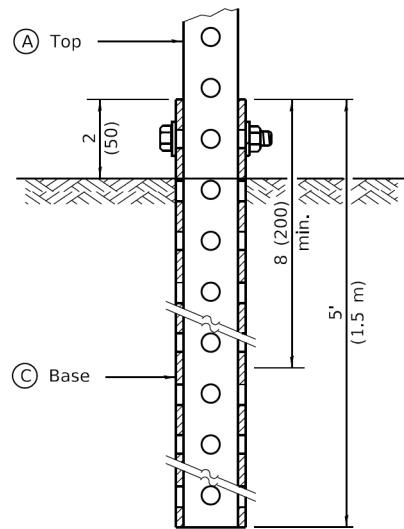
All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS	METAL POSTS FOR SIGNS, MARKERS & DELINEATORS
1-1-09	Switched units to English (metric).	
1-1-97	Renum. Standard 2350-4.	STANDARD 720011-01

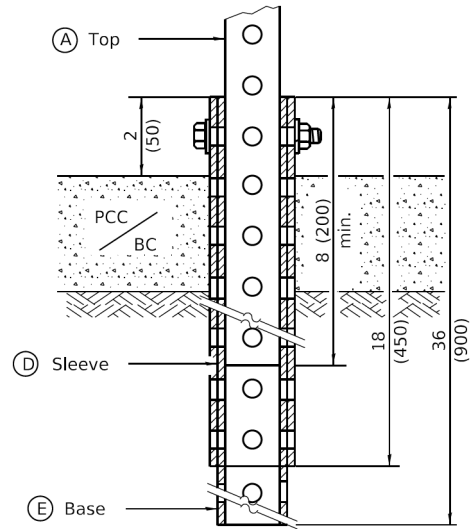
Illinois Department of Transportation	
PASSED January 1, 2009	ISSUED 1-1-97
ENGINEER OF POLICY AND PROCEDURES	
APPROVED January 1, 2009	
ENGINEER OF DESIGN AND ENVIRONMENT	

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

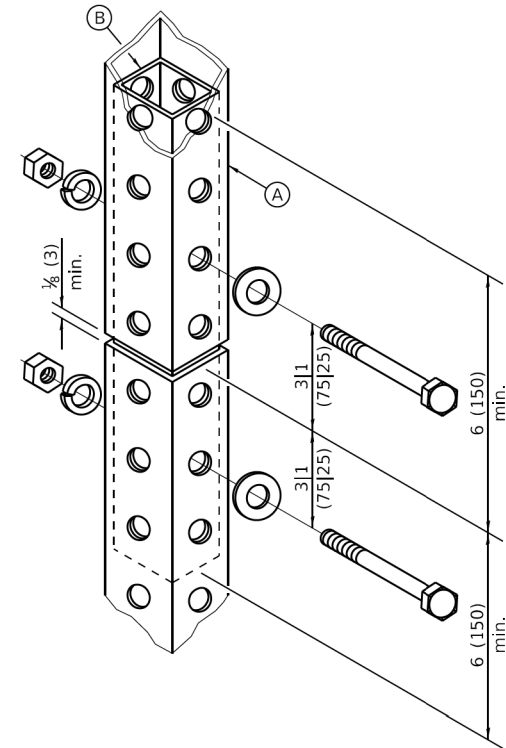
COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	40
SCALE: 1"=80'		
PLOT DATE = 10/30/2020		



GROUND MOUNT DETAIL



PAVEMENT MOUNT DETAIL



SPLICE DETAIL

(A)	2 x 2 x var. (51 x 51 var.)
(B)	1 3/4 x 1 3/4 x 12 (44 x 44 x 300)
(C)	2 1/4 x 2 1/4 x 60 (57 x 57 x 1500)
(D)	2 1/2 x 2 1/2 x 18 (64 x 64 x 450)
(E)	2 1/4 x 2 1/4 x 36 (57 x 57 x 900)

GENERAL NOTES

All bolts 3/8" (M10) hex head zinc or cadmium plated.

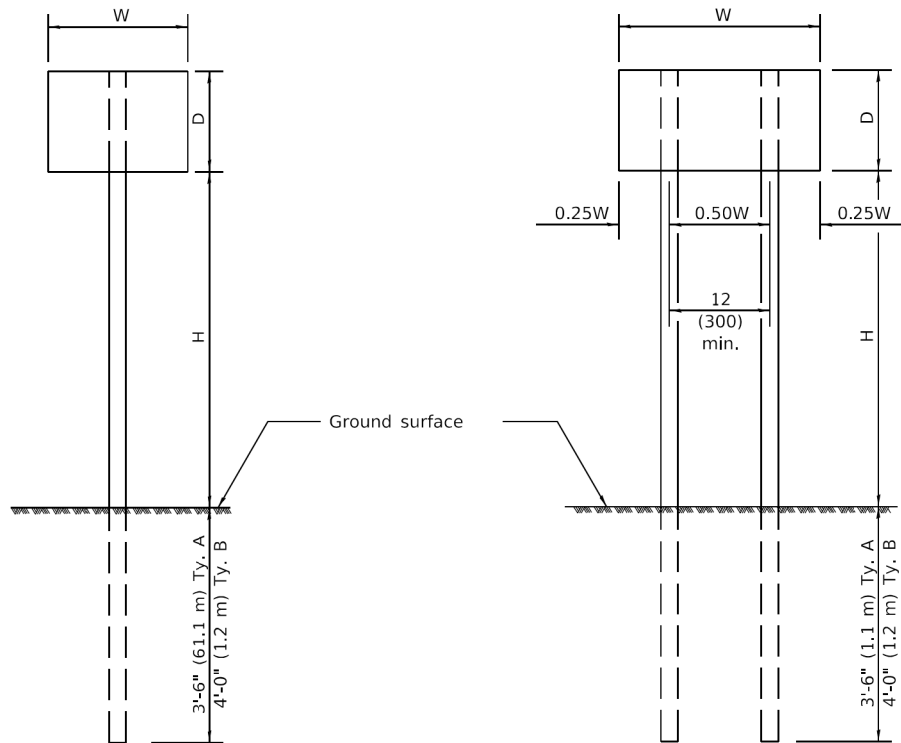
All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS	TELESCOPING STEEL SIGN SUPPORT
1-1-09	Switched units to English (metric).	
1-1-07	New Standard. Used to be part of Standard 720006.	STANDARD 728001-01

PASSED <u>January 1, 2009</u> ENGINEER OF OPERATIONS APPROVED <u>January 1, 2009</u> ENGINEER OF DESIGN AND ENVIRONMENT	ISSUED 1-1-07

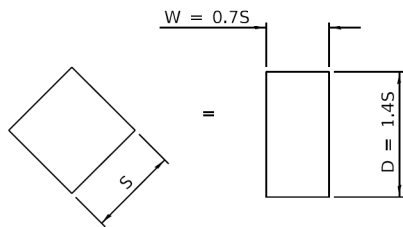
DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	41
SCALE: 1"=80' PLOT DATE = 10/30/2020		



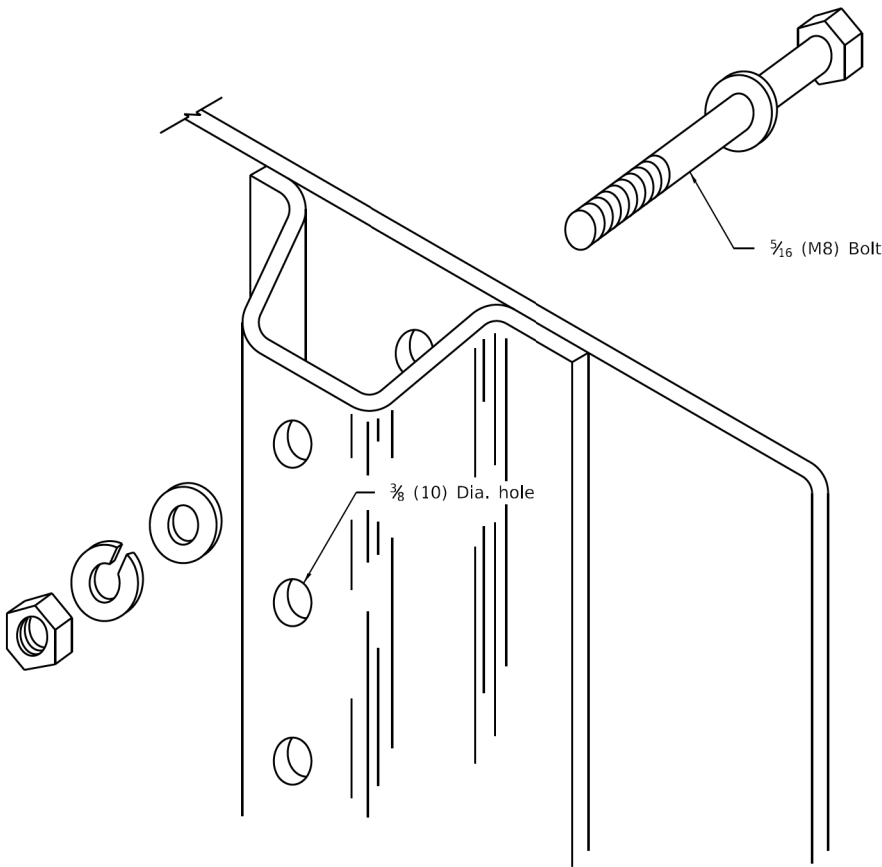
ONE POST INSTALLATION

TWO POST INSTALLATION



For diamond shaped sign with side S as shown, use required post size for a sign with W = 0.7S and D = 1.4S.

SIGN DEPTH (D)	H	NO. AND TYPE OF POST FOR SIGN WIDTH (W)					
		12 (300)	18 (450)	24 (600)	30 (750)	36 (900)	
18 (450)	5'-0" (1.5 m)	A	A	A	A	A	
	5'-6" (1.7 m)	A	A	A	A	A	
	6'-0" (1.8 m)	A	A	A	A	B	
	6'-6" (2.0 m)	A	A	A	A	B	
	7'-0" (2.1 m)	A	A	A	A	B	
	7'-6" (2.3 m)	A	A	A	A	B	
	8'-0" (2.4 m)	A	A	A	A	B	
	8'-6" (2.6 m)	A	A	A	B	B	
24 (600)	5'-0" (1.5 m)	A	A	A	A	B	
	5'-6" (1.7 m)	A	A	A	A	B	
	6'-0" (1.8 m)	A	A	A	B	B	
	6'-6" (2.0 m)	A	A	A	B	B	
	7'-0" (2.1 m)	A	A	A	B	B	
	7'-6" (2.3 m)	A	A	A	B	B	
	8'-0" (2.4 m)	A	A	A	B	2A	
	8'-6" (2.6 m)	A	A	B	B	2A	
30 (750)	5'-0" (1.5 m)	A	A	A	B	B	
	5'-6" (1.7 m)	A	A	A	B	2A	
	6'-0" (1.8 m)	A	A	A	B	2A	
	6'-6" (2.0 m)	A	A	A	B	2A	
	7'-0" (2.1 m)	A	A	B	B	2A	
	7'-6" (2.3 m)	A	A	B	B	2A	
	8'-0" (2.4 m)	A	A	B	B	2A	
	8'-6" (2.6 m)	A	A	B	2A	2A	
36 (900)	5'-0" (1.5 m)	A	A	B	B	2A	
	5'-6" (1.7 m)	A	A	B	B	2A	
	6'-0" (1.8 m)	A	A	B	B	2A	
	6'-6" (2.0 m)	A	A	B	2A	2A	
	7'-0" (2.1 m)	A	A	B	2A	2A	
	7'-6" (2.3 m)	A	A	B	2A	2A	
	8'-0" (2.4 m)	A	B	B	2A	2A	
	8'-6" (2.6 m)	A	B	B	2A	2B	
4'-0" (1.2 m)	5'-0" (1.5 m)	A	A	B	2A	2A	
	5'-6" (1.7 m)	A	B	B	2A	2A	
	6'-0" (1.8 m)	A	B	B	2A	2A	
	6'-6" (2.0 m)	A	B	2A	2A	2B	
	7'-0" (2.1 m)	A	B	2A	2A	2B	
	7'-6" (2.3 m)	A	B	2A	2B	2B	
	8'-0" (2.4 m)	A	B	2A	2B	2B	
	8'-6" (2.6 m)	B	B	2B	2B	2B	
9'-0" (2.7 m)	5'-0" (1.5 m)	A	A	B	2A	2A	
	5'-6" (1.7 m)	A	B	B	2A	2A	
	6'-0" (1.8 m)	A	B	B	2A	2A	
	6'-6" (2.0 m)	A	B	2A	2A	2B	
	7'-0" (2.1 m)	A	B	2A	2A	2B	
	7'-6" (2.3 m)	A	B	2A	2B	2B	
	8'-0" (2.4 m)	A	B	2A	2B	2B	
	8'-6" (2.6 m)	B	B	2B	2B	2B	



DETAIL OF MOUNTING SIGN TO POST

NOTE: Minimum of 2 bolts per post required.

