

# CONSTITUTION PARK

## RIVER FOREST, ILLINOIS

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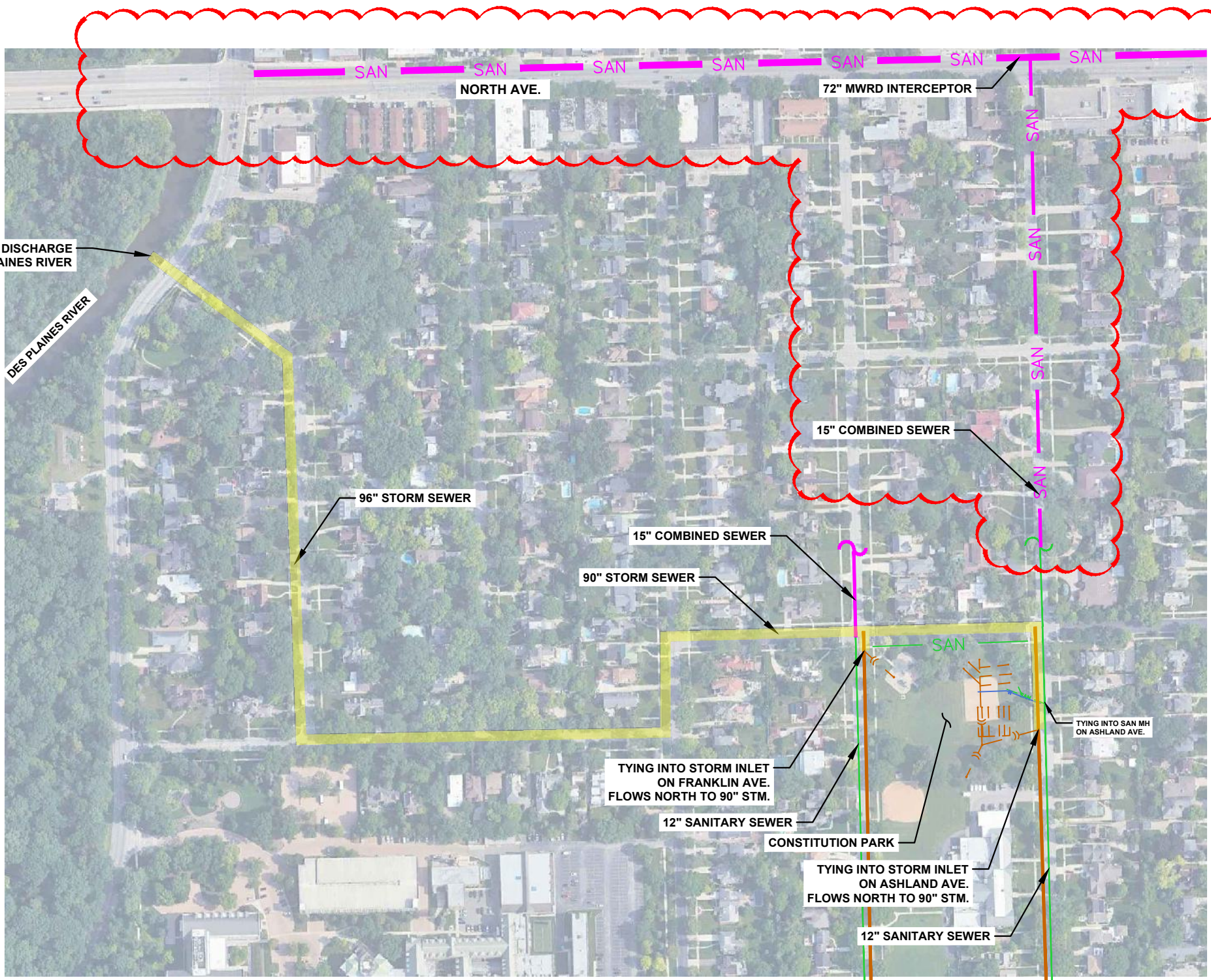
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS IN TO THE PUBLIC AREA, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERAL ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.



