



## MEMORANDUM

**DATE:** December 15, 2017

**TO:** Zoning Board of Appeals

**FROM:** Clifford E. Radatz *CER*  
Building Official

**SUBJECT:** Variation Request – 1431 Monroe Avenue

---

Carla and Mark Tomassini, owners of the property at 1431 Monroe Avenue, have submitted the attached application for variations to the floor area regulations (Section 10-9-5), and the side yard setback regulations (Section 10-9-7) of the Zoning Code. The applicants propose to construct an addition onto the existing home.

Section 10-9-5 of the Zoning Code requires that the floor area ratio not to exceed 0.40. The applicant is requesting to construct a new single family residence with a floor area ratio of 0.486.

Section 10-9-7 of the Zoning Code requires a minimum side yard setback of ten percent of the lot width or five feet, whichever is greater, and the minimum required combined side yard setback to be twenty five percent of the lot width, or ten feet, whichever is greater as measured to the exterior wall of the structure. For the 50 foot wide lot, the minimum required setback at each side is 5'-0", and the combined side yard setback should be a total of 12'-6".

The applicants are requesting variations so that the existing one-story north wall of the building, which maintains a non-conforming side yard setback of 3'-0", may be demolished and replaced with a new two-story wall at the same non-conforming setback.

The proposed addition will have a 5'-0" setback from the south property line, so that the combined side yard setback for the addition will only be 8'-0". Note that the setback of the existing house at the south side of the building is 3.15 feet (slightly less than 3'-2"). The overall combined side yard setback is 6.15 feet, which will be reproduced by the proposed addition.

The setback of roof eaves from the side property line is required to be 3'-0". The proposed roof overhang of 6 inches will result in a setback of 2'-6" to the roof eave at the north side of the addition.

If the Zoning Board wishes to recommend the approval of these variations to the Village Board of Trustees, the following motion should be made: Motion to recommend to the Village Board of Trustees the approval of the variations to Sections 10-9-5 and 10-9-7 of the Zoning Code at 1431 Monroe Avenue.

If you have any questions regarding this application, please do not hesitate to call me.

**APPLICATION FOR ZONING VARIATION**  
**Village of River Forest Zoning Board of Appeals**

Address of Subject Property: 1431 Monroe Avenue River Forest, IL 60305

Applicant: Carla and Mark Tomassini

Name

1431 Monroe Avenue River Forest, IL 60305

Address

312-560-5699

Phone (Daytime)

312-896-5725

Fax

home@cjrmat.com

E-Mail

Owner

Relationship of Applicant to Property (owner, contract purchaser, legal counsel, etc.)

Architect/Contractor: Kim Smith

Name

811 North East Avenue Oak Park, IL 60302

Address

773-934-9124

Phone (Daytime)

Fax

ksmith@smith-arch.com

E-Mail

Date of Application: 10/25/2017

**Application requirements:** Attached you will find an outline of the other application requirements. Please read the attached carefully, the applicant will be responsible for submitting all of the required information.

Also attached for your information are the Zoning Board of Appeals "Rules of Procedure" for their public hearings.

**Application Deadline:** A complete variation application must be submitted no later than the 15<sup>th</sup> day of the month in order to be heard by the Zoning Board of Appeals in the following month. The Zoning Board of Appeals meets on the second Thursday of each month.

**SIGNATURES:**

The undersigned hereby represent for the purpose of inducing the Village of River Forest to take the action herein requested, that all statements herein and on all related attachments are true and that all work herein mentioned will be done in accordance with the ordinances of the Village of River Forest and the laws of the State of Illinois.

Owner: Mark A. Tomassini Date: 11/5/2017

Applicant (if other than Owner): \_\_\_\_\_ Date: \_\_\_\_\_

**Application Fee:** A non-refundable fee of **\$650.00** must accompany every application for variation. Checks should be made out to the Village of River Forest.

## APPLICATION FOR ZONING VARIATION

Address of Subject Property: 1431 Monroe Avenue Date of Application: 10/25/2017

## Summary of Requested Variation(s):

<b>Applicable Code Section (Title, Chapter, Section)</b> <i>Example:</i> 10-8-5, lot coverage	<b>Code Requirement(s)</b> <i>Example:</i> no more than 30% of a lot	<b>Proposed Variation(s)</b> <i>Example:</i> 33.8% of the lot (detailed calculations on a separate sheet are required)
10-8-5, Floor Area Ratio	0.4 of Lot Area (3,763 s.f.)	0.486 of Lot Area (4,570 s.f.)
10-8-7-C-1 Side Yard Setback	ten percent of the lot width or five feet, whichever is greater, ... 5'-0"	3'-0"
10-8-7-C-2-a Side Yard Setback, roof eave	The eaves of a structure shall be required to maintain a minimum three foot side yard setback.	2'-6"
10-8-7-C-1 Combined Side Yard Setback	the minimum required combined side yard setback shall be twenty five percent of the lot width, or ten feet, whichever is greater as measured to the exterior wall of the structure. 12'-6"	8'-0"

THE APPLICANT IS REQUIRED TO SUBMIT DETAILED LONG HAND CALCULATIONS AND MEASUREMENTS FOR ALL APPLICABLE ZONING PROVISIONS. APPLICATIONS WILL NOT BE CONSIDERED COMPLETE WITHOUT THESE CALCULATIONS AND MEASUREMENTS.

**Zoning Application  
Tomassini Residence  
1431 Monroe Avenue**

**Description of the Project**

The home improvement project includes enhancing the living space without having a significant impact on the house's original footprint. The current plans remain below the allow site coverage by approximately 500 feet or 5%. We would like to avoid changing the footprint of the house and garage due to flooding concerns in the area and specifically the pooling of water in our backyard (See attached pictures).

We have lived in the house since moving to River Forest in 2004. We plan on remaining in the house after the improvements are completed. We believe that our renovation will positively increase the value of the area.

There has been significant flooding in the area in recent years. In May 2013, there was an exchange relating to significant backyard flooding of the 1400 block of Monroe and William. E-mail messages were exchanged with Phil Cotter at the Village, E-mail message string attached. There is a significant accumulation of rainwater due to the building of patios and higher grading in the backyards on the block has led to that does not allow the nature drainage on the block. This limitation is the basis of our decision that has limited the design options.

The 1400 blocks of Monroe and William are low points in River Forest. Please note pages 21-23 on the attached presentation from the Village's Proposed Sewer Improvement Project dated April 29, 2013.

We have also attached letters of approval from our immediate neighbors:

1. North neighbor – 1435 Monroe (Shelstad family)
2. South neighbor – 1427 Monroe (Drury family)

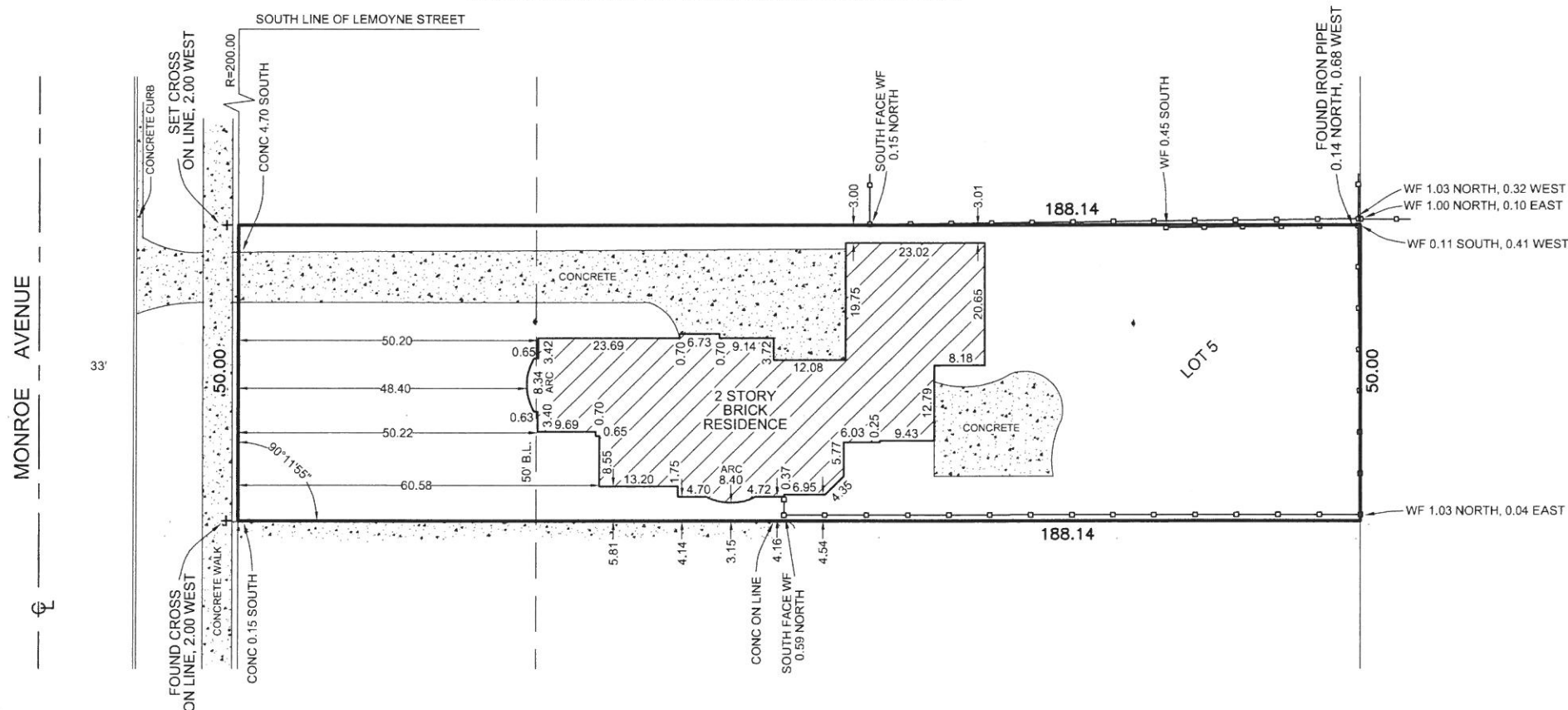




909 EAST 31ST STREET  
LA GRANGE PARK, ILLINOIS 60526  
SCHOMIG-SURVEY@SBCGLOBAL.NET  
WWW.LAND-SURVEY-NOW.COM  
PHONE: 708-352-1452  
FAX: 708-352-1454

LOT 5 IN BLOCK 5 IN O. C. BRAESE'S SUBDIVISION OF THE EAST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12. EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMON ADDRESS: 1431 MONROE AVENUE, RIVER FOREST.



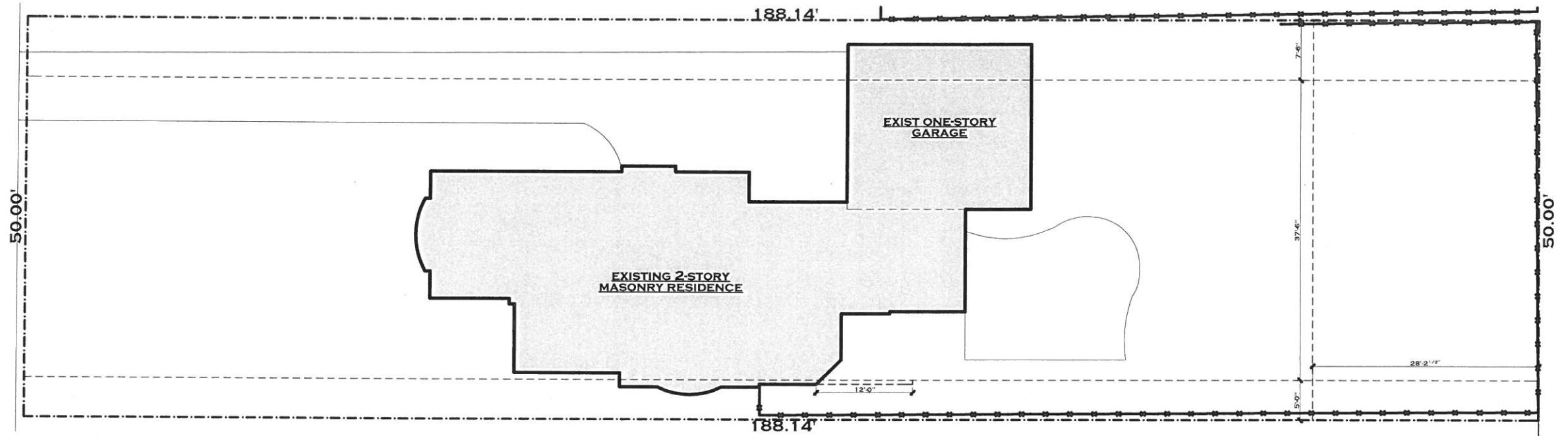
SCALE: 1" = 20'

LEGEND

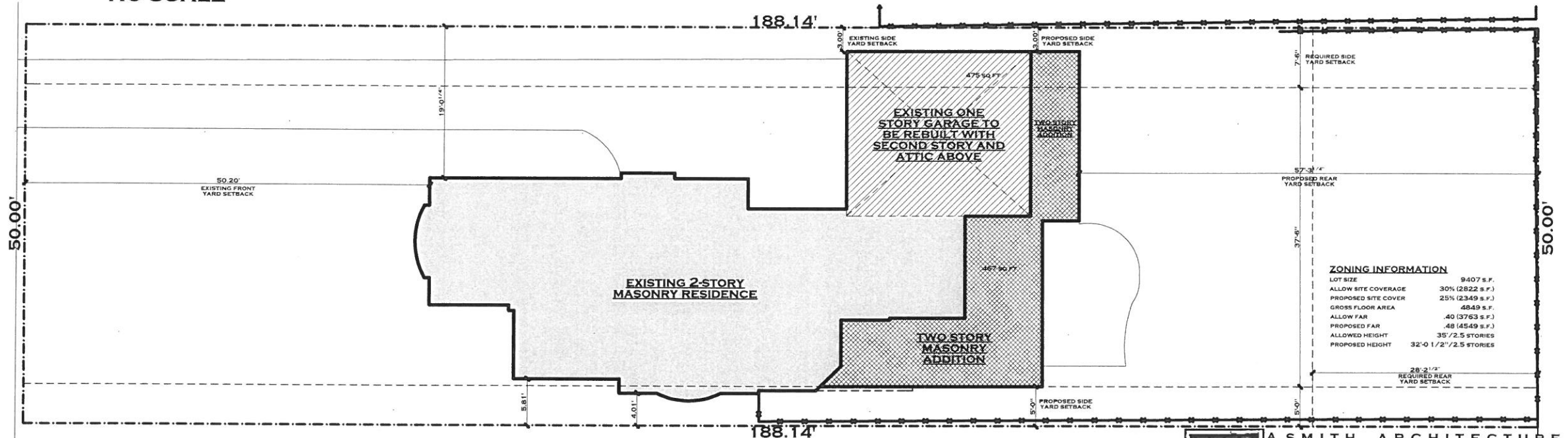
- M. = MEASURED DIMENSION  
R. = RECORDED DIMENSION  
B.L. = BUILDING LINE  
P.U.E. = PUBLIC UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT  
C. = CENTER LINE  
W.F. = WOOD FENCE —○—○—○—  
C.L.F. = CHAIN LINK FENCE —○—○—○—  
I.F. = IRON FENCE —X—X—X—  
V.F. = VINYL FENCE —●—●—●—



BY: Russell W. Schomig  
PROFESSIONAL ILLINOIS LAND SURVEYOR LICENSE # 035-002446



**EXISTING SITE PLAN  
NO SCALE**



**ZONING INFORMATION**

LOT SIZE	9407 S.F.
ALLOW SITE COVERAGE	30% (2822 S.F.)
PROPOSED SITE COVER	25% (2349 S.F.)
GROSS FLOOR AREA	4849 S.F.
ALLOW FAR	.40 (3763 S.F.)
PROPOSED FAR	.48 (4549 S.F.)
ALLOWED HEIGHT	35' / 2.5 STORIES
PROPOSED HEIGHT	32'-0 1/2" / 2.5 STORIES