GENERAL NOTES

DESIGN: Current AASHTO Standard Specifications for Structural Supports for Highway Signs, Luminaires and Traffic Signals.

LOADING: for 60 mph (95 km/h) wind velocity with 30% gust factor, normal to sign.

SOIL PRESSURE: Minimum allowable soil pressure 1.25 tsf (120 kPa).

See Standard 720011 for details of Types A and B posts.

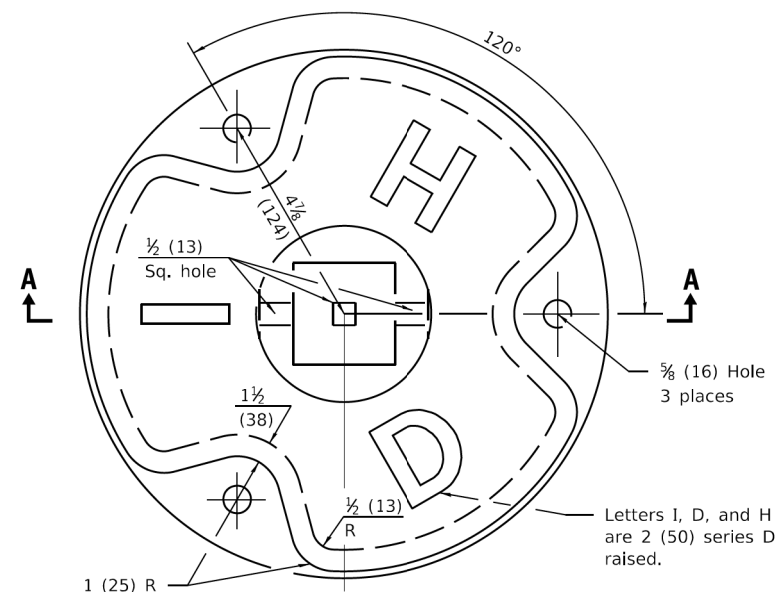
All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS	APPLICATIONS OF TYPES A & B METAL POSTS (FOR SIGNS & MARKERS)
1-1-09	Switched units to English (metric).	
1-1-97	Renum. Standard 2363-2.	STANDARD 729001-01

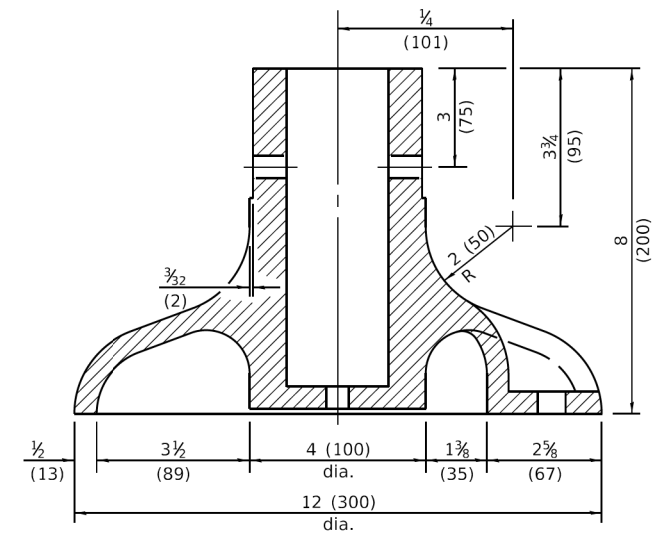
Illinois Department of Transportation	
PASSED January 1, 2009	ISSUED 1-1-97
ENGINEER OF POLICY AND PROCEDURES	
APPROVED January 1, 2009	
ENGINEER OF DESIGN AND ENVIRONMENT	

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

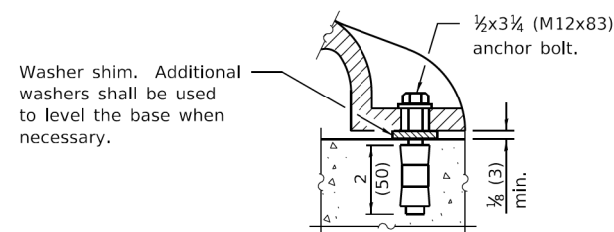
COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	42
SCALE: 1"=80'		
PLOT DATE = 10/30/2020		



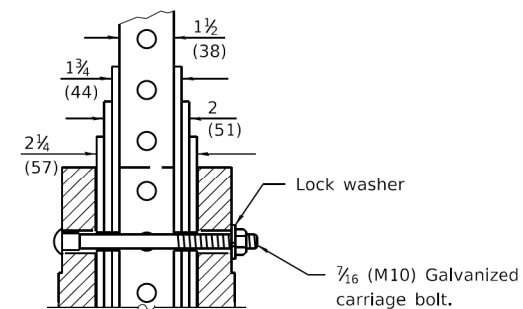
PLAN



SECTION A-A



ANCHOR BOLT DETAIL



POST ASSEMBLY DETAIL

All dimensions are in inches (millimeters) unless otherwise shown.

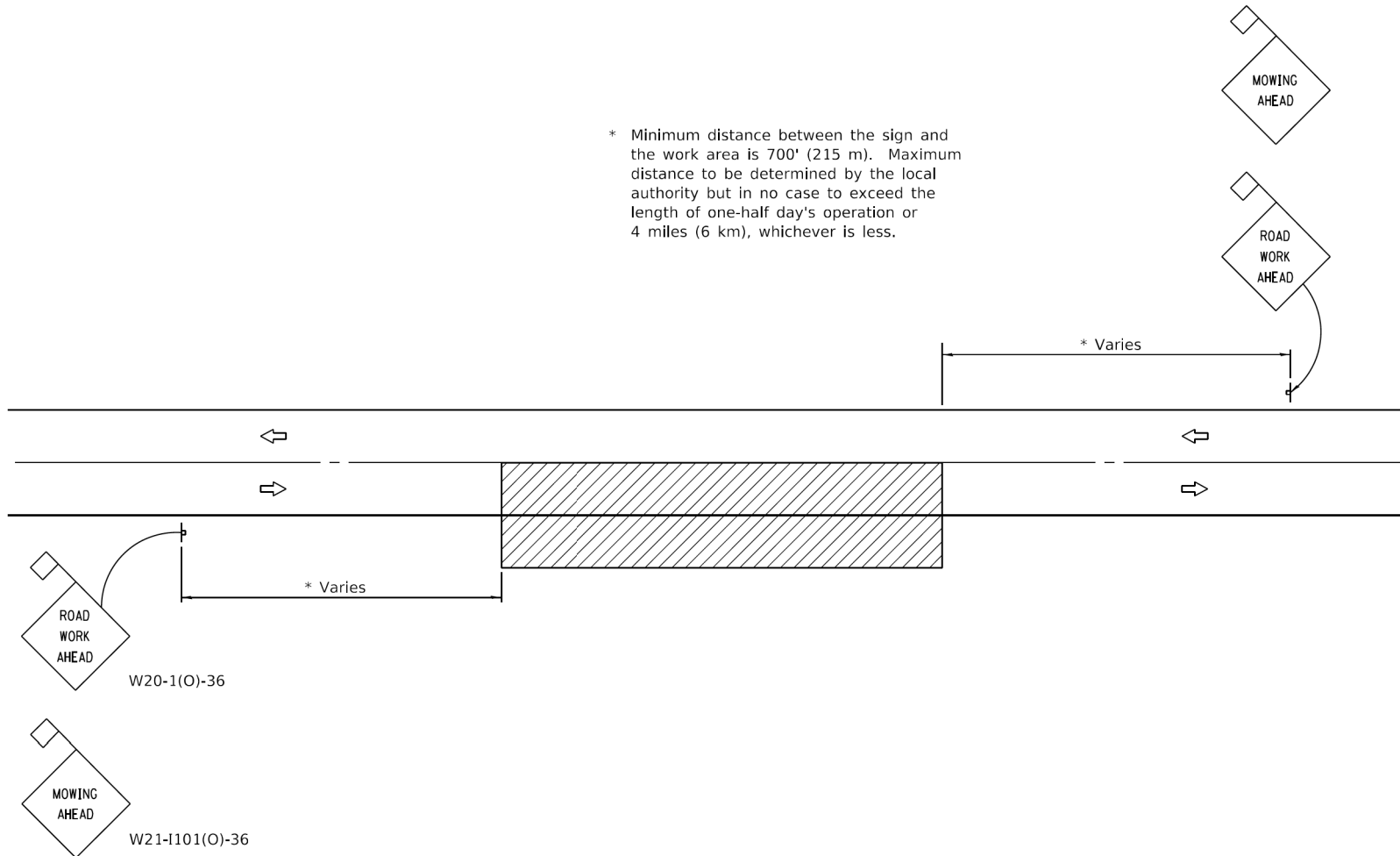
PASSED <u>January 1, 2009</u> ENGINEER OF OPERATIONS APPROVED <u>January 1, 2009</u> ENGINEER OF DESIGN AND ENVIRONMENT	ISSUED 1-1-07

DATE	REVISIONS	BASE FOR TELESCOPING STEEL SIGN SUPPORT
1-1-09	Switched units to English (metric).	
1-1-07	New Standard. Used to be part of Standard 720006.	STANDARD 731001-01

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	43
SCALE: 1"=80' PLOT DATE = 10/30/2020		

* Minimum distance between the sign and the work area is 700' (215 m). Maximum distance to be determined by the local authority but in no case to exceed the length of one-half day's operation or 4 miles (6 km), whichever is less.



TWO-LANE, TWO-WAY TRAFFIC
RURAL OPERATIONS
DAY OPERATIONS ONLY

SYMBOLS



Work area



Sign with 18x18 (450x450) min.
orange flag attached.

TYPICAL APPLICATIONS

MOWING
SPREADING AGGREGATE
WEED SPRAYING
SURFACE MAINTENANCE
BITUMINOUS RESURFACING
CRACK POURING
SHOULDER REPAIR
CLEANING DITCHES

GENERAL NOTES

Maintenance operations shall be confined to one traffic lane, leaving the opposite lane open to traffic. At least 500' (150 m) of both traffic lanes shall be available for traffic movement between work areas at intervals not greater than 1000' (300 m).

When operations are on the pavement and stationary or moving at a speed less than 4 mph (6 kph), a ONE LANE AHEAD, or other appropriate sign, shall be installed in each direction between the ROAD WORK AHEAD sign and the work area. The distance between this sign and the work area shall be a minimum of 400' (120 m) but in no case to exceed the length of one-half day's operation or 4 miles (6 km), whichever is less. The distance between the two signs shall be approximately 400' (120 m).

All signs are to be removed at completion of the day's operation.

Any unattended obstacle, excavation, or pavement drop off greater than 3 (75) in the work area shall be protected by Type I or Type II barricades with flashing lights.

Longitudinal dimensions may be adjusted slightly to fit field conditions.

All vehicles, equipment, men, and their activities are restricted at all times to one side of the pavement.

Flashing lights or rotating beacons are required for all maintenance vehicles while in operation.

Applicable operations illustrated in Standard 701301 may be used when operations do not exceed 15 minutes on the pavement or 60 minutes on the shoulder respectively.

All warning signs shall have minimum dimensions of 36x36 (900x900) and have black legend on an orange reflectorized background.

When fluorescent signs are used, orange flags are not required.