### PROJECT AREA

NOT TO SCALE

north



### SEWER ROUTING MAP

SECTION 01, TOWNSHIP 39 NORTH, RANGE 12 EAST  
SCALE: 1" = 300'±

### LEGEND

SAN	SANITARY SEWER
SAN	COMBINED SEWER
ST	STORM SEWER
ROUTING	ROUTING

### PROJECT INFORMATION

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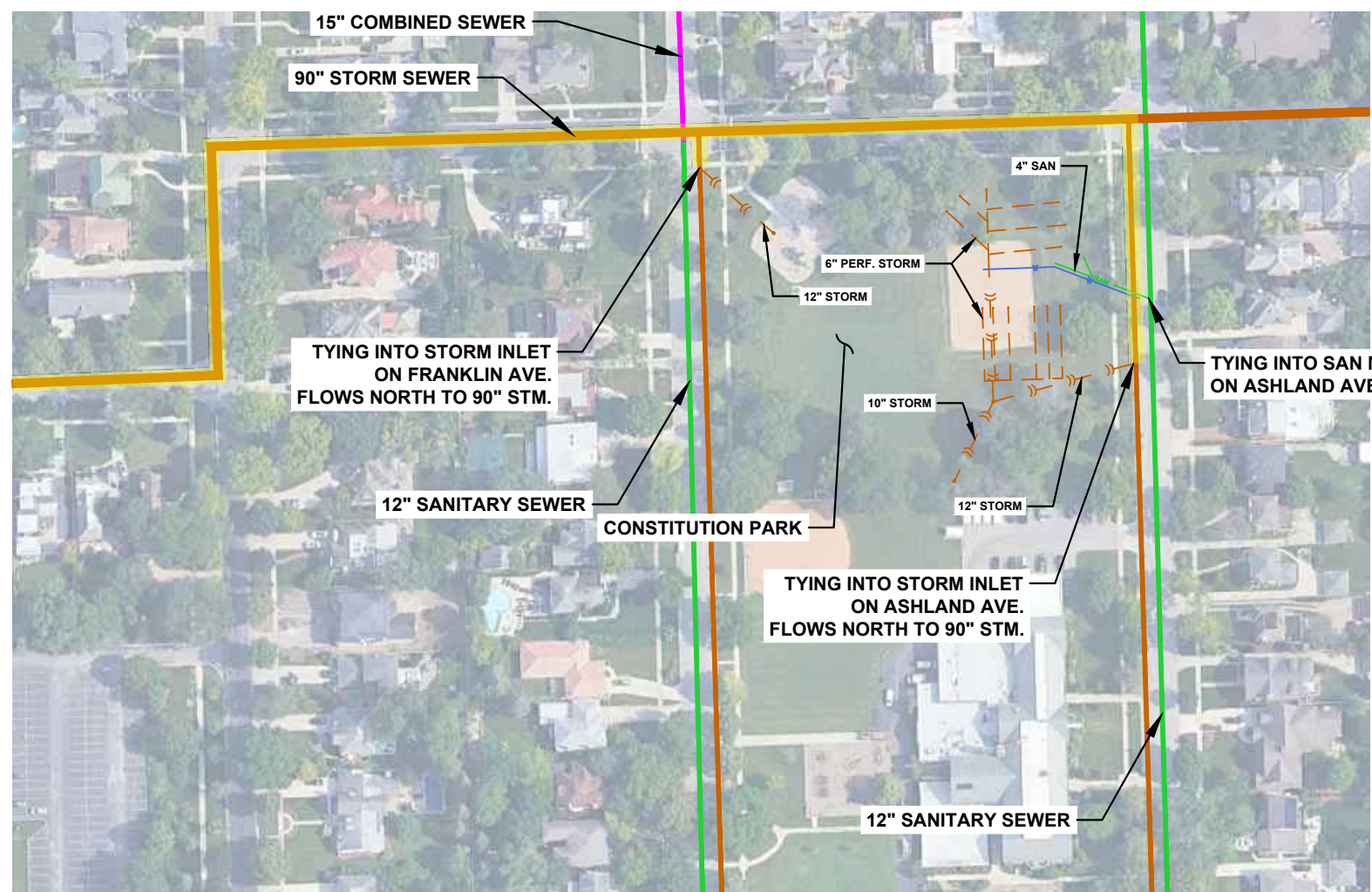
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### ENLARGEMENT