**PROPOSED SITE PLAN  
NO SCALE**

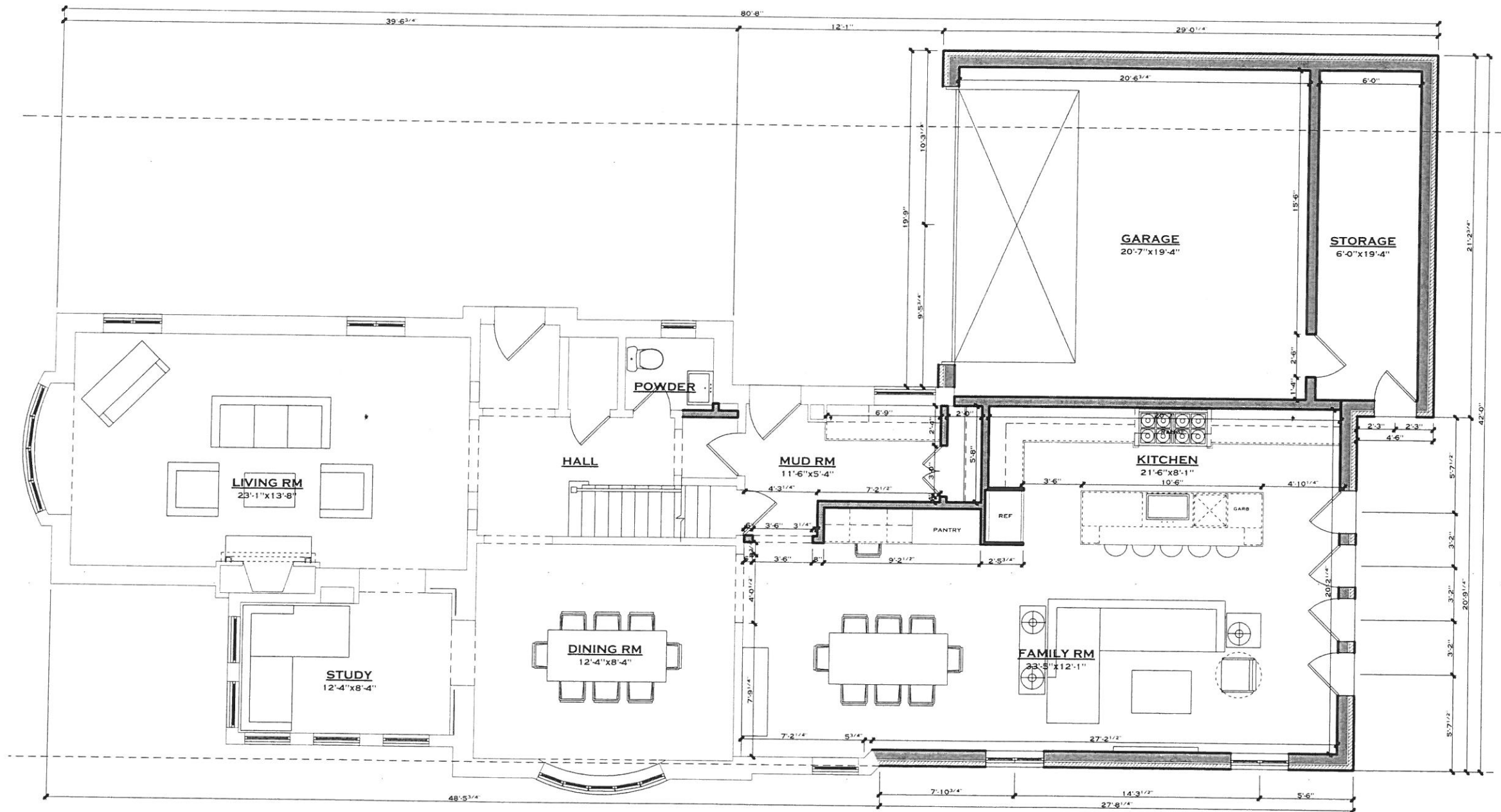
**TOMASSINI RESIDENCE  
1431 MONROE  
RIVER FOREST, IL 60305**



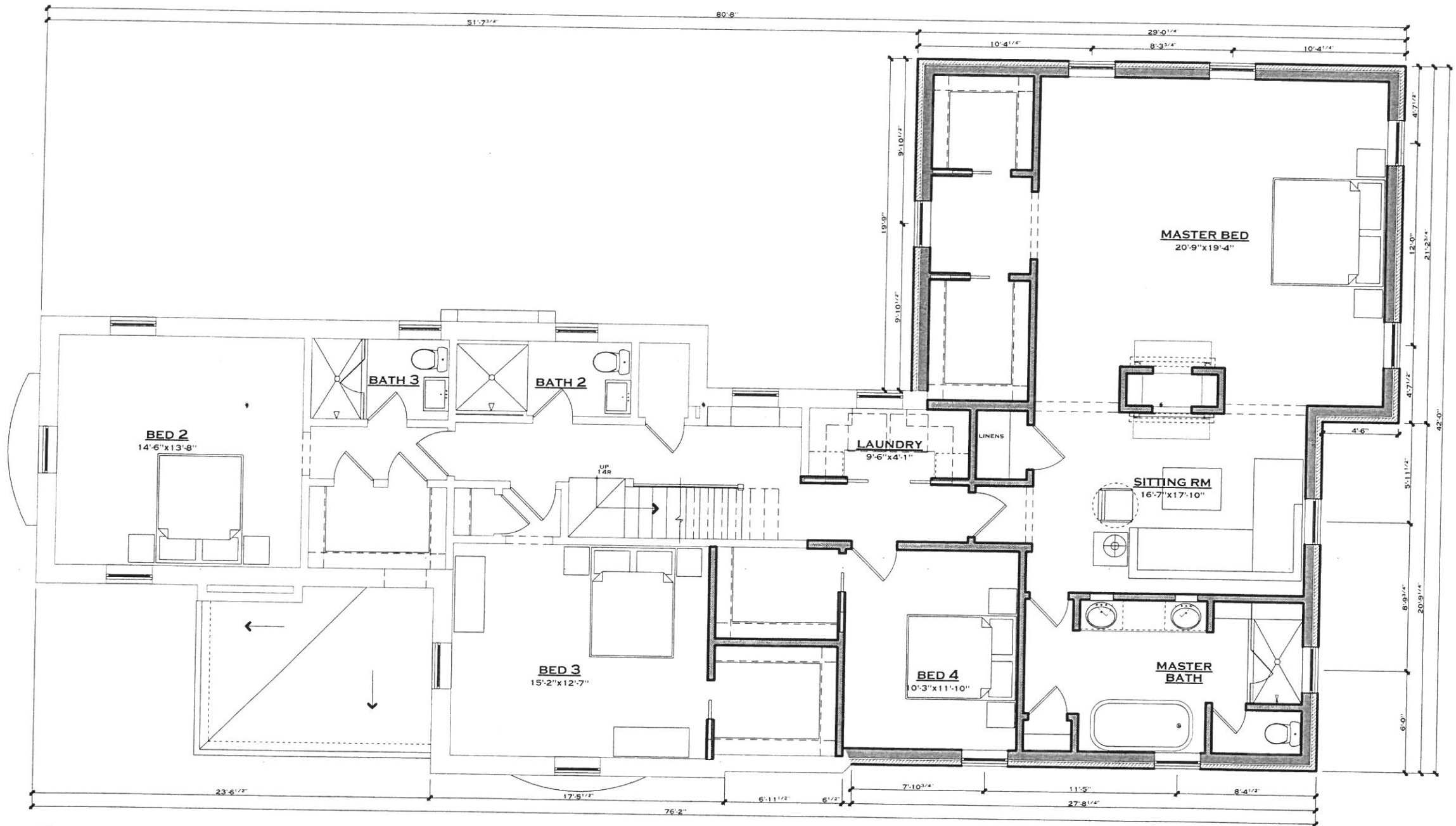
**A SMITH ARCHITECTURE**  
 ARCHITECTURE ADDITION  
 HISTORIC PRESERVATION NEW CONSTRUCTION  
 RENOVATION GRAPHIC DESIGN

**S M I T H**  
 811 NORTH EAST AVENUE. 773.934.9124  
 OAK PARK, IL 60302  
 KSMITH@SMITHARCH.COM





**A SMITH ARCHITECTURE**  
 ARCHITECTURE HISTORIC PRESERVATION RENOVATION  
 R ADDITION NEW CONSTRUCTION GRAPHIC DESIGN  
 C  
 811 NORTH EAST AVENUE, OAK PARK, IL 60302  
 773.934.9124 KSMITH@SMITH-ARCH.COM  
 S M I T H



## 2ND FLR PLAN D

3/16" = 1'-0"