This case is for use on rural local roads where the local authority considers this protection to be appropriate for the specific job conditions.

All dimensions are in inches (millimeters) unless otherwise shown.

PASSED

January 1, 2015

James K. Klevor

ENGINEER OF LOCAL ROADS AND STREETS

APPROVED

January 1, 2015

[Signature]

ENGINEER OF DESIGN AND ENVIRONMENT

ISSUED 1-1-97

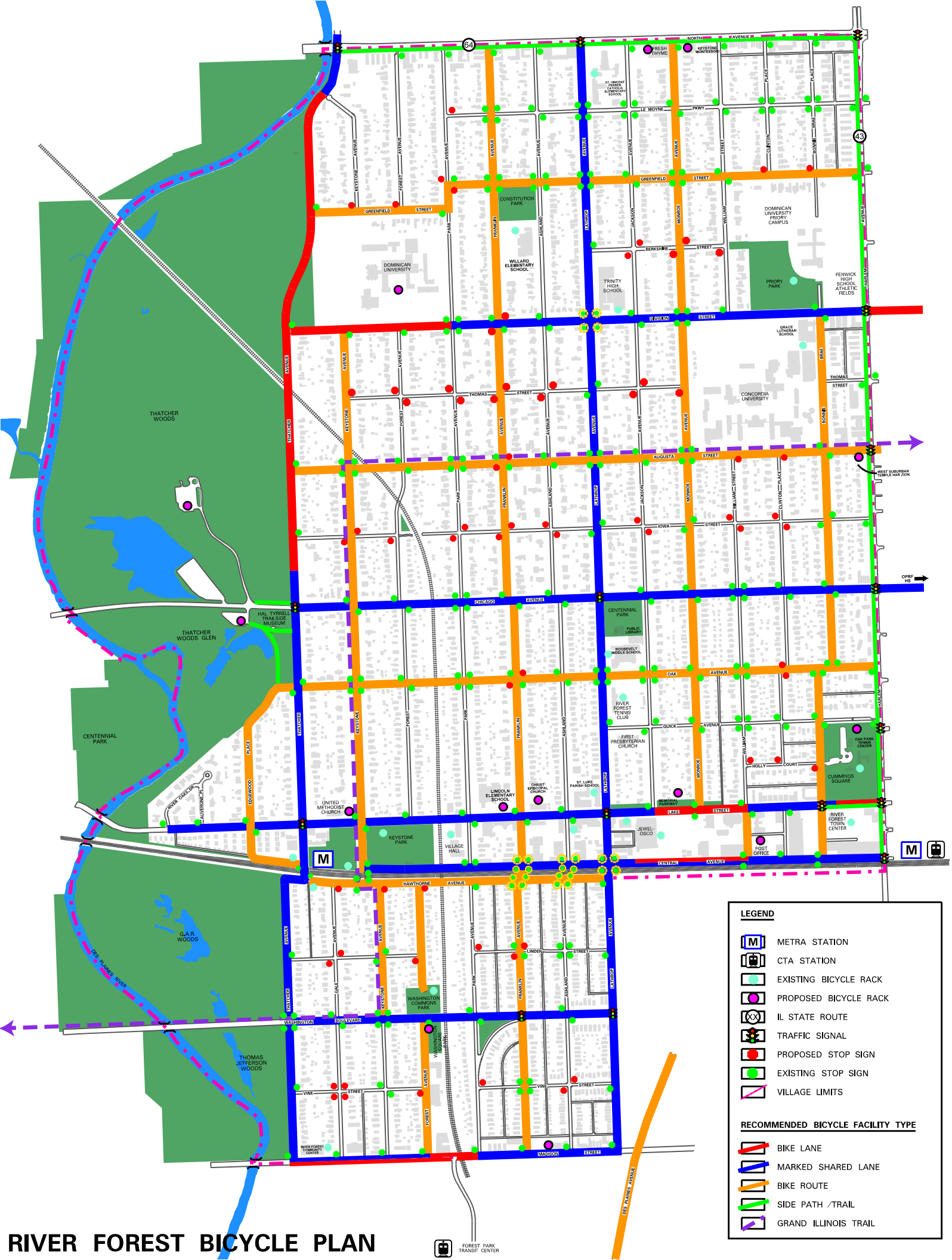
DATE	REVISIONS
1-1-15	Corrected RWA sign number.
1-1-09	Switched units to
	English (metric). Moved
	one General Note.

TRAFFIC CONTROL DEVICES-
DAY LABOR MAINTENANCE

STANDARD B.L.R. 18-6

DESIGNED - ER	REVISED -
DRAWN - MD	REVISED -
CHECKED - DS	REVISED -
DATE - 10/30/2020	REVISED -

COUNTY	TOTAL SHEETS	SHEET NO.
COOK	44	44
SCALE: 1"=80'		
PLOT DATE = 10/30/2020 B.L.R. 18-6		





MEMORANDUM

DATE: November 5, 2020

TO: Catherine M. Adduci, Village President
Village Board of Trustees

FROM: Eric Palm, Village Administrator
Rosey McAdams, Finance Director

SUBJECT: Estimate of the 2020 Property Tax Levy

The Illinois Property Tax Code, Truth in Taxation Law (35 ILCS 200/18-55 et seq.) requires that the Village Board determine an estimate of the Village's aggregate (corporate) tax levy for the 2020 property tax year not less than 20 days before the adoption of the property tax levy. The property tax levy contains the Village levy, police & fire pension levy, and our debt service payment. Also included in the total levy is the River Forest Public Library levy.

Staff is requesting acceptance of an estimate of the 2020 corporate (aggregate) property tax levy in the amount of \$8,130,737. This represents a **decrease** of \$26,067 to the Village's portion of the levy from 2019 (when debt service is included) and an overall increase of \$17,341 once the Library is factored in.

	Approved 2019 Levy	Extended 2019 Levy	Proposed 2020 Levy	Increase (Decrease)	% Inc (Dec)
Village Levy	\$ 3,772,994	\$ 3,758,979	\$ 3,252,216	\$ (506,763)	-13.48%
Police Pension Levy	\$ 1,572,020	\$ 1,566,179	\$ 1,830,611	\$ 264,432	16.88%
Fire Pension Levy	\$ 1,432,769	\$ 1,427,445	\$ 1,662,693	\$ 235,248	16.48%
Total Village Corporate Levy (Cap)	\$ 6,777,783	\$ 6,752,603	\$ 6,745,520	\$ (7,083)	-0.10%
Fire Pension (non-capped)	\$ 38,985	\$ 40,155	\$ 28,314	\$ (11,841)	-29.49%
Total Corporate Levy	\$ 6,816,768	\$ 6,792,758	\$ 6,773,834	\$ (18,924)	-0.28%
Debt Service	\$ 264,540	\$ 277,772	\$ 270,629	\$ (7,143)	-2.57%
Total Village Levy	\$ 7,081,308	\$ 7,070,530	\$ 7,044,463	\$ (26,067)	-0.37%
River Forest Library Levy	\$ 1,318,393	\$ 1,313,495	\$ 1,356,903	\$ 43,408	3.30%
Total Levy	\$ 8,399,701	\$ 8,384,025	\$ 8,401,366	\$ 17,341	0.21%

In light of the financial challenges residents are facing due to the COVID-19 pandemic, there has been an emphasis at Village Hall to hold the line on taxes and fees. The Village's proposed estimated levy forgoes the Consumer Price Index of 2.3% as permitted per the Property Tax Extension Limitation Law (PTELL). We are also forgoing any additional property taxes associated with

assessed valuations tied to new construction projects. The result of which will lead to a modest decrease to our levy. Although the impact on individual homeowners will vary, the average increase in the Village's corporate levy for individual homeowners should decrease slightly or remain flat.

The Corporate Levy to be approved is for \$8,130,737. The debt service amount included above is for principal and interest on the General Obligation Limited Tax Bonds, Series 2020, using the 2020 available Debt Service Extension Base. The Debt Service Extension Base is the amount the Village is authorized to levy for principal and interest payments without a referendum. The proceeds from the bonds are to be used for public works projects including street improvements.

A "black border" Notice and Public Hearing on the Property Tax Levy is not required because the 2020 proposed aggregate (Corporate) property tax levy is not more than 105% of the final aggregate levy of the preceding year. The Property Tax Levy must be filed with Cook County by December 29, 2020.

A 2020 Estimated Property Tax Levy spreadsheet is attached, which details the levy calculation and allocation of the estimated levy. The amounts included for the Police and Firefighters Pension Funds are based on Actuarial Reports prepared by our actuary, Todd Schroeder from Lauterbach & Amen, using the Village's recently approved Pension Funding Policies. The funding policies use a 7% interest rate assumption and provide for the amortization of 90% of the unfunded accrued liability by 2040 using level dollar funding (equal payment over 21 years).

Employer Pension Fund Contributions				
Fund	FY 2021 Budget	Actuarial Contribution Requirement	Statutory Minimum Requirement	2020 Property Tax Levy
Police Pension	\$1,830,611	\$1,830,611	\$1,494,837	\$1,830,611
Fire Pension	\$1,691,007	\$1,691,007	\$1,394,019	\$1,691,007

Property Tax Rates			
	2019 Levy	2020 Levy (Estimated)	Increase (Decrease)
Village	\$1.2201	\$1.2160	(\$0.0041)
Debt Service	\$0.0499	\$0.0510	\$0.0011
Library	\$0.2360	\$0.2436	\$0.0076
Total	\$1.5060	\$1.5106	\$0.0046

Recommended Action: Acceptance of the Estimate for the 2020 Corporate (Aggregate) Property Tax Levy in the amount of \$8,130,737.

Village of River Forest 2020 Estimated Property Tax Levy

2019 Aggregate Extension inflated by CPI (A)	8,102,198
Estimated 2020 EAV	557,097,316
Less: 2019 Estimated disconnections & New EAV	-
Total (B)	557,097,316
Limiting Rate (A/B)	1.4544

2020 Est. EAV existing property	557,097,316	Estimated 2020 EAV	557,097,316
Add: Est. 2020 New EAV	-	Limiting Rate	1.4544
Estimated 2020 EAV	557,097,316	PTELL Reduced Levy (cap)	8,102,423

Category	2019		2020							Tax Rate Ceiling
	Original Levy	Extended Levy	Proposed Levy	Loss %	Loss Amount	Total Levy	Est PTELL Adjustment	Est PTELL Levy	Tax Rate	
Corporate	30,567	30,454	21,285	3.0%	639	21,924	(639)	21,285	0.0038%	0.4375%
Police Pension	1,572,020	1,566,179	1,830,611	3.0%	54,918	1,885,529	(54,918)	1,830,611	0.3286%	
Fire Pension	1,432,769	1,427,445	1,662,693	3.0%	49,881	1,712,574	(49,881)	1,662,693	0.2985%	
IMRF	6,728	6,704	8,344	3.0%	250	8,594	(250)	8,344	0.0015%	
Street & Bridge	22,230	22,148	14,551	3.0%	437	14,988	(437)	14,551	0.0026%	0.1000%
Fire Protection	1,440,186	1,434,835	1,252,343	3.0%	37,570	1,289,913	(37,570)	1,252,343	0.2248%	0.6000%
Police Protection	2,254,165	2,245,789	1,936,102	3.0%	58,083	1,994,185	(58,083)	1,936,102	0.3475%	0.6000%
Social Security	9,350	9,316	9,890	3.0%	297	10,187	(297)	9,890	0.0018%	
Auditing	1,005	1,002	877	3.0%	26	903	(26)	877	0.0002%	
Forestry	8,013	7,983	8,074	3.0%	242	8,316	(242)	8,074	0.0014%	0.0500%
Unemployment Insurance	750	748	750	3.0%	23	773	(23)	750	0.0001%	
Total	6,777,783	6,752,603	6,745,520		202,366	6,947,886	(202,366)	6,745,520	1.2108%	
River Forest Library	1,318,393	1,313,495	1,356,903	3.0%	40,707	1,397,610	(40,707)	1,356,903	0.2436%	0.6000%
Total Tax Cap	8,096,176	8,066,098	8,102,423		243,073	8,345,496	(243,073)	8,102,423	1.4544%	
Non-Tax Cap Category										
Debt Svc Extension Base Bonds	264,540	277,772	270,629	5.0%	13,531	284,160		284,160	0.0510%	
Fire Pension - PA 93-0689	38,985	40,155	28,314	3.0%	849	29,163		29,163	0.0052%	
Total	303,525	317,927	298,943		14,380	313,323		313,323	0.0562%	
Grand Total	8,399,701	8,384,025	8,401,366		257,453	8,658,819	(243,073)	8,415,746	1.5106%	
Total Corporate Levy (Excluding Debt Svc)	8,135,161	8,106,253	8,130,737		243,922	8,374,659	(243,073)	8,131,586		

Percentage Increase over prior year's extension (Truth in Taxation) **0.30%** (Excludes Debt Service)

Percentage Increase over prior year's extended levy (Total Levy) **0.21%**



Village of River Forest

Village Administrator's Office

400 Park Avenue
River Forest, IL 60305
Tel: 708-366-8500

MEMORANDUM

Date: November 4, 2020

To: Catherine Adduci, Village President
Village Board of Trustees

From: Lisa Scheiner, Assistant Village Administrator

Subj: Sign Ordinance Amendments

Issue: The Village's Sign Ordinance contains content-based regulations that, due to a Supreme Court decision, are not enforceable. With the assistance of its consultant, the Village Staff have completed a review of the sign ordinance and recommend that it be amended to remove all content-based regulations, align sign regulations with current best practices, and clarify existing language. Staff further recommends that the amended Ordinance be reviewed by the Economic Development Commission prior to adoption by the Village Board of Trustees.