#### LEGEND

SAN	SANITARY SEWER
SAN	COMBINED SEWER
ST	STORM SEWER
ROUTING	ROUTING

**NOTES:**  
1. ALL SEWER WITHIN ROADWAYS ARE OWNED BY THE VILLAGE OF RIVER FOREST.  
2. STORMWATER FROM CONSTITUTION PARK FLOWS THROUGH STORM SYSTEM AND DISCHARGES INTO DSE PLAINES RIVER.  
3. PROPOSED PROJECT SITE IS WITHIN A ZONE X FLOODPLAIN AND NOT WITHIN 100 FEET OF ANY WETLANDS OR RIPARIAN ENVIRONMENTS.

Contact the Metropolitan  
Water Reclamation District  
of Greater Chicago 2 days  
before starting work.

P (708) 588-4055  
E WMOJobStart@mwrdr.org



CREATE THE VISION TELL THE STORY

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CLIENT:

**RIVER FOREST  
PARK DISTRICT**



CLIENT ADDRESS:  
401 THATCHER AVENUE  
RIVER FOREST, IL 60305



PROJECT:

**CONSTITUTION  
PARK**

PROJECT LOCATION:  
7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

#	Date	Description
1	05.06.25	MWRD SUBMITTAL
2	06.30.25	MWRD SUBMITTAL
3		
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

**TITLE SHEET**

SHEET NUMBER:

**TS0.0**

JSD PROJECT NO: 24-14428



File:U:\SD\NCHicago projects\2024\14428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD-1.0 General Notes & Schedules.dwg Layout: SD-1.0 General Notes User: encdrakas Ploited: Jun 30, 2025 4:28pm Xrefs:

GENERAL NOTES:

- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCY CODES, STANDARDS AND SPECIFICATIONS.
- THE PARK DISTRICT WILL OBTAIN ALL NECESSARY SITE PERMITS FROM THE APPLICABLE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY AND ALL WAYS, MEANS AND METHODS OF CONSTRUCTION. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- UNLESS OTHERWISE NOTED ON THE PLANS, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS AND TO SCHEDULE ANY REQUIRED SITE INSPECTIONS.
- CONTRACTOR SHALL SCHEDULE A UTILITY LOCATING SERVICE AND/OR NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY AND ANY PRIVATE UTILITIES TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION. ANY NECESSARY RELOCATIONS OR REMOVALS OF EXISTING UTILITY LINES SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER / LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER / LANDSCAPE ARCHITECT.
- ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT SO THE CONFLICT MAY BE RESOLVED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
- ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY. MUD AND DEBRIS LEFT ON THE STREETS NOT CLEANED AND POWER-WASHED BY THE CONTRACTOR WILL BE CLEANED BY OTHERS AND BACK-CHARGED TO THE CONTRACTOR.
- ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION GATE TO BE LOCKED AND THE SITE SECURED AT THE CLOSE OF EACH DAY. ALL EQUIPMENT REMAINING ON SITE SHOULD BE LOCKED AND KEYS REMOVED. ANYTHING LEFT ON SITE IS AT THE RISK OF THE CONTRACTOR.
- THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE LANDSCAPE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE THE CONTRACTOR'S SUBCONTRACTORS, THEIR AGENTS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES IS AND SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT FOR PHYSICALLY HANDICAPPED PEOPLE.
- EARTHWORK AND PAVING SPECIFICATIONS: THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION: LATEST EDITION," \* AND ALL ADDENDA THERETO, SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
- UNDERGROUND SPECIFICATIONS: THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS: LATEST EDITION", SHALL GOVERN THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS.
- EACH CONTRACTOR SHALL DO ALL NECESSARY CUTTING, FITTING, AND PATCHING OF THEIR OWN WORK. THEY SHALL ALSO DO ALL REMOVING AND ALTERING OF THE WORK IS REQUIRED TO MAKE SATISFACTORY CONNECTIONS AND INSTALLATIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION AND FINISHING WORK; RESTORE TO MATCH ADJOINING CONSTRUCTION AND FINISHES.
- ALL WORK SHALL BE ACCOMPLISHED IN A FIRST-CLASS MANNER, COMPLETE AND READY FOR THE USE INTENDED. CONTRACTORS SHALL BE RESPONSIBLE FOR FAULTY MATERIALS AND WORKMANSHIP AND SHALL REMEDY ANY DEFECTS THERETO AND SHALL PAY FOR ANY DAMAGES TO OTHER WORK RESULTING THEREFROM, WHICH SHALL APPEAR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK.
- CONTRACTOR SHALL PHOTOGRAPH/VIDEO WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS. A COPY OF THE PHOTOGRAPHS/VIDEO SHALL BE SENT TO THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- GUARANTEE: ALL WORK PERFORMED BY THE CONTRACTOR AND SUBCONTRACTOR UNDER THIS CONTRACT SHALL BE GUARANTEED TO THE LOCAL AUTHORITY AND OWNER BY EACH CONTRACTOR AND SUBCONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS AFTER THE FINAL ACCEPTANCE OF THE WORK AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.
- ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- GREENFIELD STREET, FRANKLIN AVENUE, AND ASHLAND AVENUE TO REMAIN OPEN TO VEHICULAR AND PEDESTRIAN TRAFFIC AND FREE OF DEBRIS AT ALL TIMES - USE NECESSARY TRAFFIC CONTROL DEVICES WHEN REQUIRED. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE APPLICABLE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.
- CONTRACTOR AND EMPLOYEES VEHICLES SHALL BE LIMITED TO PARKING ALONG GREENFIELD STREET, FRANKLIN AVENUE, AND ASHLAND AVENUE. DAMAGE/RUITS TO THE EXISTING ROADWAY PAVEMENT ARE TO BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER / LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR REPAIR.

TRAFFIC CONTROL GENERAL NOTES:

- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND THE STANDARD SPECIFICATIONS FOR THE PROJECT AND APPLICABLE VILLAGE REQUIREMENTS.
- THE CONTRACTOR WILL BE REQUIRED TO PROVIDE ALL WARNING SIGNS, BARRICADES, TRAFFIC CONES, FLAG MEN AND OTHER APPURTENANCES, WHICH ARE NECESSARY TO GUARANTEE THE SAFETY OF MOTORISTS AND PEDESTRIANS DURING THE CONSTRUCTION OF THE PROJECT.
- NO WORK SHALL COMMENCE UNTIL REQUIRED TRAFFIC CONTROL DEVICES ARE PROVIDED BY THE CONTRACTOR. IF REQUIRED, TRAFFIC CONTROL DEVICES SHALL BE MOVED AS NECESSARY FOR TEMPORARY LANE CLOSURES. PERMANENT LANE CLOSURE WILL REQUIRE THE USE OF AN ARROW BOARD.