2204 S.F.

TOMASSINI RESIDENCE  
1431 MONROE  
RIVER FOREST, IL 60305

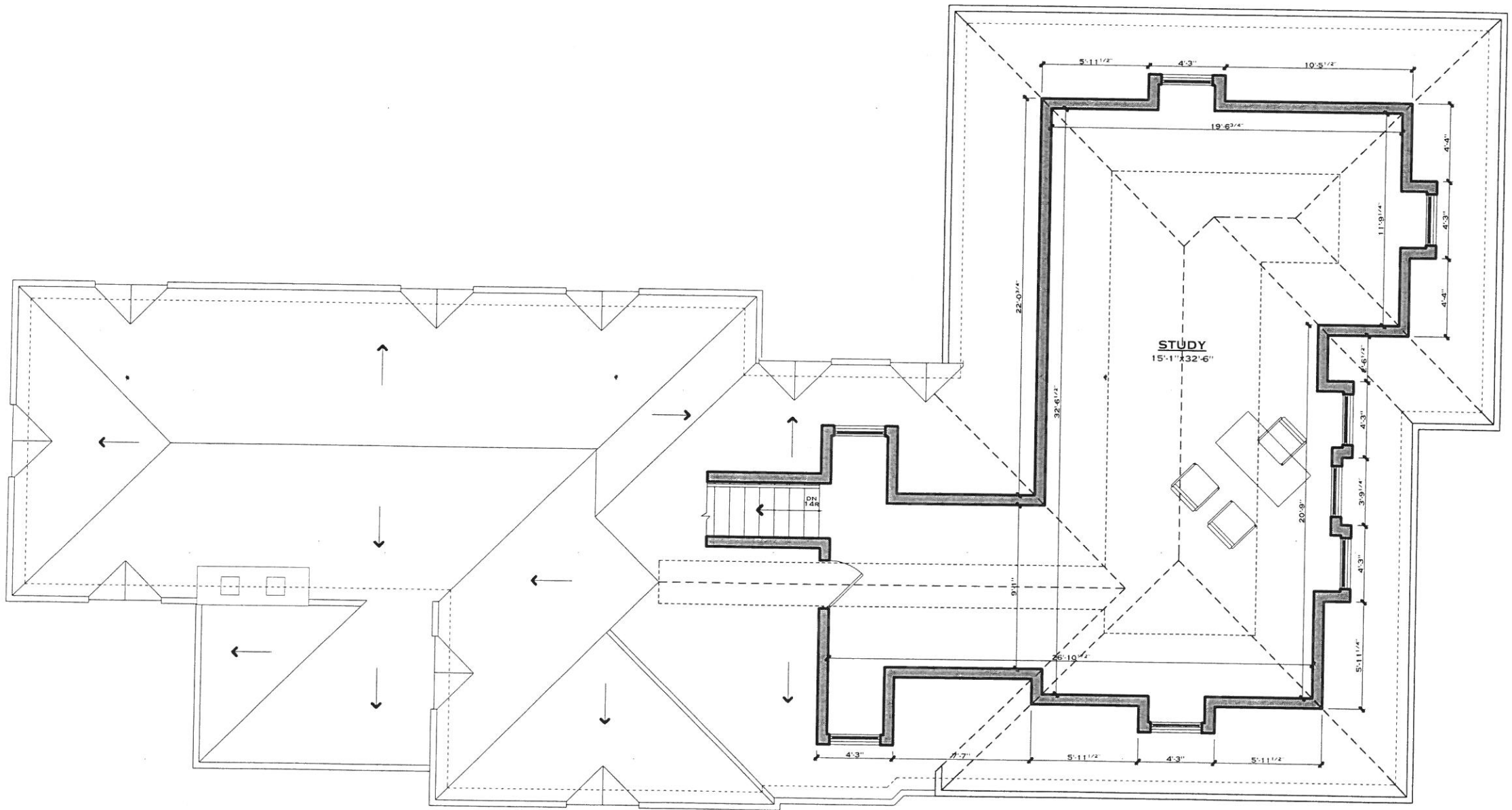


A  
R  
C  
H  
I  
T  
E  
C  
T  
S  
S  
M  
I  
T  
H

**A SMITH ARCHITECTURE**  
ARCHITECTURE  
ADDITION  
HISTORIC PRESERVATION  
NEW CONSTRUCTION  
RENOVATION  
GRAPHIC DESIGN

811 NORTH EAST AVENUE,  
773.934.9124

OAK PARK, IL 60302  
KSMITH@SMITH-ARCH.COM



# 3RD FLR PLAN D

3/16" = 1'-0"

296 S.F. AT 7' OR HIGHER

TOMASSINI RESIDENCE  
1431 MONROE  
RIVER FOREST, IL 60305



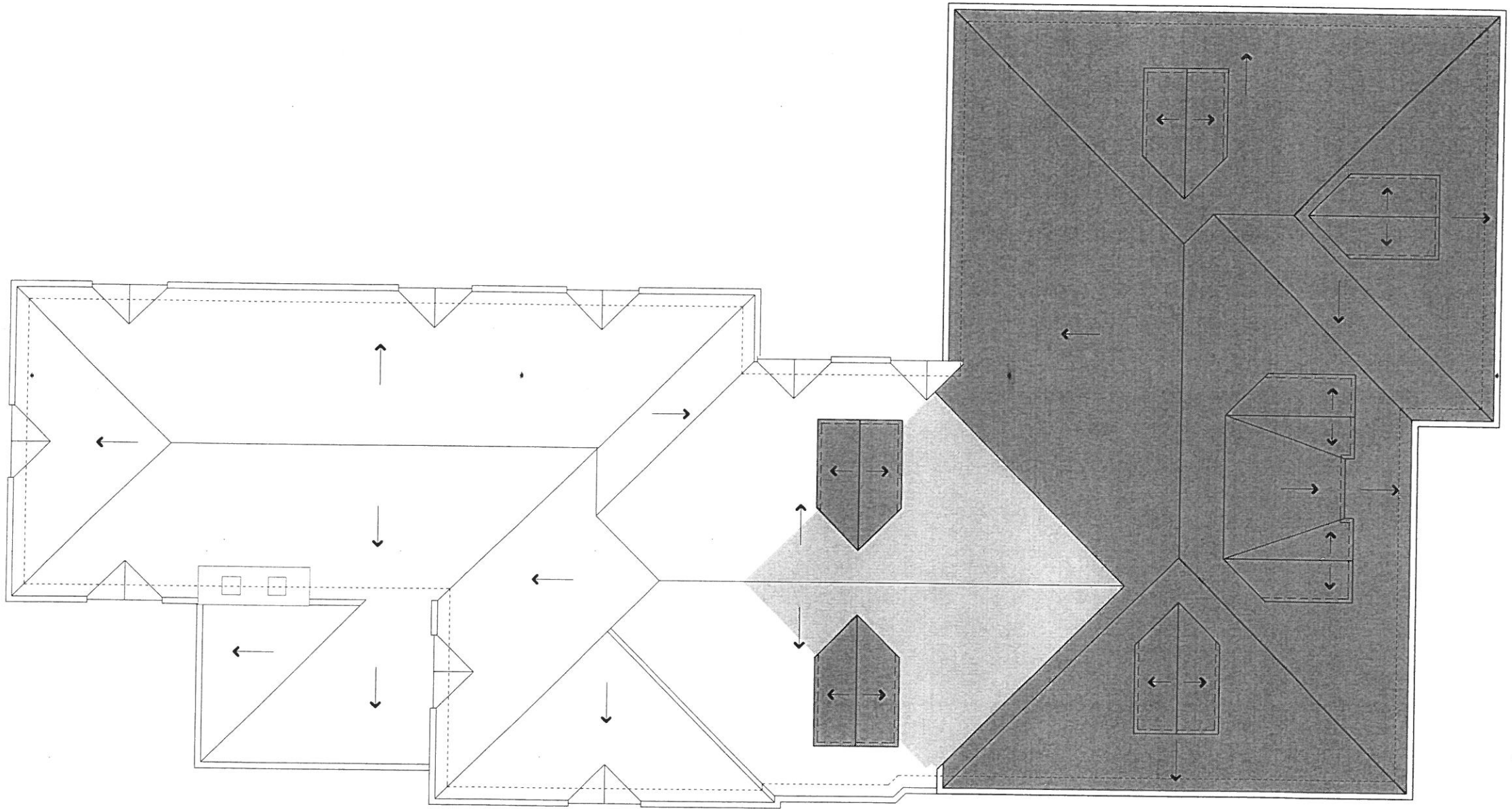
S M I T H

A S M I T H A R C H I T E C T U R E  
R A R C H I T E C T U R E  
C A D D I T I O N H I S T O R I C P R E S E R V A T I O N R E N O V A T I O N  
G R A P H I C D E S I G N

811 NORTH EAST AVENUE  
773.934.9124

OAK PARK, IL 60302  
KSMITH@SMITH-ARCH.COM

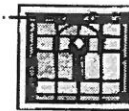




ROOF PLAN D

3/16" = 1'-0"