Analysis: The last thorough review of the Village's sign ordinance was in 2011 and several changes were adopted by the Village Board of Trustees. Since that time, it has been amended to include a variation process. Also since that time, the United States Supreme Court entered a decision in the case of *Reed v. Town of Gilbert, Arizona*, that prohibits municipalities from enacting content-based sign regulations. The Village may limit the size, location and type of signs that are permitted, but the Village *may not* limit what the content (i.e. what is stated).

The Village has consulted with Jackie Wells of Houseal Lavigne who completed a review of the Ordinance, existing signage in the community, and the Village's experience applying its regulations. Based on that review, Staff and the Village's consultant recommend that the Sign Ordinance be amended to remove all content-based regulations, to clarify the Village's regulations, and to align the ordinance with current best practices. A brief summary of key amendments is provided below:

- All content-based sign regulations have been removed and new language has been added to ensure that it is clear that certain sign types remain permitted in the Village. For example:
 - o The existing ordinance includes a classification called "Real estate sign". The current language amounts to a content-based regulation. The amended language includes a new sign type called a "post sign" that aligns with the type of sign typically used to advertise the sale of a home.

- The existing ordinance includes classifications for “political signs” and “private sale signs” that also amount to content-based regulations. The amended language includes a new sign type called a “yard sign” that aligns with the type of small, corrugated plastic signs that are seen throughout the community.
- The existing ordinance includes a classification for “gas station price sign” that amounts to a content-based regulation. The amended language includes a new sign type called a “pylon sign” that aligns with the type of large, ground-mounted sign one sees at gas stations in River Forest.
- Banner signs, with the exception of banners advertising the grand opening of a new business, were previously prohibited. This content based restriction was eliminated and all banners have been classified as “temporary signage” under Section 4-5-12. Amendments to Section 4-5-12 also provide restrictions on banner size, quantity and installation duration.
- Language has been amended to clarify the Village’s existing regulations. For example:
 - Section 4-5-4(L)(1) and (2) – Calculating sign area and sign height has been clarified to better describe how wall signs are measured.
 - Section 4-5-5(A)(6) – There has been some debate about whether or not outline lighting is considered an “attention getting device” (which is prohibited). Language has been added to better define “outline lighting” and to clarify that it is prohibited in all zoning districts.
 - Section 4-5-5(A)(24) – New language clarifies what constitutes a “window sign” and, therefore, what is counted toward the overall allowable window signage. Section 4-5-6(F) further clarifies that temporary window signs also count toward the overall window signage that is permitted.
 - Section 4-5-12 – Previously, the “Violations” language was included in the section on temporary signs and therefore only applicable to temporary signs. This language has been moved to Section 4-5-4(O) so that it is applicable to *all* signs and not just temporary signs.
- Language has also been added and amended to align these regulations with current best practices. For example:
 - Section 4-5-4(A) – New language is proposed to add a definition of a “sign,” which is from the Village of Oak Park Village Code.
 - Section 4-5-4(B) – An amendment is proposed to reduce how bright a new sign may be by reducing the amount of “foot candles” it may project from 175 to 120. A “foot candle” is a unit of light measurement that indicates how much and at what distance objects are illuminated by a light source. A 120-foot candle limit is more consistent with industry best practices.
 - Section 4-5-5 – “Projecting signs” (also known as “blade signs”) have been added and defined.
 - Section 4-5-6(D) – “Sandwich board signs” have been added and defined and proposed as a permitted sign in the C3 Commercial District (i.e. Lake Street)
 - Sections 4-5-8, 9, 10, and 11 – These sections include language that
 - limits the placement of a “pylon sign” to the C1 Commercial Zoning District, establishes maximum height, area, setback and illumination restrictions;
 - allows window signs in the C1, C2, PRI, C3 and ORIC zoning districts but limits the size of each window sign;

- allows projecting signs in the in the C3 Zoning District as of right and in the ORIC Zoning District if part of an approved planned development;

It is not the intent of the Village to create legally non-conforming signs in River Forest by making these amendments to the Ordinance, however, it may be the effect. As a result, Staff recommends that these amendments be reviewed by the Economic Development Commission before they are adopted by the Village Board of Trustees. The Economic Development Commission is scheduled to meet on Friday, November 13, 2020 and, following the review, their recommendation will be considered by the Village Board of Trustees at a subsequent meeting.

The Village will work to educate property owners and tenants regarding the changes to the Village's regulations.

Recommendation: Forward the proposed Sign Ordinance amendments to the Economic Development Commission for their review and recommendation to the Village Board of Trustees.

Document(s) Attached: Draft Amended Sign Ordinance

CHAPTER 5 SIGN REGULATIONS

SECTION:

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4-5-3: SIGN PERMIT REQUIRED:	1
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4-5-1: PURPOSE:

The regulation of signs by this code is intended to promote and protect the public health, safety and welfare by reducing the depreciation of property values caused by signs that are incompatible with surrounding land uses; by creating a more attractive economic and business climate within the commercial and office areas of the village; by enhancing and protecting the physical and aesthetic appearance of all areas of the village; and by reducing the distractions, obstructions and hazards to pedestrian and auto traffic caused by the indiscriminate placement and use of signs.

4-5-2: SCOPE:

Any sign not expressly permitted by these regulations shall be prohibited. The regulations of this chapter shall govern and control the erection, enlargement, expansion, alteration, operation, maintenance, relocation and removal of all signs within the village visible from any ~~street~~right-of-way, sidewalk or public or private common open space. ~~Any sign not expressly permitted by these regulations shall be prohibited.~~ The regulations of this chapter relate to the location of signs, by function and type, within zoning districts and ~~shall be~~are in addition to provisions of this code applicable to the construction and maintenance of signs. Regulations concerning the use and termination of nonconforming signs ~~appear~~are in section 4-5-13 of this chapter.

4-5-3: SIGN PERMIT REQUIRED:

- A. Sign Permit: Except as expressly provided in section 4-5-6 of this chapter, no sign shall be erected, enlarged, expanded, altered, relocated or maintained unless a sign permit evidencing the compliance of such work with the provisions of this chapter and other applicable provisions of this code shall have first

been issued by the Village in accordance with the provisions of this section; provided, however, that routine sign maintenance (~~totally totaling~~ less than \$500.00 annually), or changing of parts designed to be changed ~~or changing the content of a sign in any manner does not change the functional classification of the sign and~~ shall not, standing alone, be considered an alteration of the sign requiring the issuance of a sign permit ~~hereunder~~ by the Village.

B. Additional Application Requirements: Every application for a sign permit ~~for a sign~~ shall be accompanied by:

1. Plans and specifications showing the location on the lot or building face and the method of construction, illumination and support of such sign;
2. A scale drawing showing sign faces, exposed surfaces and the proposed ~~message and~~ design, accurately represented as to size, area, proportion and color;
3. Photographs of the street right-of-way sides of the property in question, showing all existing signs on the property;
4. A calculation of the total amount of sign area presently existing on the property;
5. The applicant's attestation that the sum of the areas of the requested sign or signs and the existing signs does not exceed the maximum allowed by the provisions of this chapter;
6. Evidence of a valid village business license, when required, issued for any business to which the sign is accessory; ~~and~~
7. A letter from a licensed architect, structural engineer, or sign manufacturer/installation company verifying the structural integrity, safety, and overall soundness of the sign design and installation-; ~~and~~
- 7-8. Such other information or materials as the Village requests.

4-5-4: GENERAL STANDARDS:

The following general standards shall apply to all signs:

A. Sign: A sign is defined as any visual device or representation designed or used for the purpose of communicating a message or identifying a product, service, person, organization, business or event, with the use of words or characters, visible from outside the premises on which such device is located.

A.B. Illumination:

1. Location And Design Of Light Source: Whenever an external artificial light source is used for a sign, such source shall be located, shielded and directed so as not to be directly visible from any ~~public~~ street right-of-way or private residence. No receptacle or device housing a permitted light source for a sign shall protrude more than twelve inches from the face of the sign or building to which it is attached; provided, however, that a receptacle or device housing a permitted light source for a sign may be located more than twelve inches from the face of the sign if such light source is ground mounted, locked in place, and cannot be redirected.
2. Level Of Illumination: In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed one hundred ~~seventy five~~ twenty foot- candles when measured with a standard light meter held perpendicular to the sign face at a distance equal to the narrowest dimension of such sign face. All artificial illumination shall be so designed, located, shielded, and

directed as to prevent the casting of glare or direct light upon adjacent property or ~~streets~~rights-of-way.

3. Signs Adjacent To Residential Areas: Any illuminated sign located on a lot abutting or across a street right-of-way from, and visible from, any residentially zoned area shall not be illuminated between the hours of eleven o'clock P.M. and seven o'clock A.M. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.
4. Flashing Lights Prohibited: ~~xcept for public service signs when expressly permitted by this chapter, no~~ No flashing, blinking or intermittent lights shall be permitted.

~~B.C.~~ E.C. Electrical Elements: All wiring, fittings and materials used in the construction, connection and operation of electrically-artificially illuminated signs shall be in accordance with the provisions of this code. No metal sign illuminated by any means requiring internal wiring and no electrical fixtures attached to any sign shall be lower than nine feet from grade unless it is grounded by the use of a grounding conductor run with the circuit conductors and is also grounded by being bonded to a grounding electrode at the sign site.

~~C.D.~~ E.D. Structural Elements: The construction and structural components of all signs shall be in accordance with the standards and regulations of this code. All permanent signs shall be constructed of fire resistant materials and shall be capable of withstanding wind pressures of at least thirty pounds per square foot of surface area and of receiving dead loads based on the actual weight of the structure.

~~D.E.~~ E.E. Minimum Elevation of Certain Signs: The bottom of every awning, canopy, marquee, wall and pylon sign shall be elevated at least eight feet above grade. Whenever possible wall signs on the same facade shall maintain the same top and bottom elevations above grade.

~~E.F.~~ E.F. Obstruction of Accessways: No sign or sign structure shall obstruct free ingress to or egress from a fire escape, door, window or other required accessway.

~~F.G.~~ E.G. Obstruction of Window Surface: No sign shall project over, occupy or obstruct any window surface required for light or ventilation by any applicable provision of this code.

~~G.H.~~ E.H. Traffic Safety:

1. Confusion with Traffic Signals: No sign shall be maintained at any location where by reason of its position, size, shape, content, color, or illumination it may obstruct, impair, obscure, interfere with the view of, or be confused with, any traffic control sign, sign or device, or where it may interfere with, mislead or confuse traffic.
2. Obstruction of Sight Triangles Prohibited: No sign, nor any part of a sign other than a supporting pole or brace no greater than eighteen inches in width or diameter shall be located lower than eight feet from grade within the area of any sight triangle as defined in this code.