DEMOLITION PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL PROVIDE MIN. 6" CHAIN LINK SAFETY FENCE FOR SITE PROTECTION AND/OR OTHER BARRIERS NECESSARY TO KEEP PARK USERS FROM ENTERING WORK AREAS. SEE EXISTING CONDITIONS/DEMOLITION PLAN FOR APPROXIMATE LOCATION OF SAFETY FENCE.
- THE CONSTRUCTION FENCE LOCATION COINCIDES WITH THE LIMITS OF CONSTRUCTION. THIS FENCE MAY BE TAKEN DOWN PERIODICALLY TO AID IN CERTAIN CONSTRUCTION TASKS, HOWEVER FENCING/BARRIERS MUST BE RE-ERECTED AT THE END OF EACH WORKING DAY.
- ALL ITEMS DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL AND ACCEPTABLE MANNER AND AS OTHERWISE SPECIFIED IN THE DRAWINGS OR BY THE LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR ANY FEES REQUIRED FOR DISPOSAL.
- SPECIAL CARE SHALL BE TAKEN TO CHECK THE SITE PERIODICALLY AS NOT TO LEAVE OPEN EXCAVATIONS OR PROTRUDING OBJECTS WHICH CAN BE HARMFUL TO SITE USERS.
- ALL AREAS SHOWN TO BE REGRADED SHALL HAVE ALL TURF AND TOPSOIL REMOVED (EXCEPT WITHIN DRILIPE OF TREES). SEE PLAN.
- REMOVED PAVEMENTS, SIDEWALKS, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
- CONTRACTOR'S OPTION: ANY CONCRETE TO BE REMOVED MAY BE GROUND ON SITE AND RE-USED AS BASE COURSE MATERIAL UNDER NEW CONCRETE AND/OR ASPHALT SURFACES. CONFIRM ACCEPTANCE BY OWNER / LANDSCAPE ARCHITECT PRIOR TO USE.

TREE PRESERVATION NOTES:

- DURING CONSTRUCTION TAKE ALL REASONABLE STEPS NECESSARY TO PREVENT THE DESTRUCTION OR DAMAGE TO TREES (OTHER THAN THOSE SPECIFIED TO BE REMOVED). INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
- NO CONSTRUCTION ACTIVITY, MOVEMENT AND/OR PLACEMENT OF EQUIPMENT OR MATERIAL OR SPOILS STORAGE SHALL BE PERMITTED OUTSIDE THE CONSTRUCTION LIMITS OR WITHIN THE TREE PRESERVATION AREA. NO EXCESS SOIL, ADDITIONAL FILL, LIQUIDS OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE ROOT ZONE OF ANY TREE THAT IS REQUIRED TO REMAIN.
  - CRUSHED LIMESTONE, HYDROCARBONS AND OTHER MATERIALS DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE ROOT ZONE OF ANY TREE, NOR AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE COULD CONCEIVABLY AFFECT THE HEALTH OF THE TREE.
  - APPROPRIATE PROTECTIVE FENCING SHALL BE TEMPORARILY INSTALLED FOR PROTECTION OF REMAINING TREES. APPROPRIATE PROTECTIVE FENCING SHALL INCLUDE WOODEN SNOW FENCE OR VINYL CONSTRUCTION FENCE.
  - ALL REQUIRED PROTECTIVE FENCING OR OTHER PHYSICAL BARRIER MUST BE IN PLACE AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD TO PREVENT THE IMPINGEMENT OF CONSTRUCTION VEHICLES, MATERIALS, SPOILS AND EQUIPMENT INTO OR UPON THE TREE PRESERVATION AREA.
  - NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN THOSE APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO TREES DURING THE CONSTRUCTION PERIOD.
  - UNLESS OTHERWISE INDICATED ON THE PLANS, NO SOIL IS TO BE REMOVED FROM WITHIN THE ROOT ZONE OF ANY TREE THAT IS TO REMAIN.
  - WHERE CONSTRUCTION TAKES PLACE WITHIN THE CRITICAL ROOT ZONE OF ONE SIDE OF A TREE PROPOSED FOR PRESERVATION, PROTECTIVE FENCING SHALL BE EXTENDED BEYOND THE CRITICAL ROOT ZONE OF THE OTHER SIDE OF THE TREE TO MAXIMIZE PROTECTION OF THE ROOT SYSTEM.
  - TREES WHICH ARE PRESERVED, BUT WILL BE AFFECTED DURING THE CONSTRUCTION PROCESS SHALL HAVE THE CROWNS AND ROOTS PRUNED BY A CERTIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI 2100.
  - IF, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE NECESSARY PRECAUTIONS AS SPECIFIED WERE NOT UNDERTAKEN BEFORE CONSTRUCTION COMMENCED, OR ARE NOT MAINTAINED AT ANY TIME DURING CONSTRUCTION, A STOP WORK ORDER SHALL BE ISSUED UNTIL SUCH TIME AS THE CONTRACTOR COMPLIES WITH THE PRECAUTIONS HEREIN.