TOMASSINI RESIDENCE  
1431 MONROE  
RIVER FOREST, IL 60305



S M I T H

SMITH ARCHITECTURE  
ARCHITECTURE ADDITION  
HISTORIC PRESERVATION  
NEW CONSTRUCTION  
RENOVATION  
GRAPHIC DESIGN

811 NORTH EAST AVENUE, OAK PARK, IL 60302  
773.934.9124 KSMITH@SMITH-ARCH.COM



**WEST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"

**TOMASSINI RESIDENCE**  
1431 MONROE  
RIVER FOREST, IL 60305



**A S M I T H A R C H I T E C T U R E**  
ARCHITECTURE  
R ADDITION  
C HISTORIC PRESERVATION  
NEW CONSTRUCTION  
RENOVATION  
GRAPHIC DESIGN  
811 NORTH EAST AVENUE.  
773.934.9124  
OAK PARK, IL 60302  
KSMITH@SMITH-ARCH.COM





**NORTH ELEVATION**  
1/8"=1'-0"



**EAST ELEVATION**  
1/8"=1'-0"

**TOMASSINI RESIDENCE**  
**1431 MONROE**  
**RIVER FOREST, IL 60305**



**A S M I T H A R C H I T E C T U R E**  
ARCHITECTURE ADDITION HISTORIC PRESERVATION NEW CONSTRUCTION RENOVATION GRAPHIC DESIGN  
811 NORTH EAST AVENUE, OAK PARK, IL 60302  
773.934.9124 KSMITH@SMITH-ARCH.COM

# Zoning Review Checklist

Address: 1431 Monroe Avenue

Date of Review: 11/7/2017

Date of Submission: 11/6/2017

Contact:

Telephone #:

Zoning District:

R2

**Use:**

Addition to a Single Family Residence

**Permitted Use**

**Lot Area**

Lot Width

Lot Depth

Lot Area

50.00

188.14

9407.00

**Lot Coverage**

30% allowed for the R2 District

Allowed

Existing

Proposed

2822.10

1873.39

2300.22



19.91%

24.45%

**Floor Area Ratio**

40% allowed for the R2 District

Allowed

Existing

Proposed

3762.80

2988.37

4570.03



31.77%

48.58%

**Setbacks**

**Frontyard**

**West**

Required

Existing

Proposed

Average of block, see 10-8-7 A

48.4000

Eave Length

0.0000

**No Change**

Setback to Eave

0.0000

48.4000

0.0000



Proposed setback  
at addition

**Sidyard**

**North**

NC SYSB

10% of Lot Width for the R2 District

5.0000

3.0000

3.0000



Eave Length

0.5000

0.5000

Setback to Eave

3.0000

2.5000

2.5000



**Sidyard**

**South**

10% of Lot Width for the R2 District

5.0000

3.1500

5.0000



Eave Length

0.0000

0.5000

Setback to Eave

3.0000

3.1500

4.5000



**Combined Sidyard**

25% of Lot Width for the R2 District

12.5000

6.1500

8.0000



**Rearyard**

**East**

15% of Lot Depth or 26'-2" minimum

63.2800

57.2700

Eave Length

0.5000

0.5000

Setback to Eave

28.2210

62.7800

56.7700



Addition

## Zoning Review Checklist

### Building Height Ridge

Height above grade in feet

Allowed

35'

Existing

31'

Proposed Ht.  
at addition

34'



Story Height

2.5

2

2.5



### Off-Street Parking

Garage spaces

Required

2

Existing

2

Existing +  
Proposed

2



Addition

**1431 Monroe Avenue****11/7/2017**

## Area Calculations

Lot Area	50.0000	188.1400	<b>9407.0000</b>
Allowed Coverage	0.3000		<b>2822.1000</b>
Allowed FAR	0.4000		<b>3762.8000</b>

**Lot Coverage - Existing**

First Floor Area	Existing	1873.3908
	Total	<b>1873.3908</b>

**Lot Coverage - New**

First Floor Area	Proposed	2300.2173
	Total	<b>2300.2173</b>

**Floor Area - Existing**

Floor Area - existing	1st floor	1873.3908
	2nd floor	1264.9743
	Attic	0.0000

garage allowance (up to 500 s.f)	-150.0000
	<b>2988.3651</b>

**Floor Area - Proposed**

Floor Area - Proposed	1st floor	2300.2173
	2nd floor	2146.6242
	Attic	273.1875

garage allowance	-150.0000
	<b>4570.0291</b>

House - 1st floor - **Existing**

round bay	A			6.7525
	B	0.6400	8.5300	5.4592
	C	9.6900	15.3500	148.7415
	D	0.6500	16.5000	10.7250
	E	13.2000	25.0500	330.6600
	F	6.7300	0.7000	4.7110
	G	16.0200	26.4300	423.4086
	H	11.4600	22.7100	260.2566
-0.5	"-H"	3.1100	3.0400	-4.7272
	J	0.6200	13.9000	8.6180
	K	5.4100	33.6500	182.0465
	L	9.4300	33.4400	315.3392
	M	8.1800	20.6500	168.9170
	N	18.0400	0.3700	6.6748
round bay	O			5.8081
				<b>1873.3908</b>

House - 1st floor - **Proposed****Existing to remain**

round bay	A			6.7525
	B	0.6400	8.5300	5.4592
	C	9.6900	15.3500	148.7415
	D	0.6500	16.5000	10.7250
	E	13.2000	25.0500	330.6600
	F	6.7300	0.7000	4.7110
	G	16.0200	26.4300	423.4086
	"H1"	8.3500	22.7100	189.6285
	"H2"	0.5667	22.4800	12.7394
	N	18.0400	0.3700	6.6748
round bay	O			5.8081

**New Construction**

p	29.0208	19.7500	573.1608
q	4.5000	1.4792	6.6564
r	27.6875	20.7708	575.0915
			<b>2300.2173</b>

House - 2nd floor - **Existing**

C'	10.6900	15.3500	164.0915
D'	4.0000	16.5000	66.0000
E'	8.8500	15.3500	135.8475
G	16.0200	26.4300	423.4086
H	11.4600	22.7100	260.2566
"-H"	3.1100	3.0400	9.4544
J	0.6200	13.0400	8.0848
K	5.4100	13.0400	70.5464
L	9.4300	12.7900	120.6097
N	18.0400	0.3700	6.6748
			<b>1264.9743</b>

House - 2nd floor - **Proposed**  
**Existing to remain**

C'	10.6900	15.3500	164.0915
D'	4.0000	16.5000	66.0000
E'	8.8500	15.3500	135.8475
G	16.0200	26.4300	423.4086
"H1"	8.3500	22.7100	189.6285
"H2"	0.5667	22.4800	12.7394

**New Construction**

p	29.0208	19.7500	573.1608
q	4.5000	1.4792	6.6564
r	27.6875	20.7708	575.0915
			<b>2146.6242</b>

House - Attic half story - **Existing to remain****0.0000**House - Attic half story - **Proposed**

x	2.2500	24.0000	54.0000
y	24.8750	8.0000	199.0000
z	4.7500	4.2500	20.1875
			<b>273.1875</b>

## **STANDARDS FOR MAJOR VARIATIONS (SECTION 10-5-4F)**

**A major variation shall be recommended by the Zoning Board of Appeals only if it makes findings, based upon the evidence presented to it, that each of the following standards has been met:**

1. The physical surroundings, shape or typographical conditions of the specific property involved with bring a specific hardship upon the owner as distinguished from an inconvenience if the strict letter of the regulations were to be carried out;

**The area is an extremely low area in Village. There is frequent localized flooding of the streets and backyards due to significant pooling of water. Based on these conditions, there are limited options to improve the living space for this single family home. The structure will remain a single family home.**

**The overall site coverage is below the allowed site coverage by approximately 5% or 500 square feet.**

**The house was built in 1940. The neighboring homes were built in the 1950's. The setback has not changed since the house and neighboring houses were built. The proposed design will not alter the current setback. The variation allows the home to remain as it was originally built.**

**Please note that we are attempting to not change the overall footprint while not relocating the garage to an area that is subject to flooding. We do not want to add grading issues that will affect neighboring properties and cause additional flooding.**

2. The aforesaid unique physical condition did not result from an action of any person having an interest in the property, but was created by natural forces or was the result or was the result of governmental action, other than the adoption of this Zoning Ordinance, for which no compensation was paid;

**The party with interest in the property has not altered the physical condition of the property. The condition is a result of the natural topography as well as the build-up of backyard patios and elevated grading by other residents on the block. The elevated patios were allowed due to the lack of Village ordinances at the time of the construction. The grading was completed over time by the other residents.**