~~H.I.~~ E.I. Signs in Rights-Of-Way: Except as provided in this subsection, no sign except governmental signs authorized in this chapter shall be placed in or extend into or over any public property or right-of-way. ~~Temporary signs advertising civic functions may extend into or over a public right of way upon the specific prior approval of the village manager on the basis of need and impact on pedestrian and vehicular traffic, and impact on surrounding properties.~~

~~I.J.~~ E.J. Sign Identification: All signs shall be plainly marked with the name of the person, firm or corporation hanging or erecting the sign and the sign permit number.

J.K. Sign Maintenance: The owner of a sign and the owner of the premises on which such sign is located shall be jointly and severally liable to maintain such sign, including its illumination sources, in compliance with this code and all applicable laws, in a safe and secure condition, and in a neat and orderly condition and good working order at all times, and to prevent the development of any rust, corrosion, rotting or other deterioration in the physical appearance or safety of such sign. The premises around ground and pylon signs shall be kept clean and free of all rubbish and weeds.

K.L. Sign Measurement:

1. ~~Area To Be Included: The supporting structure or bracing of a sign shall be omitted in measuring the area of the sign unless such structure or bracing is made part of the message or face of the sign. Where a sign has more than one display face, all faces shall be included in determining the area of the sign.~~ Sign Area: Unless otherwise defined, sign area is determined by the total area enclosed by a continuous perimeter along the edges of a sign, including any frame or border. The area of a sign composed of individually affixed letters is determined by total area of the smallest geometric shape enclosing the letters. A maximum of two geometric shapes may be utilized. The calculation for a double-faced sign shall be the area of one face only.

Sign Height: Sign height is determined by the total distance between the highest point on a sign, including all supporting structures or bracing, to the crown of the right-of-way directly opposite the sign or from the natural grade level directly below the sign, whichever is higher.

2. ~~Area Of Signs With Backing: The area of all signs with backing shall be measured by computing the area of the sign backing.~~
3. ~~Area Of Signs Without Backing: The area of all signs without backing shall be measured by computing the area of the smallest regular geometric figure that can encompass all words, letters, figures, emblems and other elements of the sign message.~~
4. ~~Area Of Signs With And Without Backing: The area of all signs formed by a combination of elements with and without backing shall be measured by counting the area of such elements measured in accordance with the foregoing subsections.~~

L.M. Signs On Lots with Multiple Users: Where more than one user occupies a zoning lot, the owner of the lot shall be responsible for allocating permitted signage among such users.

N. General Safety: Notwithstanding any other provision of this chapter, no sign shall be located in any area or in any manner so as to create a nuisance or a threat to the public safety and welfare.

M.O. Violations: Erecting or maintaining a sign in a manner inconsistent with the provisions of this chapter is unlawful, is declare a nuisance and shall constitute a violation and petty offense. A separate offense shall be deemed committed for each day any violation of any provision of this chapter shall continue. Liability for the violation or offense shall be with the applicant, should the violation or offense be related to a sign erected and maintained pursuant to a permit issued by the village. Liability for the violation or offense shall be with the owner of the property on which the sign exists, should the violation or offense be related to a sign erected and maintained without a permit issued by the village. Violations of this chapter shall be punished as provided in section 1-4-1 of this code.

4-5-5: CLASSIFICATION OF SIGNS:

A. Functional Sign Types: ~~For purposes of this chapter, signs shall be classified as follows according to function:~~

- ~~1. Advertising Sign: A sign, other than an off-premises identification sign, that directs attention to or identifies a business, commodity, service or entertainment conducted, sold or offered at a location other than the premises on which the sign is located. This term shall include signs, other than customary identification lettering and advertising posters on buses and taxicabs, attached to parked or moving vehicles.~~
- 2.1. Attention Getting Device: A sign designed to attract attention by means of flashing or moving parts, bright color or light, or movement of any kind. Examples of such signs include pennants hung in series, whirligigs, spinners, streamers, flashing lights, searchlights and balloons.
- ~~3. Business Sign: A sign that directs attention to or identifies a business or profession conducted, or to a commodity or service sold, offered or manufactured, or to an entertainment offered on the premises where the sign is located.~~
- ~~4. Construction Sign: A temporary sign erected on premises on which construction is taking place indicating the project or future use, names of the architects, engineers, landscape architects, contractors, and similar artisans, and the owners, financial supporters, sponsors and similar persons or firms having a role or interest in the construction activity.~~
- 5.2. Drive-Through Sign: A sign that facilitates the operation of a drive-through facility by aiding with the pick-up, drop off, ordering or service of such a facility. It includes, but is not limited to, such signs as changeable copy menu boards.
- 6.3. Governmental Signs: A sign erected and maintained pursuant to and in discharge of any governmental function or required by any law, ordinance or governmental regulation.
- ~~7. Holiday Decorations: Signs in the nature of decorations, clearly incidental to and customarily and commonly associated with any national, local or religious holiday.~~
- ~~8. Home Occupation Sign: A sign advertising or identifying a home occupation on the site of the home occupation.~~
- ~~9. Identification Sign: A sign giving only the name, trademark or other readily recognized symbol or address, or any combination thereof, of a building, business, development or establishment on the premises where it is located.~~
- ~~10. Institutional Bulletin Board Sign: A sign that identifies a religious organization, school, library, community center, or similar institutional or community service use on whose premises it is located and that contains only the name of the institution or organization, the name or names of persons connected with it, and greetings, announcements or events or activities occurring at the institution or similar message.~~
- ~~11. Joint Identification Sign: An identification sign limited in content to the identification of a planned development, office plaza, shopping center, industrial park or the like and not containing any reference to the individual uses sharing the development, plaza, center, park or the like.~~
- ~~12. Memorial Sign: A sign or tablet memorializing a person, place, event or structure.~~

- ~~13. Nameplate Sign: A sign limited in content to the name or address, or both, of the owner or occupant of a building or premises on which it is located. If any premises is occupied by more than one occupant, the nameplate sign may identify all such occupants, as well as the premises, and may include necessary directional information.~~
- ~~14.4. Off Premises Identification And/Or Advertising Sign: A sign giving only the name, trademark or other readily recognized symbol, address, or advertising, or any combination thereof, of a building, business, development or establishment, which sign is located off the lot on which such building, business, development or establishment is located. A sign located on a property other than the property of the primary use or business to which the sign is associated.~~
- ~~15. Official Flag Or Emblem: A flag or emblem of a government or of a membership organization.~~
- ~~16. On Site Directory Sign: A sign, not readable from any public right of way, on which the names and locations of the occupants and/or uses of a building or group of buildings is given.~~
- ~~5. On Site Informational Traffic Directional Sign: A sign commonly associated with, and limited to, information and directions necessary or convenient for persons coming on the property, including signs marking entrances and exits, parking areas, one-way drives, restrooms, pick-up and delivery areas and the like. A sign that assists in the movement of vehicular, bicycle, or pedestrian traffic on a property.~~
- ~~17.6. Outline Lighting: An arrangement of incandescent lamps, light emitting diodes (LEDs) or other electrically powered light sources that calls attention to certain features, such as the shape of a building or the decoration of a window.~~
- ~~18. Political Sign: A temporary sign announcing or supporting political candidates or issues in connection with any national, state or local election.~~
- ~~19. Private Sale Sign: A temporary sign advertising private sales of personal property at "house sales", "garage sales", "rummage sales" and the like.~~
- ~~20. Private Warning Sign: A sign limited in content to messages warning, caution or danger.~~
- ~~21. Public Service Signs: A sign displaying only the time, temperature, stock market quotations or civic messages.~~
- ~~22. Real Estate Sign: A sign pertaining to the sale or lease of the premises, or a portion of the premises, on which the sign is located.~~
- ~~B. Structural Types: For purposes of this chapter, signs shall be classified as follows according to structure:~~
- ~~23.7. Awning, Canopy or Marquee Sign: A sign that is mounted or painted on or attached to an awning, canopy or marquee that is otherwise permitted by this chapter. No such sign shall project above, below, or beyond the physical dimensions of such awning, canopy or marquee.~~
- ~~24.8. Banner Sign: A temporary sign made of fabric or other similar nonrigid material with no enclosing framework or electrical components that is supported or anchored on two or more edges or at all four corners.~~
- ~~25. Billboard Sign: A board, panel, or tablet used for the display of posters, printed or painted advertising matter, either illuminated or nonilluminated, that directs attention to goods, merchandise, entertainment, or services offered elsewhere than the premises where the sign is located.~~

- ~~26-9.~~ Box Sign: A sign that is self-enclosed in a typically square or rectangular structure with or without internal lighting. A box sign can be single or double sided.
- ~~27-10.~~ Freestanding Sign: A sign on a frame, pole or other support structure not attached to any building.
- ~~28. Gas Station Price Sign: A changeable copy sign advertising gasoline prices.~~
- ~~29-11.~~ Monument Sign: A freestanding sign supported primarily by an internal structural framework or integrated into landscaping or other solid structural features other than support poles.
- ~~30-12.~~ Moving or Animated Sign: Any sign or part of a sign that changes physical position by any movement or rotation or that gives the visual impression of such movement or rotation.
- ~~13.~~ Paint On Wall Sign: A sign painted on the wall of a building or structure with the exposed face of the sign in a place parallel to the face of the wall.
- ~~31-14.~~ Post Sign: A freestanding, movable sign affixed to the ground with a single wood stake with an arm from which the sign hangs.
- ~~32-15.~~ Portable Sign: A sign that is not permanently affixed to a building, a structure or the ground, but not including customary identification lettering on vehicles and advertising posters on buses and taxicabs.
- ~~33-16.~~ Projecting Sign: A sign that is wholly or partially dependent upon a building for support and that projects more than twelve inches from such building.
- ~~34-17.~~ Pylon Sign: A sign that is mounted on a freestanding pole or other supports.
- ~~35-18.~~ Reader Board/Changeable Copy/Video Sign: ~~(Does not apply to gas/service stations or to that portion of a sign dedicated to time and/or temperature.)~~ A sign or portion ~~thereof of a sign~~ designed to accommodate frequent message changes composed of characters, or letters, or illustrations and that can be changed or rearranged, either manually or electronically, without altering the face or surface of such sign.
- ~~36-19.~~ Roof Sign: A sign that is mounted or painted on the roof of a building, or that is wholly dependent upon a building for support and that projects above the highest point of a building with a flat roof, the eave line of a building with gambrel, gable or hip roof or the deck line of a building with a mansard roof.
- ~~37-20.~~ Sandwich Board Sign: A movable sign not secured or attached to the ground or surface upon which it is located.
- ~~38-21.~~ Temporary Sign: A sign or advertising display constructed of cloth, canvas, fabric, paper, plywood or other light material and intended to be displayed for a short period of time.
- ~~39-22.~~ Vehicle/Trailer Sign: A sign that is attached to or painted on a vehicle that is parked on or adjacent to any property, the principal purpose of which is to attract attention to a product sold or business located on the property.
- ~~40-23.~~ Wall Sign: A sign fastened to the wall of a building or structure in such a manner that the wall becomes the supporting structure for, or forms the background surface of, the sign and that does not project more than twelve inches from such building or structure.

24. Window Sign: A sign that is applied or attached to the exterior or interior of a window or located within the interior of a structure so that its message can be read from the exterior of the structure. Window signs shall include window film, decals, and clings which are more than fifty percent opaque and/or contain sign copy.

41-25. Yard Sign: A freestanding, moveable sign on a wire or plastic frame, wood stake or similar support.

4-5-6: SIGNS PERMITTED ~~IN ANY DISTRICT~~ WITHOUT A PERMIT:

Except as regulated by section 4-5-4 of this chapter and except as expressly prohibited in section 4-5-7 of this chapter, and notwithstanding any other contrary provisions of this chapter, the following signs may, subject to the following limitations, be erected and maintained in any district without obtaining a village sign permit.