CONSTRUCTION PLAN GENERAL NOTES:

- THE WORK INVOLVED IN CONNECTING PROPOSED STORM SEWERS TO EXISTING MANHOLES OR CONSTRUCTING PROPOSED MANHOLES OVER EXISTING STORM SEWERS OR RECONNECTING EXISTING STORM LATERALS TO PROPOSED STORM SEWERS SHALL BE PAID FOR AT THE CONTRACT BID PRICE FOR THE ITEM BEING CONSTRUCTED.
- SAWING OF REMOVAL ITEMS AS NOTED OR IMPLIED ON THE PLANS SPECIFIED AS REQUIRED BY THE LANDSCAPE ARCHITECT SHALL BE CONSIDERED TO BE INCIDENTAL TO THE COST OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- EXISTING TOPOGRAPHY AND SPOT ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AS SOON AS THEY ARE DISCOVERED. PROPOSED GROUND ELEVATIONS MAY BE REVISED TO MEET FIELD CONDITIONS.
- THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR CONSTRUCTION STAGING NECESSARY TO ACCOMMODATE UTILITY RELOCATION OR ADJUSTMENT AND/OR FOR DELAYS CAUSED BY UTILITY RELOCATION OR ADJUSTMENT.
- DEBRIS DEPOSITED IN THE FLOW OF ANY STRUCTURES SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CLOSE OF CONSTRUCTION OPERATIONS, ALL STRUCTURES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL ADHERE TO LIMITS OF RESTORATION SHOWN. WORK OUTSIDE THESE LIMITS WILL NOT BE PAID FOR UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- CONSTRUCTION STAKING FOR THE PROJECT SHALL BE PERFORMED BY THE CONTRACTOR AND CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL FRAMES AND GRATES DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- NO CONCRETE SHALL BE INSTALLED UNTIL THE FORMS HAVE BEEN INSPECTED FOR LINE, GRADE AND SUBGRADE CONDITIONS BY THE LANDSCAPE ARCHITECT. IT IS REQUIRED THAT THE INSPECTIONS BE ARRANGED FOR AT LEAST 24 HOURS IN ADVANCE OF THE CONCRETE PLACEMENT.
- ELEVATIONS SHOWN ARE ILLINOIS STATE PLANE EASTERN ZONE DATUM, SEE SURVEY.
- ELECTRICAL TRENCHES AND SUBSEQUENT GRAVEL PAVEMENT AND TURF REPAIR ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLUDE SUCH EXCAVATION, BACKFILL, AND COMPACTION AND GRAVEL PAVEMENT RESTORATION IN HIS PRICE FOR ELECTRICAL WORK.
- SIDEWALK RAMPS AND/OR DEPRESSED CURBS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. SIDEWALK RAMPS AND/OR DEPRESSED CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE STATE STANDARDS, THE DETAILS SHOWN, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- THE ELEVATIONS SHOWN ON THE PLANS ARE FINISHED GRADES OF PROPOSED PAVEMENT, WALKS OR TURF UNLESS OTHERWISE INDICATED.
- A SMOOTH TRANSITION SHALL BE EFFECTED BETWEEN NEW AND EXISTING CONSTRUCTION, DIFFERENT PHASES OF CONSTRUCTION, AND TEMPORARY CONSTRUCTION.
- ELEVATIONS OF SEWER LINES AND THEIR LOCATIONS WILL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS. PROPOSED DRAINAGE ELEVATIONS AND GRADES MAY BE REVISED TO MEET FIELD CONDITIONS.