**At the current time, each residents' yards are unable to drain onto the north side of the block (Le Moyne Parkway) using the natural crown of the lots.**

3. The conditions upon which the petition for variation is based may not be applicable generally to other property within the same zoning classification;

**Many of the homes have been built well after 1431 Monroe. There doesn't appear to be any other local homes with the need for the setback variance. We are also at one of the lowest points on the block. There is no plan to alter the backyard and will allow the pooling to continue.**

4. The purpose of the variation is not based predominantly upon a desire for economic gain;

**We purchased and originally remodeled the house in 2004. We have no plans of moving from River Forest. We plan on using this house as our residence for the long-term future.**

## **STANDARDS FOR MAJOR VARIATIONS (SECTION 10-5-4F)**

**A major variation shall be recommended by the Zoning Board of Appeals only if it makes findings, based upon the evidence presented to it, that each of the following standards has been met:**

5. The granting of the variation shall not be detrimental to the public welfare or unduly injurious to the enjoyment, use, or development value of other property or improvements in the neighborhood in which the property is located;

**There will be no detrimental impact to public welfare or cause any harm to the development or improvement of neighboring homes. The improvement is strictly residential in nature. It remains consistent with the neighborhood and current and future use. It does not cause any incompatibility issues with the neighboring properties.**

6. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood;

**There will be no impairment to light or air to adjacent properties or endangerment of public safety. Light and air will not be limited since this is an improvement and above an existing space. Sun exposure from the south and west will not change. There is no change to the existing roofline affecting those exposure points for the neighbor to the north with the sun's movement throughout the day. The improvements will be accretive to neighboring properties. The property will remain a personal residence.**

7. That the granting of the variation would not unduly tax public utilities and facilities in the area;

**The variation will not tax local public utilities and facilities. The home will remain a person residence moving forward. The number of residents will not change in the household. It remains a single family home. There will not be any additional need for the property.**

**Please note that the improvements will be outfitted with more efficient light and plumbing fixtures and electrical appliances that will reduce the overall power consumption of the house.**

8. That there is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject property.

**Due to the flooding conditions and the preexisting setback condition, there are no feasible remedies. This is the purpose for the variation request.**



**Tomassini Residence - Backyard Water Pooling**



**1431 Monroe**





1435 Monroe



1443 Monroe

Village of River Forest  
Zoning Board and Permit Applications  
400 Park Ave.  
River Forest, IL 60305

Nov. 7, 2017

Re: Tomassini home addition

Dear Members,

My wife and I have discussed the project the Tomassini's are contemplating and have no concerns or objections. Mark and Carla Tomassini are our immediate neighbors to the south. Their plans for the renovation and addition to their property appear thoughtful and attractive.

Additionally, I will note their expressed mutual unhappiness about the chronic flooding both our back yards experience and the potential benefit of the project.

Please feel free to contact me if you have questions of any kind.

Sincerely,

Mark & Judy Shelstad  
1435 Monroe Ave.

708-772-7774



Mark A. Tomassini <mtomassini@cjrm.com>

---

**RE: Zoning Application**

1 message

---

**Drury, John** <JDrury@seyfarth.com>

Wed, Nov 8, 2017 at 3:53 PM

To: "Carla J. Racanelli" <carla@cjrm.com>, Jill Drury <jmdrurypharmd@gmail.com>

Cc: "mt@cjrm.com" <mt@cjrm.com>

Hi Carla,

We have no objection based on the plans and what we discussed.

Thanks,

John

**John Drury** | Senior Counsel | Seyfarth Shaw LLP  
233 S. Wacker Drive | Suite 8000 | Chicago, Illinois 60606-6448  
Direct: +1-312-460-5623  
jdrury@seyfarth.com | www.seyfarth.com

SEYFARTH  
SHAW



Mark A. Tomassini &lt;mtomassini@cjrmat.com&gt;

---

**RE: 1447 Monroe - Dam**

1 message

---

**Jeff Loster** <jloster@vrf.us>

Thu, May 16, 2013 at 4:19 PM

To: "Mark A. Tomassini" &lt;mtomassini@cjrmat.com&gt;

Cc: "phcarlson@comcast.net" &lt;phcarlson@comcast.net&gt;, Mark Shelstad &lt;mshelstad@comcast.net&gt;, Mark Shelstad &lt;judy.s2@comcast.net&gt;, "Racanelli, Carla" &lt;carla@cjrmat.com&gt;, Phil Cotter &lt;pcotter@vrf.us&gt;

The curb and patio are separate items. The patio appears to have been somewhat of a recent development. I investigated the area elevations relative to the patio and came to the determination that the installation of the patio does not appear to be a code violation. My reasoning was explained in a previous email – to save everyone some time I will not repeat myself.

The curb is a different issue. It appears to be an existing condition that has been present for a significant amount of time. While it was obviously installed to create a change in elevation, I cannot state that it was a code violation because it would have had to violate the ordinance that was *existing at the time the curb was installed*. Since there was no grading ordinance enacted prior to the current one (effective beginning last year) it is unlikely that this curb would have been in violation. Existing conditions such as this one do, on occasion, contribute to problems as time goes on however, we do not have the means to retroactively apply our current ordinance to projects completed under previous ordinances.

**Jeff Loster, PE, CFM, CPESC**

Village Engineer

Village of River Forest

400 Park Avenue

River Forest, IL 60305

P: 708.714.3551

F: 708.366.3702

jloster@vrf.us

**From:** Mark A. Tomassini [mailto:mtomassini@cjrmat.com]**Sent:** Thursday, May 16, 2013 3:10 PM**To:** Jeff Loster**Cc:** phcarlson@comcast.net; Mark Shelstad; Mark Shelstad; Racanelli, Carla; Phil Cotter**Subject:** Re: 1447 Monroe - Dam

Jeff,

Why is the patio elevation and curb not a violation? It does not allow for the free flow of water to the street. This is the overall plan for the entire village.

Thank you,

Mark

On Thu, May 16, 2013 at 3:06 PM, Jeff Loster <jloster@vrf.us> wrote:

I agree that there is no way for the water to flow out to LeMoyne Pkwy. Unfortunately, there is also no way for the water to drain out to Monroe Ave or William St. Since the connection of a yard drain to the combined sewer system is not an option, the best approach that can be taken at this point is to try to minimize the runoff that is currently directed into this area and to try to better manage the water that does make it there. These include the following:

- The amount of water can be minimized by removing any sump pump or downspouts that currently drain to the backyard. Removal of these point discharges (especially any sump pumps) would greatly reduce the amount of water that is conveyed to the low spot.
- Rain barrels could be installed at any downspout that drains to the rear yards. A typical rain barrel holds 55 gallons when full. If every household in the area had just one of these, the amount of runoff conveyed to the low area would be reduced by hundreds of gallons.
- Any landscaped areas could be converted to depressional rain gardens and planted with native vegetation. The subtle "depression" that is characteristic of rain gardens would help keep portions of the runoff away from the more severely inundated areas. This would make the worst areas slightly more manageable in every rain event and may even *prevent* significant ponding in other rain events. The native vegetation would be better suited to help draw down some of the standing water after a rain event which would lead to shorter periods of inundation. The stone base beneath the rain garden would also be able to provide additional water storage that isn't currently available on-site.
- Any number of underground rainwater harvesting systems could be installed throughout the tributary area. This includes everything from a buried cistern to a modular system that can be aesthetically enhanced with a water feature. Systems like this would help trap the water that would help reduce the ponding and could then be re-used for irrigation whenever it is needed.
- Changes to any future work within the tributary area should be considered if they could help minimize runoff. This includes anything from reducing project footprints to installing permeable products instead of impervious ones.

Also worth noting is the fact that the conceptual storm sewer project that the Village is currently considering proposes (among other things) that a storm sewer be installed along your street. The presence of a storm sewer in this area would likely reduce some of the runoff that enters the low area behind your homes and may even be able to accommodate a connection from a rear-yard drain.

I hope these ideas help. Let me know if there are any of them that you would like to discuss in greater detail and I would be happy to do so.

Jeff Loster, PE, CFM, CPESC

Village Engineer

Village of River Forest

400 Park Avenue

River Forest, IL 60305

P: 708.714.3551

F: 708.366.3702

jloster@vrf.us

**From:** Mark A. Tomassini [mailto:mtomassini@cjrmat.com]

**Sent:** Friday, May 10, 2013 1:57 PM

**To:** Jeff Loster

**Cc:** phcarlson@comcast.net; Mark Shelstad; Mark Shelstad; Racanelli, Carla; Phil Cotter

**Subject:** Re: 1447 Monroe - Dam

Jeff,

There is no ability for the water to naturally flow onto LeMoyne. This is the main problem.