- A. Governmental signs: The ~~content and~~ size of any such sign shall not exceed the requirements of the law, ordinance or regulation pursuant to which such sign is erected.
- ~~B. Holiday decorations: Such signs shall be displayed for a period of not more than sixty consecutive days nor more than twenty days following the holiday in connection with which they are displayed; any other provision of this chapter to the contrary notwithstanding, such signs may be of any type, number, area, height, location, illumination or animation so long as they create no safety hazard, nuisance or adverse impact on the adjacent properties.~~
- ~~C. Nameplate signs: Such signs shall be limited to no more than one wall sign per occupancy; shall be no more than one square foot in area per occupancy and in no event more than three square feet in area; and shall be nonilluminated.~~
- ~~D. Official flags and emblems: Such signs may be displayed on flagpoles and when so displayed shall not exceed twenty four square feet in area. Such signs may also be displayed in the form of a wall sign and when so displayed shall not exceed three square feet in area.~~
- B. On site ~~informational~~ traffic directional signs: Such signs shall be limited to wall or freestanding signs of not more than six square feet in area; shall be, if a freestanding sign, not more than four feet in height; and shall be illuminated only as necessary to accomplish their intended purpose.
- C. Post signs: Such signs shall be limited to free standing signs mounted in the ground with a single pole or stake. Post signs shall be a maximum of six square feet in area and six feet in height. Illumination of such signs is prohibited. A maximum of one post sign may be displayed at any time for a period not to exceed 180 days in a calendar year. Display period extensions may be granted by the Zoning Administrator.
- D. Sandwich board signs: Such signs shall be permitted in the C3 District only and shall be limited to six square feet in area and three and one half feet in height. Such signs shall be located in a manner that: preserves a continuous sidewalk width of a minimum of three feet; does not block points of ingress or egress; is no more than one foot from the wall of the building or unit of a building to which they are associated; and is no less than three feet and no more than six feet from the building entrance of the building or unit of a building to which they are associated. Such signs shall only be permitted during the operating hours of the use to which they are associated.
- E. Yard signs: Such signs shall be limited to freestanding signs of not more than six square feet in area and three feet in height; illumination of such signs is prohibited. A maximum of four yard signs may be displayed concurrently.
- ~~F. Political signs: Such signs shall be limited to not more than nine square feet in area per sign; shall be located entirely on private property pursuant to the owner's consent; shall be clearly marked with the~~

name, address and telephone number of the person responsible for the removal of such sign; shall not be located in or on the public right of way, sidewalk or other public thoroughfare.

~~G. Private sale signs (residential only): Such signs shall be no more than six square feet in area; shall be located entirely on the premises where such sale is to be conducted; shall be clearly marked with name, address and telephone number of the person responsible for the removal of such sign; shall be erected not more than twenty-four hours in advance of such sale; and shall be removed within twenty-four hours following the conclusion of such sale. No freestanding sign shall be higher than four feet nor closer to any lot line than six feet.~~

~~H. Private warning signs: Such signs shall be no more than two square feet in area each; shall be limited to the number necessary to accomplish the intended purpose and shall be illuminated only as required to accomplish such purpose.~~

~~I. Real estate sign, temporary: Such signs shall be no more than six square feet in area per sign face and shall be limited to one such sign per zoning lot.~~

J.F. Window signs, temporary: The aggregate area of all such signs shall not exceed thirty percent of the area of the window in which they are exhibited nor block any window area required for light, ventilation or emergency exit by any applicable code. Permitted temporary window sign area shall be considered in aggregate with permitted permanent window sign area. No such sign shall be illuminated. Illumination of such signs is prohibited. Temporary window signs shall include window film, decals, and clings which are more than fifty percent opaque and/or contain sign copy.

4-5-7: SIGNS SPECIFICALLY PROHIBITED IN ALL DISTRICTS:

The following signs, as well as all other signs not expressly permitted by this chapter, are prohibited in all districts and shall not be erected, maintained or, except as provided for elsewhere in this chapter, permitted to continue in any district:

~~A. Advertising signs, including billboards.~~

~~B.A. Attention getting devices.~~

~~C. Banner signs (except for the grand opening of a new business).~~

~~D.B. Box signs.~~

~~E.C. Electronic reader board (except as approved as part of a planned development).~~

~~F. Home occupation identification signs.~~

~~G.D. Moving or animated signs.~~

~~E. Off premises signs (except as approved as part of a planned development).~~

~~H.F. Outline lighting.~~

~~I.G. Portable signs.~~

~~J. Projecting signs.~~

~~K. Real estate signs indicating that property has been sold.~~

~~L.H. Roof signs.~~

~~M.I.~~ Temporary signs, except as expressly authorized in this chapter and when approved in connection with temporary uses.

~~N.J.~~ Vehicle/trailer signs.

~~O.~~ Any sign that advertises, identifies or pertains to a business no longer conducted, or a product no longer sold, on the premises where such sign is located. Such signs shall be removed within thirty days following cessation of the relevant activity.

~~P.K.~~ Any sign on a tree, utility pole, or light pole, whether on public or private property (except municipal/government banners appropriately approved and mounted).

~~Q.L.~~ Any sign on public property, except governmental signs authorized in this chapter.

~~R.M.~~ Any sign painted directly on a wall, roof or fence.

~~S.N.~~ Any ground sign (or portion thereof of a sign) existing at a height of more than fifteen feet above the grade of the adjacent residential district.

~~T.O.~~ Construction advertising signs in residential neighborhoods other than the sign or permit placard required by the village.

4-5-8: DISTRICT REGULATIONS - C1:

Signs shall be permitted in the C1 district as follows (North Avenue):

A. ~~Functional Sign~~ Types Permitted:

1. All signs permitted in any district without a village permit as provided in section 4-5-6 of this chapter.

~~2. Business signs.~~

~~3. Identification signs.~~

~~4. Joint identification signs.~~

~~5. On-site directory signs.~~

~~B. Structural Types Permitted:~~

~~6.2.~~ Awning and canopy signs.

~~3.~~ Monument signs.

~~7.4.~~ Pylon signs.

~~8.5.~~ Temporary signs, but only as authorized in section 4-5-6 of this chapter or for construction signs.

~~6.~~ Wall signs.

~~9.7.~~ Window signs.

~~10.~~ Gas station price sign, but only as authorized as part of a planned development.

~~11.8.~~ Drive-through sign, but only as authorized as part of a planned development.

~~C.B.~~ Number of Signs Permitted Per Lot:

1. All signs permitted in section 4-5-6 of this chapter; plus

~~2. One joint identification sign per zoning lot frontage; plus~~

~~3.2.~~ One wall sign per zoning lot frontage for buildings with a single ground floor tenant, or one wall sign per ground floor business tenant fronting the public right of way; plus

~~4.3.~~ One monument sign; ~~plus or~~

~~5.4. One on-site directory sign per zoning lot frontage. One pylon sign.~~

~~D.C.~~ Maximum Gross Surface Area of Signs Permitted:

1. Total Sign Area: Unless otherwise stated in this section, the total area of all signs on a zoning lot shall not exceed one square foot per linear foot of zoning lot frontage on a public street; provided, however, that ~~construction signs, real estate signs, joint identification signs, and~~ signs allowed without permits, shall not be counted toward the total allowance gross sign surface area permitted on a zoning lot.
2. Individual Sign Area Limitations: The following individual sign area limitations shall apply to all signs:
 - a. Awning and Canopy Signs: Not to exceed sixty square feet per sign face. No sign ~~identifying belonging to~~ an individual tenant of a multi-tenant building shall cover more than five percent of the wall to which it is affixed.
 - ~~b.~~ Monument Signs: Not to exceed eighty square feet per sign face.
 - ~~b-c.~~ Pylon Signs: Not to exceed eight square feet per sign face.
 - ~~d.~~ Wall Signs: Not to exceed eighty square feet per sign, or not to exceed covering more than five percent of the wall to which it is affixed, whichever is less.
 - ~~e-e.~~ Window Signs: Not to exceed twenty-five percent of any individual window frame. Permitted permanent window sign area shall be considered in aggregate with permitted temporary window sign area.
3. Multi-Tenant Buildings: Regardless of total sign area allowed for a multi-tenant building, each ground floor business tenant fronting the public right of way shall be allowed at least one sign of the following types:
 - a. Awning And Canopy Signs: An awning or canopy sign identifying belonging to an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the awning or canopy area associated with the subject tenant.
 - b. Wall Signs: A wall sign identifying belonging to an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the wall area associated with the subject tenant.

~~E.D.~~ Maximum Height of Signs Permitted:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
2. Awning and Canopy Signs: Twenty feet; all awning and canopy signs shall be at least eight feet above grade. Awning and canopy signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.

3. Monument Signs: A maximum height of ten feet.

3-4. Pylon Signs: A maximum height of twenty feet or the height of the primary structure or service area canopy for gas stations, whichever is less.

4-5. Wall Signs: Thirty feet. Permitted only on the first floor of multi-story buildings. No wall sign shall cover any architectural features of the building to which it is attached (architectural features shall include, but not be limited to: pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or tile inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel). Wall signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.

F-E. Minimum Setback Required:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.

2. Monument Signs: Three feet from "right of way" and six feet from all other lot lines. All monument signs shall be located outside of the "sight triangles" and shall be maintained.

2-3. Pylon Signs: Three feet from "right of way" and six feet from all other lot lines. All pylon signs shall be located outside of the "sight triangles" and shall be maintained.

G-F. Illumination:

1. Signs Without Permits: Signs permitted pursuant to section 4-5-6 of this chapter shall be illuminated only as permitted in that section.

2. Awning and Canopy Signs: Can only be illuminated using a direct light source. Direct illumination shall be aimed at the exterior of the awning/canopy.

3. Monument Signs: Monument signs shall be backlit, directly lit, or internally illuminated. All letters must be individually affixed. Any direct light source shall be concealed from view from the right of way. The sign area backing shall not be internally illuminated.

3-4. Pylon Signs: Pylon signs shall be internally illuminated.

5. Wall Signs: Letters shall be individually affixed to walls of a building and be either internally illuminated or backlit.

4-6. Window Signs: Illumination of window signs shall be prohibited.

4-5-9: DISTRICT REGULATIONS - C2 AND PRI:

Signs shall be permitted in the C2 and PRI districts as follows:

A. Functional Sign Types Permitted:

1. All signs permitted in any district without a village permit as provided in section 4-5-6 of this chapter.

2. ~~Business signs.~~

3. ~~Identification signs.~~

4. ~~Joint identification signs.~~

5. ~~On-site directory signs.~~

~~B. Structural Types Permitted:~~

~~6.2.~~ Awning and canopy signs.

~~7.3.~~ Monument signs.

~~8.4.~~ Temporary signs, but only as authorized in section 4-5-6 of this chapter or for construction signs.

~~5.~~ Wall signs.

~~9.6.~~ Window signs.

~~10.~~ Gas station price sign, but only as authorized as part of a planned development.

~~11.7.~~ Drive-through sign, but only as authorized as part of a planned development.

~~C.B.~~ Number of Signs Permitted Per Lot:

1. All signs permitted in section 4-5-6 of this chapter; plus

~~2.~~ One joint identification sign per zoning lot frontage; plus

~~3.2.~~ One wall sign per zoning lot frontage for buildings with a single ground floor tenant, or one wall sign per ground floor business tenant fronting the public right of way; plus

~~4.3.~~ One monument sign; ~~plus.~~

~~5.~~ One on site directory sign per zoning lot frontage.

~~D.C.~~ Maximum Gross Surface Area of Signs Permitted:

1. Total Sign Area: Unless otherwise stated in this section, the total area of all signs on a zoning lot shall not exceed one square foot per ~~foot of linear foot of zoning lot frontage on a public street~~ ~~zoning lot frontage~~; provided, however, that ~~construction signs, real estate signs, joint identification signs,~~ and signs allowed without permits, shall not be counted toward the total allowance gross sign surface area permitted on a zoning lot.

2. Individual Sign Area Limitations: The following individual sign area limitations shall apply to all signs:

a. Awning and Canopy Signs: Not to exceed sixty square feet per sign face. No sign ~~identifying belonging to~~ an individual tenant of a multi-tenant building shall cover more than five percent of the wall to which it is affixed.

b. Monument Signs: Not to exceed eighty square feet per sign face.

~~c.~~ Wall Signs: Not to exceed sixty square feet per sign, or not to exceed covering more than five percent of the wall to which it is affixed, whichever is less.

~~c.d.~~ Window Signs: Not to exceed twenty-five percent of any individual window frame. Permitted permanent window sign area shall be considered in aggregate with permitted temporary window sign area.

3. Multi-Tenant Buildings: Regardless of total sign area allowed for a multi-tenant building, each ground floor business tenant fronting the public right of way shall be allowed at least one sign of the following types:

- a. Awning And Canopy Signs: A sign ~~identifying-belonging to~~ an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the awning or canopy area associated with the subject tenant.
- b. Wall Signs: A sign ~~identifying-belonging to~~ an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the wall area associated with the subject tenant.

E-D. Maximum Height of Signs Permitted:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
2. Awning and Canopy Signs: Twenty feet; all awning and canopy signs shall be at least eight feet above grade. Awning and canopy signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.
3. Monument Signs: A maximum height of ten feet.
4. Wall Signs: Thirty feet. Permitted only on the first floor of multi-story buildings. No wall sign shall cover any architectural features of the building to which it is attached (architectural features shall include, but not be limited to: pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or tile inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel). Wall signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.

F-E. Minimum Setback Required:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
2. Monument Signs: Three feet from "right of way" and five feet from all other lot lines. All monument signs shall be located outside of the "sight triangles".

G-F. Illumination:

1. Signs Without Permits: Signs permitted pursuant to section 4-5-6 of this chapter shall be illuminated only as permitted in that section.
2. Awning and Canopy Signs: Can only be illuminated using a direct light source. Direct illumination shall be aimed at the exterior of the awning/canopy.
3. Monument Signs: Monument signs shall be backlit, directly lit, or internally illuminated. All letters must be individually affixed. Any direct light source shall be concealed from view from the right of way. The sign area backing shall not be internally illuminated.
4. Wall Signs: Letters shall be individually affixed to walls of a building and be either internally illuminated or backlit.

4-5. ~~Window Signs: Illumination of window signs shall be prohibited.~~

4-5-10: DISTRICT REGULATIONS - C3:

Signs shall be permitted in the C3 district as follows (Lake Street Village Center Area):

- A. ~~Functional-Sign~~ Types Permitted:

1. All signs permitted in any district without a village permit as provided in section 4-5-6 of this chapter.

~~2. Business signs.~~

~~3. Identification signs.~~

~~4. On-site directory signs.~~

~~B. Structural Types Permitted:~~

~~2. Awning and canopy signs.~~

~~5.3. Projecting signs.~~

~~6.4. Temporary signs, but only as authorized in section 4-5-6 of this chapter or for construction signs.~~

~~5. Wall signs.~~

~~7.6. Window signs.~~

~~8.7. Drive-through sign, but only as authorized as part of a planned development.~~

~~C.B. Number of Signs Permitted Per Lot:~~

1. All signs permitted in section 4-5-6 of this chapter; plus

~~2. One wall sign per zoning lot frontage for buildings with a single ground floor tenant, or one wall sign per ground floor business tenant fronting the public right of way.~~

~~2.3. One projecting sign per zoning lot frontage for buildings with a single ground floor tenant or one projecting sign per ground floor business tenant fronting the public right of way.~~

~~D.C. Maximum Gross Surface Area of Signs Permitted:~~

1. Total Sign Area: Unless otherwise stated in this section, the total area of all signs on a zoning lot shall not exceed one square foot per ~~foot of zoning lot frontage~~ linear foot of zoning lot frontage on a public street; provided, however, that ~~construction signs, real estate signs, joint identification signs, and~~ signs allowed without permits, shall not be counted toward the total allowance gross sign surface area permitted on a zoning lot.

2. Individual Sign Area Limitations: The following individual sign area limitations shall apply to all signs:

~~a. Awning and Canopy Signs: Not to exceed sixty square feet per sign face. No sign identifying belonging to~~ an individual tenant of a multi-tenant building shall cover more than five percent of the wall to which it is affixed.

~~a.b. Projecting Signs: Not to exceed four- and one-half square feet per sign face.~~

~~c. Wall Signs: Not to exceed sixty square feet per sign, or not to exceed covering more than five percent of the wall to which it is affixed, whichever is less.~~

~~b.d. Window Signs: Not to exceed twenty-five percent of any individual window frame. Permitted permanent window sign area shall be considered in aggregate with permitted temporary window sign area.~~

3. Multi-Tenant Buildings: Regardless of total sign area allowed for a multi-tenant building, each ground floor business tenant fronting the public right of way shall be allowed at least one sign of the following types:
 - a. Awning And Canopy Signs: A sign ~~identifying belonging to~~ an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the awning or canopy area associated with the subject tenant.
 - b. Wall Signs: A sign ~~identifying belonging to~~ an individual tenant of a multi-tenant building shall cover up to, but not more than five percent of the proportion of the wall area associated with the subject tenant.

~~E-D.~~ Maximum Height of Signs Permitted:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
- ~~2.~~ Awning and Canopy Signs: Twenty feet; all awning and canopy signs shall be at least eight feet above grade. Awning and canopy signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.
- ~~2-3.~~ Projecting Signs: A projecting sign shall not extend above the roofline of the building to which it is attached, or a maximum of twelve (12) feet. A minimum of eight (8) feet of clearance shall be maintained from the lower edge of the sign face to grade.
- ~~3-4.~~ Wall Signs: Thirty feet. Permitted only on the first floor of multi-story buildings. No wall sign shall cover any architectural features of the building to which it is attached (architectural features shall include, but not be limited to: pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or tile inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel). Wall signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed. Wall signs for individual tenants of a multi-tenant building shall be of the same type/font and overall design and color.

~~F-E.~~ Minimum Setback Required:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
- ~~1-2.~~ Projecting Signs: Projecting signs shall not horizontally project more than four (4) feet beyond that portion of the building or structure to which it is attached.
- ~~2.~~ Monument Signs: Three feet from "right of way" and five feet from all other lot lines. All monument signs shall be located outside of the "sight triangles".

~~G-F.~~ Illumination:

1. Signs Without Permits: Signs permitted pursuant to section 4-5-6 of this chapter shall be illuminated only as permitted in that section.
2. Awning and Canopy Signs: Can only be illuminated using a direct light source. Direct illumination shall be aimed at the exterior of the awning/canopy.

~~3. Monument Signs: Monument signs shall be backlit, directly lit, or internally illuminated. All letters must be individually affixed. Any direct light source shall be concealed from view from the right of way. The sign area backing shall not be internally illuminated.~~

~~3. Projecting Signs: Illumination of projecting signs shall be prohibited.~~

~~4. Wall Signs: Letters shall be individually affixed to walls of a building and be either internally illuminated or backlit.~~

~~4.5. Window Signs: Illumination of window signs shall be prohibited.~~

4-5-11: DISTRICT REGULATIONS - ORIC:

Signs shall be permitted in the ORIC district as follows:

A. ~~Functional Sign~~ Types Permitted:

1. All signs permitted in any district without a village permit as provided in section 4-5-6 of this chapter.

~~2. Business signs.~~

~~3. Identification signs.~~

~~4. Joint identification signs.~~

~~5. On-site directory signs.~~

B. ~~Structural Types Permitted:~~

~~6.2. Awning and canopy signs.~~

~~3. Monument signs.~~

~~7.4. Projecting signs, but only as authorized as part of a planned development.~~

~~8.5. Temporary signs, but only as authorized in section 4-5-6 of this chapter or for construction signs.~~

~~9.6. Wall signs.~~

~~10. Gas station price sign, but only as authorized as part of a planned development.~~

~~11.7. Drive-through sign, but only as authorized as part of a planned development.~~

~~C. B.~~ Number of Signs Permitted Per Lot:

1. All signs permitted in section 4-5-6 of this chapter; plus

~~2. One joint identification sign per zoning lot frontage; plus~~

~~3.2. One wall sign per zoning lot frontage for buildings with a single ground floor tenant, or one wall sign per ground floor business tenant fronting the public right of way; plus~~

~~4.3. One monument sign per street frontage; plus~~

~~5.4. One on site directory sign per zoning lot frontage.~~

~~D. C.~~ Maximum Gross Surface Area of Signs Permitted:

1. Total Sign Area: The total area of all signs on a zoning lot shall not exceed one square foot per linear foot of zoning lot frontage on a public street~~foot of zoning lot frontage~~; provided, however, that ~~construction signs, real estate signs, joint identification signs, and~~ signs allowed without permits, shall not be counted toward the total allowance gross sign surface area permitted on a zoning lot.
2. Individual Sign Area Limitations: The following individual sign area limitations shall apply to all signs:
 - a. Awning and Canopy Signs: Not to exceed sixty square feet per sign face. No sign ~~identifying belonging to~~ an individual tenant of a multi-tenant building shall cover more than five percent of the wall to which it is affixed.
 - b. Monument Signs: Not to exceed one hundred square feet per sign face, nor more than two hundred square feet total.
 - c. Wall Signs: Not to exceed one hundred square feet per sign, or not to exceed covering more than five percent of the wall to which it is affixed, whichever is less.

E.D. Maximum Height of Signs Permitted:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
2. Awning and Canopy Signs: Twenty feet; all awning and canopy signs shall be at least eight feet above grade. Awning and canopy signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed.
3. Monument Signs: A maximum height of ten feet.
4. Wall Signs: Thirty feet. Wall signs for individual tenants of a multi-tenant building shall be at the same height on the building to which they are affixed. No wall sign shall cover any architectural features of the building to which it is attached (architectural features shall include, but not be limited to: pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or tile inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel).

F.E. Minimum Setback Required:

1. Signs Without Permits: As provided in section 4-5-6 of this chapter for signs permitted pursuant to that section.
2. Monument Signs: Three feet from "right of way" and six feet from all other lot lines. All monument signs shall be located outside of the "sight triangles".

G.F. Illumination:

1. Signs Without Permits: Signs permitted pursuant to section 4-5-6 of this chapter shall be illuminated only as permitted in that section.
2. Awning and Canopy Signs: Shall be illuminated using a direct light source. Direct illumination shall be aimed at the exterior of the awning/canopy.
3. Monument Signs: Monument signs shall be backlit, directly lit, or internally illuminated. All letters must be individually affixed. Any direct light source shall be concealed from view from the right of way. The sign area backing shall not be internally illuminated.

4. Wall Signs: Letters shall be individually affixed to walls of a building and be either internally illuminated or backlit.

4-5-12: TEMPORARY SIGNS:

- A. A "temporary sign" is any sign, ~~banner, poster, advertisement, or notice~~ in any nonresidential district that is not designed or intended to be placed permanently, ~~which is placed to advertise or announce an event, occurrence, service, or product.~~
- B. Any owner or tenant desiring to erect or maintain a temporary sign shall submit a temporary sign permit application. An application may only be made by the owner or tenant of the property on which the temporary sign will be erected and maintained. A separate application must be submitted for each temporary sign an owner or tenant desires to erect and maintain. The applicant shall be responsible for the installation, maintenance and removal of a temporary sign pursuant to a permit issued by the village.
- C. No temporary sign shall be erected or maintained without a permit. No temporary sign shall be maintained beyond the date and time set forth in the permit permitting the temporary sign to be erected and maintained.
- D. The permit fee for temporary signs shall be one hundred dollars per application.
- ~~E. Temporary signs must be related to goods, services, and/or events that are sold, provided, and/or occur on the premises. No temporary sign shall carry information conveying the price of any good or service.~~
- ~~F.~~E. Temporary signs shall not exceed thirty-two square feet in area.
- ~~G.~~F. Only one temporary sign shall be allowed for each temporary sign permit application. No applicant may display a temporary sign more than ~~two~~ three times a year. A separate permit application is required for each temporary sign request.
- ~~H.~~G. Temporary signs are limited to a display duration not to exceed ninety calendar days.
- ~~I. Temporary signs advertising goods, services, and/or events that are sold, provided, and/or occur outside of the premises on which the sign is erected and maintained are prohibited.~~
- ~~J.~~H. All temporary signs must remain in good condition throughout the display period. The applicant is responsible for maintaining the temporary sign. Corrective action must be taken immediately by the applicant if there exists any problems or defects with the appearance, condition or maintenance of the sign and/or support hardware. Temporary signs must be constructed of durable, weather resistant materials (canvas, nylon, etc.) with sufficient strength and resilience to maintain an acceptable appearance for the duration of its display and shall be securely affixed on all sides/corners.
- ~~K.~~I. No temporary sign may be located higher than the roofline of the building to which it is attached or, if attached to a permanent sign, higher than the sign. There must be no encroachment of a temporary sign into the public right of way.
- ~~L.~~J. Temporary signs may not block any public signs or public infrastructure and shall be placed not less than eight feet from the nearest edge of a right of way or property line.
- ~~M.~~K. River Forest units of government may install temporary streetlight banners on village owned streetlights. Said banners shall be limited to a display not to exceed one hundred eighty days and the display may be extended for an additional one hundred eighty days with approval of the village. One temporary sign permit application shall be required for each street or parking lot at which the temporary

streetlight banners will be installed. All other temporary sign regulations listed in this section shall apply to temporary streetlight banners.