What can be done?

Thank you,

Mark

On Fri, May 10, 2013 at 1:30 PM, Jeff Loster <jloster@vrf.us> wrote:

I am sorry you believe I have missed the point. I can assure you all that I have thoroughly reviewed the pictures sent to me and visited the site to see the situation with my own eyes. After my site visit I was able to orient each of the pictures you provided and am aware of each location shown, relative to the area. While I agree that the grading in the area around the patio is preventing water from flowing north I am unable to conclude that this is directly related to the installation of the patio. My reasoning is as follows:

-The water in the pictures that were sent to me is at the top of the timber "retaining wall". It was indicated to me that the water is approximately 18 inches deep in this condition. Based on my site visit, there is an elevation difference of about 6-8 inches from the top of the timber retaining wall to the top of the patio. If the patio were the sole cause of the ponding, it would have to have been installed approximately 2 feet higher than the original grade in this area (which adequately allowed drainage to LeMoyne). Given the vegetation around the patio (which again, appears to have been present longer than the patio itself) and the fact that the patio is *directly adjacent* to the

residence, raising the grade 2 feet is not practical. Typically there is not 2 feet of exposed foundation wall along the perimeter of a residence that would allow that high of a grade change. Also, raising grades on the magnitude of 2 feet would likely have killed the vegetation in this area.

Other points worth noting:

-I completely agree that the grades increase in elevation as you approach the patio from the south. I also agree that this prevents water from migrating northward. That being said, it does not appear that this is a direct result of the installation of the patio. Rather it would seem to be a function of existing grade changes that appear to have been present for a significant amount of time.

-It should be noted that most, if not all of your properties are sloped towards the backyards (hence the accumulated water). This would indicate that all the properties in this area are contributing significant amounts of runoff to the low area. Any sump pump and/or downspout discharge lines that drain into this area are also contributing to the problem.

While I understand that this situation can be very frustrating to deal with as a homeowner, I do not have adequate information to conclude that it is caused by the installation of the patio at the 1447 Monroe property. I would be happy to meet with any of you on-site at some point next week to discuss the matter in person and review potential solutions that may help alleviate the problems. Please let me know if this is something you would be interested in.

**Jeff Loster, PE, CFM, CPESC**

Village Engineer

Village of River Forest

400 Park Avenue

River Forest, IL 60305

P: 708.714.3551

F: 708.366.3702

jloster@vrf.us

---

**From:** phcarlson@comcast.net [mailto:phcarlson@comcast.net]

**Sent:** Tuesday, May 07, 2013 1:29 PM

**To:** Mark A. Tomassini



11/27/2017

Mail - RE: 1447 Monroe - Dam

**Cc:** Racanelli, Carla; Phil Cotter; Mark Shelstad; Mark Shelstad; Jeff Loster  
**Subject:** Re: 1447 Monroe - Dam

Well said, Mark. He is totally missing the point. Probably because he has not actually seen it in person. Also, we did not have this problem until after the new patio was installed approximately 4-5 years ago.

Debbie Carlson

---

**From:** "Mark A. Tomassini" <mtomassini@cjrmat.com>  
**To:** "Jeff Loster" <jloster@vrf.us>  
**Cc:** "Racanelli, Carla" <carla@cjrmat.com>, "Carlson Family" <phcarlson@comcast.net>, "Phil Cotter" <pcotter@vrf.us>, "Mark Shelstad" <mshelstad@comcast.net>, "Mark Shelstad" <judy.s2@comcast.net>  
**Sent:** Tuesday, May 7, 2013 12:38:20 PM  
**Subject:** Re: 1447 Monroe - Dam

Jeff,

I do not understand your point. The reason the water is pooled is that there is no where for it to flow. The patio has dammed the water from flowing onto the LeMoyne Avenue. I believe that you are not looking at the picture correctly. The water is stopped by the retaining wall that supports the patio. If the wall/patio was not there or it was not to the property line with other building up to it, the water would have flowed to LeMoyne. Instead, it pools in the backyards.

It progressively gets worse to my house, four (4) houses to the south. Please see the attached presentation.

If it was not for basement sump pumps and people pumping out their backyards to Monroe, the water may still be standing there.

There needs to be a nature way for the water to flow off of the property. There is none. There needs to be a change.

Mark

312-560-5699

1431 Monroe Avenue.

On Tue, May 7, 2013 at 11:55 AM, Jeff Loster <jloster@vrf.us> wrote:

Mr. Tomassini,

I was able to finally make a round of site visits late last week and am a little behind on getting back to everyone. I took a look at the area from your backyard north to LeMoyné Pkwy. While it is clear that there is insufficient slope needed to drain the entire area to the north, it does not appear that the installation of the patio at 1447 Monroe is the cause. If the installation of the patio were the problem, I would expect to see water up to the patio, making it clear that the patio itself was causing the issue. Based on the attached picture, it does not appear that this is the case.

Often times when patios are installed at a higher elevation, the surrounding grade is also raised. In this case, however, raising the grade significantly around the perimeter of the patio would likely have caused a significant grade change along/near the south property line. Given the fact that there is vegetation in this area that appears to have been established for an extensive amount of time, it does not appear that the grades in this area were significantly altered due to any recent construction. Raising the grade at the base of this vegetation by several inches would likely have caused a great deal of damage.

I can certainly understand your frustration in an area like this where adequate drainage paths are not present. There is a significant tributary area that can lead to a large amount of standing water in high rain events, obviously. Given a lack of evidence that leads to a single cause of the problem, I think the only remaining solution is to try to better manage any standing water that is present. Things such as rain gardens, underground cisterns, or other rainwater harvesting systems would all help prevent standing water on the magnitude currently present. Let me know if this is something you'd like to discuss in more detail and I would be happy to share any additional thoughts that might help.

Please also keep in mind that the Village has pumps that we loan out to residents so that areas like this one can be pumped out (once any surcharge of the sewer system has subsided). Additional information on this topic can be found at the following web address:

<http://www.vrf.us/residents/flooding#Pump>

Let me know if you have any questions on the items discussed above or if you would like to discuss any of the potential solutions mentioned in greater detail.

**Jeff Loster, PE, CFM, CPESC**

Village Engineer

Village of River Forest

400 Park Avenue

River Forest, IL 60305

P: 708.714.3551

F: 708.366.3702

[jloster@vrf.us](mailto:jloster@vrf.us)

**From:** Mark A. Tomassini [<mailto:mtomassini@cjrmat.com>]

**Sent:** Tuesday, May 07, 2013 10:13 AM

**To:** Jeff Loster

11/27/2017

Mail - RE: 1447 Monroe - Dam

**Cc:** Carla Racanelli; Carlson Family; Phil Cotter  
**Subject:** Re: 1447 Monroe - Dam

Jeff,

I wanted to see if you were able to get any grade information, etc.

What will be the next steps?

Thanks,

Mark

312-560-5699

1431 Monroe Avenue

----- Forwarded message -----

From: **Mark A. Tomassini** <mtomassini@cjrmat.com>

Date: Fri, Apr 19, 2013 at 4:24 PM

Subject: Re: 1447 Monroe - Dam

To: Phil Cotter <pcotter@vrf.us>

Cc: Carla Racanelli <carla@cjrmat.com>, Carlson Family <phcarlson@comcast.net>, Mark Shelstad <mshelstad@comcast.net>, Judy Shelstad <judy.s2@comcast.net>

Thank you.

I will contact him.

On Apr 19, 2013, at 4:10 PM, Phil Cotter <pcotter@vrf.us> wrote:

Mr. Tomassini,

I have asked our Village Engineer, Jeff Loster, to contact you regarding your question/concern. His direct number is 708-714-3551 if you decide to expedite contact with him.

Phil Cotter

Director of Public Works

Village of River Forest

400 Park Avenue

River Forest, IL 60305

(708) 714-3550

(708) 366-3702 fax

pcotter@vrf.us

**From:** Mark A. Tomassini [mailto:mtomassini@cjrmat.com]  
**Sent:** Thursday, April 18, 2013 4:18 PM  
**To:** Phil Cotter  
**Cc:** dmm@dmanorthstar.com; Carla Racanelli; phcarlson@comcast.net; Mark Shelstad; mshelstad@comcast.net  
**Subject:** 1447 Monroe - Dam

Phil,

I live at 1431 Monroe Avenue. I am sure that you are inundated today, but this problem continues to affect all houses south of 1447 Monroe.