~~N.—Erecting or maintaining a temporary sign in a manner inconsistent with the provisions of this chapter is unlawful and shall constitute a violation and offense. A separate offense shall be deemed committed for each day any violation of any provision of this chapter shall continue. Liability for the violation or offense shall be with the applicant, should the violation or offense be related to a temporary sign erected and maintained pursuant to a permit issued by the village. Liability for the violation or offense shall be with the owner of the property on which the temporary sign exists, should the violation or offense be related to a temporary sign erected and maintained without a permit issued by the village.~~

~~O.—Violations of this chapter shall be punished as provided in section of this code.~~

4-5-13: NONCONFORMING SIGNS:

A. Maintenance: Legal Nonconforming signs, meaning a sign lawfully erected which has since become nonconforming, may be maintained subject to the following regulations:

1. No nonconforming sign shall be expanded or altered to prolong the life of the sign.
2. No nonconforming sign structure shall be changed to another nonconforming sign structure except that the copy, message or graphic of a nonconforming sign may be changed.
3. The nonstructural component of a multi-tenant sign on which the copy, message or graphic is displayed, such as a plastic or metal panel or insert, may be replaced to accommodate a change in tenant.
4. If the copy, message or graphic of a nonconforming sign cannot be changed without altering a structural component, then such change is not permitted. Structural components include any part of a sign attached directly to the ground or to a building or structure, any part of the supporting structure of a sign without which the sign fails to maintain its structural integrity, and any part of a sign's electrical or lighting equipment.
5. No nonconforming sign shall be relocated in whole or in part unless, when relocated, it conforms to all of the provisions of this chapter.
6. If a nonconforming sign is damaged or destroyed to the extent of fifty percent of its replacement value, the sign must be repaired or replaced in conformance with all provisions of this chapter.

B. Abatement, Abandonment and Discontinuance: If a legal nonconforming sign is discontinued or abandoned for a period of one hundred eighty days, the rights to legal nonconforming status shall have expired and any subsequent use of such a sign shall comply with all regulations of the zoning district in which such a sign is located. The period of such discontinuance caused by government action, acts of God, or other acts without any contributing fault by the user, shall not be included in calculating the length of discontinuance for this section.

~~B.C.~~ Removal: Removal: Illegal nonconforming signs, meaning a nonconforming sign unlawfully erected or maintained, shall be removed.

4-5-14: CONSTRUCTION SIGNS:

A. Construction Sign: Such signs shall not exceed sixty-four (64) square feet in surface area in a commercial district or approved planned development area. The limit for surface area is applicable on each street frontage.

Such signs are permitted as standalone signs or mounted on construction fences in a commercial district, subject to the following:

1. Temporary construction fence wrap signs require approval by the Zoning Administrator. The Zoning Administrator may impose conditions on approval of temporary construction fence wrap signs.
2. ~~Content~~Copy, message, or graphics of a temporary construction fence wrap signs is limited to twenty-five percent (25%) of the surface area of the construction fence. ~~Renderings of the building under construction shall not be included in the area calculation.~~
3. Temporary construction fence wrap signs are limited to a display of the lesser of eighteen (18) months, or such shorter time period as the Zoning Administrator allows, after initial approval by the Zoning Administrator for the sign ("initial display period"). If construction of an applicable building begins within the initial display period, a sign may continue to be displayed for an additional nine (9) months after the expiration of the initial display period. If construction does not commence within the initial display period, the sign shall be removed within seven (7) calendar days after the expiration of the initial display period.
4. The wrap material shall be of a durable, weather resistant material like canvas, nylon, or vinyl coated fabric.
5. Temporary construction fence wrap signs shall not be displayed at the same time as a construction sign, if the construction wrap sign contains any ~~content~~copy, message, or graphics.
6. ~~Construction fence wrap signs may include only the following content:~~
 - a. ~~A rendering, elevation drawing of building, or diagram of the building exterior;~~
 - b. ~~Anticipated project completion date;~~
 - c. ~~The name, address, and telephone number of the owner of the property;~~
 - d. ~~The name and telephone number of the general contractor; and~~
 - e. ~~General information regarding the price and size of units and other similar information.~~

B. Permit Fee: The cost of the permit fee shall be one hundred dollars (\$100.00) per application.

4-5-15: VARIATIONS

A. The Zoning Administrator

1. Up to a one percent (1%) increase in individual sign area limitations for all structural sign types except for wall signs.
2. An increase in the area of a wall sign in excess of the maximum square footage of wall sign area permitted in the district in which the sign shall be located, but less than or equal to five percent (5%) of the wall to which the sign shall be affixed.

B. The Zoning Board of Appeals shall have jurisdiction to hold public hearings and make recommendations to the Village President and Board of Trustees for the following major variations from the requirements of this chapter, pursuant to its powers granted in section 10-5-4 of this code, and following the procedures therein to the extent practicable, and the Village President and Board of Trustees may thereafter approve such major variations, in their discretion:

1. An increase greater than one percent (1%) in individual sign area limitations for all structural sign types with the exception of wall signs.
 2. An in the area of a wall sign in excess of the maximum square footage of wall sign area permitted in the district in which the sign shall be located and in excess of five percent (5%) of the wall to which the sign shall be affixed.
 3. An increase in the total area of all signs permitted on a zoning lot.
- C. A planned development may include relief from any of the requirements of this chapter.

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Summary of Amended Sign Regulations

Type	C1 Zoning District (Section 4-5-8)		C2 & PRI Zoning District (Section 4-5-9)		C3 Zoning District (Section 4-5-10)		ORIC Zoning District (Section 4-5-11)	
Awning/Canopy Sign	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Permitted	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Quantity	Quantity not limited	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Area	Up to 60 sq. ft. per sign face; Individual tenant’s sign can’t cover more than 5% of the wall to which it’s affixed in multi-tenant building	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Height	Same height as the building up to 20’ & at least 8’ above grade	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Setback	Setback not restricted	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Illumination	Can only be illuminated using a direct light source aimed at the exterior of the awning/canopy	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Monument Sign	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Permitted	No change	Permitted	No change	Not permitted	No change	Permitted	No change
Quantity	1 monument or 1 pylon sign per lot	No change	1 monument sign	No change	Not permitted	No change	Same as C2 & PRI	No change
Area	Up to 80 sq. ft. per sign face	No change	Same as C1	No change	Not permitted	No change	Up to 100 sq. ft. per sign face not to exceed 200 sq. ft. total	No change
Height	Up to 10’	No change	Same as C1	No change	Not permitted	No change	Same as C1	No change
Setback	3’ from ROW; 6’ from all other lot lines; outside of the sight triangles	No change	Same as C1	No change	Not permitted	No change	Same as C1	No change
Illumination	Must be backlit, directly lit, or internally illuminated; sign area backing can’t be internally illuminated; all letters must be individually affixed	No change	Same as C1	No change	Not permitted	No change	Same as C1	No change
Projecting Sign	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Not permitted	No change	Not permitted	No change	Not permitted	Permitted	Not permitted	Permitted only as part of a Planned Development
Quantity	Not permitted	No change	Not permitted	No change	Not permitted	1 projecting sign per zoning lot frontage for buildings w/ 1 ground floor tenant or 1 projecting sign per ground floor business tenant fronting the public ROW	Not permitted	Permitted only as part of a Planned Development
Area	Not permitted	No change	Not permitted	No change	Not permitted	Up to 4½ sq. ft. per sign face	Not permitted	Permitted only as part of a Planned Development
Height	Not permitted	No change	Not permitted	No change	Not permitted	Can’t extend above the roofline of the building or up to 12’; Min. of 8’ of clearance between sign & grade	Not permitted	Permitted only as part of a Planned Development
Setback	Not permitted	No change	Not permitted	No change	Not permitted	May project up to 4’ beyond the portion of the building or structure to which it’s attached	Not permitted	Permitted only as part of a Planned Development
Illumination	Not permitted	No change	Not permitted	No Change	Not permitted	May not be illuminated	Not permitted	Permitted only as part of a Planned Development

Type	C1 Zoning District (Section 4-5-8)		C2 & PRI Zoning District (Section 4-5-9)		C3 Zoning District (Section 4-5-10)		ORIC Zoning District (Section 4-5-11)	
Pylon Sign	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Permitted	No Change	Not permitted	No change	Not permitted	No change	Not permitted	No change
Quantity	1 monument sign & 1 “on site directory sign”	1 monument sign or 1 pylon sign	Not permitted	No change	Not permitted	No change	Not permitted	No change
Area	No regulation	Up to 80 sq. ft. per sign face	Not permitted	No change	Not permitted	No change	Not permitted	No change
Height	No regulation	Up to 20’	Not permitted	No change	Not permitted	No change	Not permitted	No change
Setback	No regulation	3’ from ROW, 6’ from all other lot lines & outside of the sight triangles	Not permitted	No change	Not permitted	No change	Not permitted	No change
Illumination	No regulation	Must be internally illuminated	Not permitted	No change	Not permitted	No change	Not permitted	No change
Wall Sign	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Permitted	No change	Permitted	No change	Permitted	No change	Permitted	No change
Quantity	1 per zoning lot frontage for buildings w/ 1 ground floor tenant or 1 per ground floor business tenant fronting the public ROW	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Area	Up to 80 sq. ft. per sign or 5% of the wall, whichever is less; Individual tenant’s sign may not exceed 5% of the proportion of the tenant’s wall area in multi-tenant building	No change	Up to 60 sq. ft. per sign or 5% of the wall, whichever is less; Individual tenant’s sign may not exceed 5% of the proportion of the tenant’s wall area in multi-tenant building	No change	Same as C2 & PRI	No change	Up to 100 sq. ft. per sign or 5% of the wall, whichever is less	No change
Height	Up to 30’; Only allowed on the 1st floor of multi-story buildings; Can’t cover architectural features; Individual tenant wall signs in a multi-tenant building must all be at the same height on the building to which they’re affixed	No change	Same as C1	No change	Same as C1	No change	Up to 30’; Can’t cover architectural features	No change
Setback	Not regulated	No change	Not regulated	No change	Not regulated	No change	Not regulated	No change
Illumination	Must be backlit or internally illuminated; all letters must be individually affixed	No change	Same as C1	No change	Same as C1	No change	Same as C1	No change
Window Sign (not temporary)	Current	Proposed	Current	Proposed	Current	Proposed	Current	Proposed
Status	Not permitted	Permitted	Not permitted	Permitted	Not permitted	Permitted	Not permitted	No change
Quantity	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	No change
Area	Not permitted	Up to 25% of any individual window frame	Not permitted	Same as C1	Not permitted	Same as C1	Not permitted	No change
Height	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	No change
Setback	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	Not regulated	Not permitted	No change
Illumination	Not permitted	May not be illuminated	Not permitted	Same as C1	Not permitted	Same as C1	Not permitted	No change

- Drive through signs are permitted only as part of a Planned Development and their height, setback, location, illumination, and area are all subject to review during the zoning entitlement phase.
- Construction signs, including standalone or fence mounted signs, are permitted in all commercial districts and are limited to 64 sq. ft. per street frontage; temporary fence wrap signs must be approved by the Zoning (Village) Administrator, copy/message/graphics may only cover 25% of the area, and there is a time restriction on wrap signs.