The dam that has been created by the houses' built-up patios located at the SE corner of Monroe/LeMoyne and SW Corner of William/LeMoyne has caused more ground water to not be allowed to drain unto LeMoyne.

The water just sits and creates more hydrostatic pressure on ground water surrounding everyone's foundations. A path needs to be created to allow the water to drain naturally on LeMoyne Avenue. A small amount of pooling makes sense, but this is ridiculous. Attached are pictures of 1443 Monroe's backyard. It is approximately 18 inches deep.

Something needs to be done immediately. Pictures are attached.

Please feel free to contact me directly with any questions.

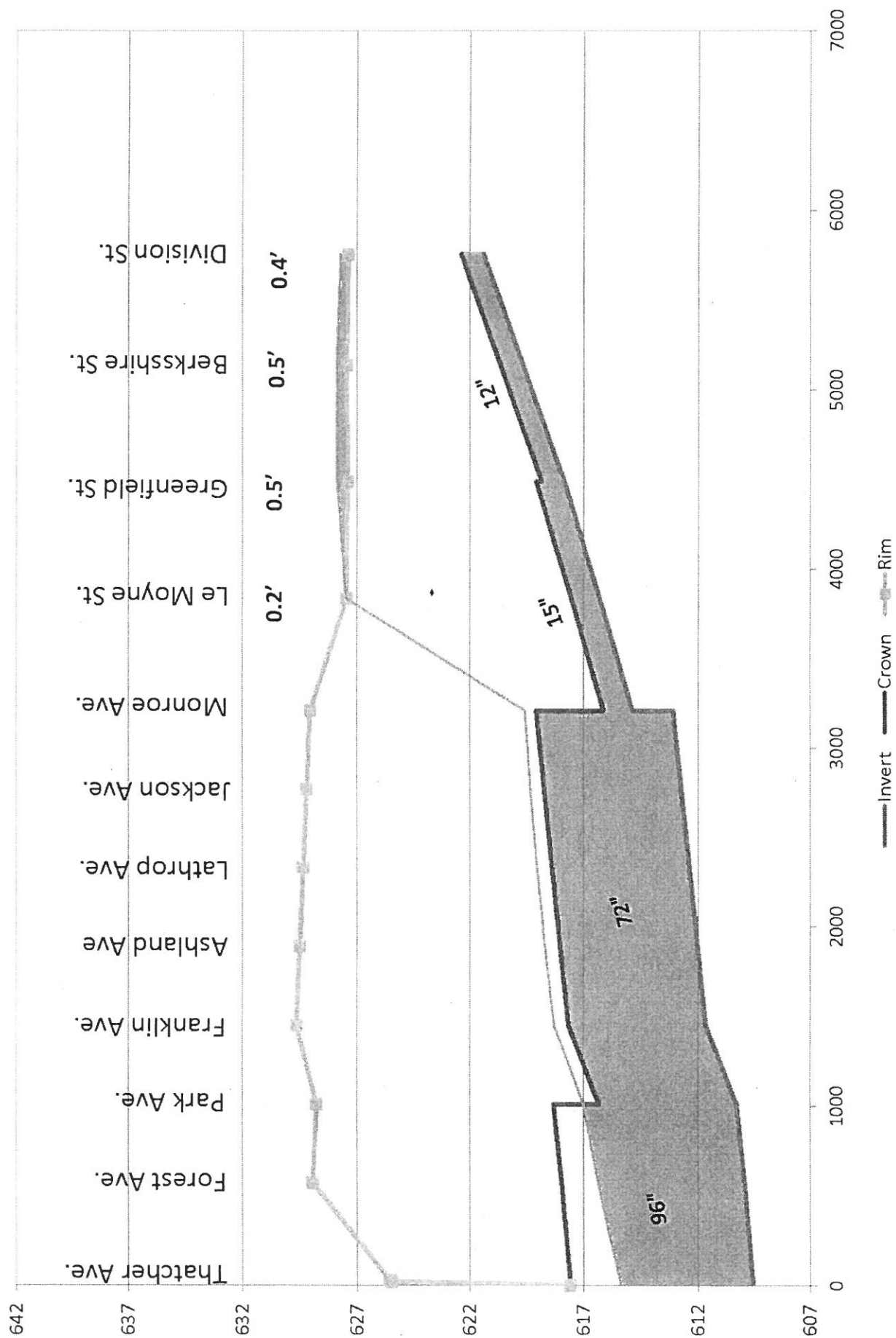
Mark

Mark A. Tomassini  
1431 Monroe Avenue  
River Forest, IL 60305  
Home: 708-488-9310  
Office: 312-560-5699

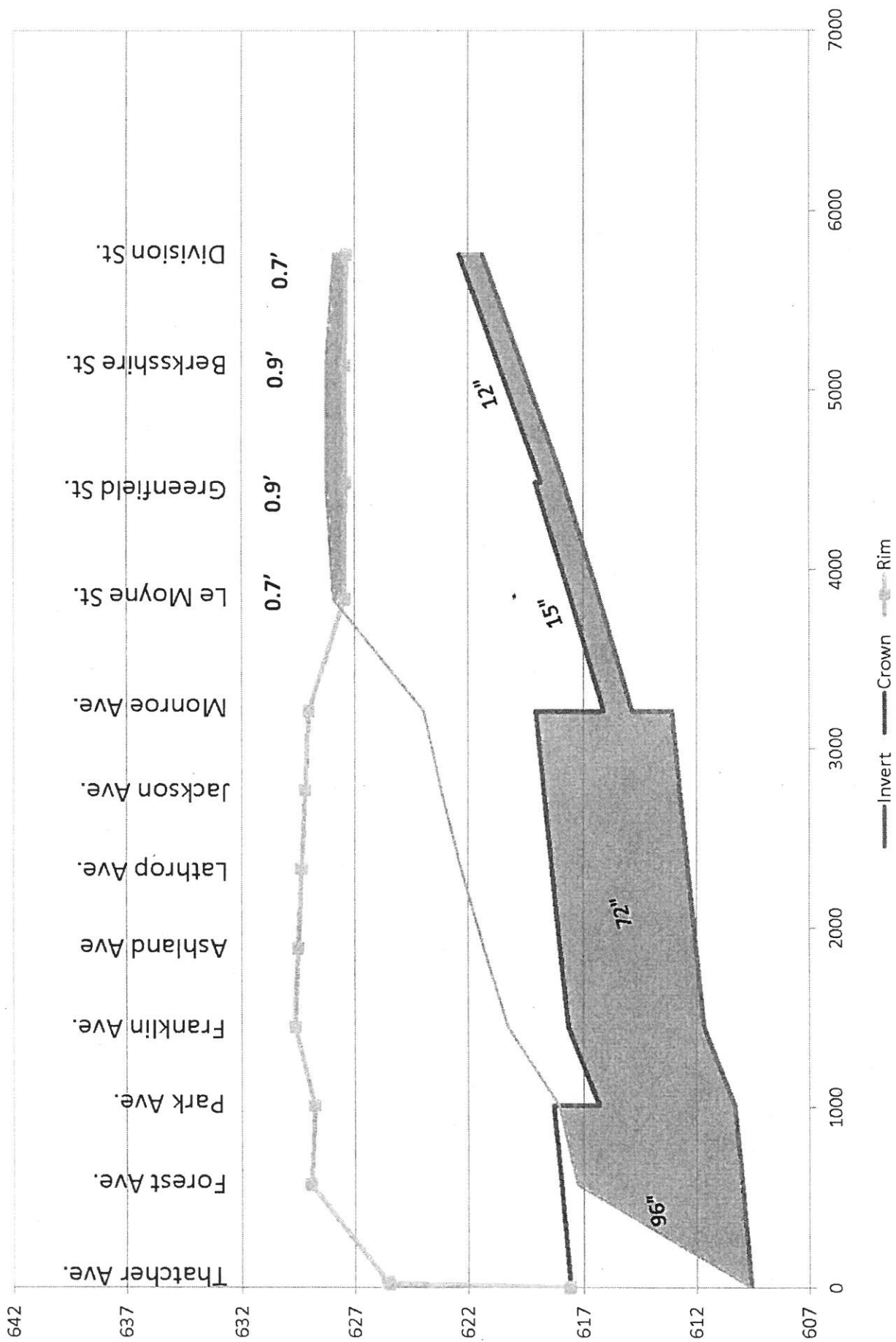
Mark A. Tomassini

312-560-5699

# Existing Conditions (10-Year)



# Existing Conditions (50-Year)





# Existing Conditions (July 2011)