- EXISTING SITE UTILITIES, SUCH AS VALVES, SANITARY AND STORM CASTINGS, AND HYDRANTS, ETC. SHALL BE ADJUSTED TO THE ELEVATION OF THE FINISHED GROUND SURFACE. THE CONTRACTOR SHALL EXERCISE CARE IN GRADING AND ANY DAMAGE SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- ALL TURF AND PLANTING AREAS SHALL DRAIN COMPLETELY AND NOT POND NOR PUDDLE. PROVIDE 6" OF BLACK TOPSOIL IN ALL AREAS WHICH HAVE BEEN REGRADED OR DISTRIBUTED DURING CONSTRUCTION.
- THE LANDSCAPE ARCHITECT SHALL REVIEW ALL HARDSCAPE SURFACE PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION. GIVE LANDSCAPE ARCHITECT 24 HOURS NOTICE. ALL HARD SURFACE PAVEMENTS SHALL DRAIN COMPLETELY AT 1.0% MIN. SLOPE (UNLESS OTHERWISE SPECIFIED).
- THE CONTRACTOR SHALL EXCAVATE, BACKFILL, COMPACT, GRADE AND SHAPE THE SUBGRADE AS DEPICTED IN THE PLAN. DO NOT EXPORT SUBSOIL, BUT REVISE ON SITE WHEN REQUIRED, REVIEW LOCATIONS WITH THE LANDSCAPE ARCHITECT.
- ALL EXCAVATED TOPSOIL SHALL BE RE-USED BY THE CONTRACTOR FOR RESPREADING BENEATH BERMS AND LANDFORMS OR OTHER LANDSCAPE AREAS. IF CONSTRUCTION YIELDS ADDITIONAL TOPSOIL, IT SHALL BE STOCKPILED ON SITE IN AN AREA DESIGNATED BY THE LANDSCAPE ARCHITECT. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO REMOVE OR DISPOSE OF TOPSOIL STRIPPED OR STOCKPILED ON-SITE FOR RE-USE, WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT.
- WHEN EXCAVATING, BACKFILLING, OR GRADING BENEATH TREE DRILIPE, REVIEW ALL PROPOSED WORK WITH THE LANDSCAPE ARCHITECT.
- FINISHED GRADE ELEVATIONS IN TURF AND LANDSCAPED AREAS SHALL BE APPROXIMATELY 2" ABOVE ADJACENT PAVEMENTS, CURBS, ETC. TO ALLOW FOR SETTLEMENT.
- ALL STORM SEWER LATERALS WILL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.45 PERCENT UNLESS OTHERWISE NOTED ON PLANS.
- EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- ALL TESTING, INSPECTION AND SUPERVSION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED IN-KIND PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.

STORM SEWER NOTES:

- ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
- HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212.
- PVC STORM SEWER PIPE SHALL BE SDR 26 ASTM D3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D3212, UNLESS OTHERWISE NOTED.
- STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS.
  - STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D3212. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING LOCAL STANDARD GRADATIONS.
  - TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF STANDARD PROCTOR MAXIMUM DRY DENSITY, PER ASTM D698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
- REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
- FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND RESTORED ACCEPTABLE OPERATING CONDITION. A DIMENSIONAL/LOCATIONAL AS-BUILT RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE PARK DISTRICT UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

DIMENSION PLAN GENERAL NOTES:

- ALL DIMENSIONS WHICH ARE GIVEN BY THE GRID COORDINATE SYSTEM INDICATORS SHALL BE VERIFIED PRIOR TO COMMENCING WORK. ALL FEATURES, CURBS, PAVEMENTS, AND WALLS SHALL BE LAID OUT AND PAINTED OR OTHERWISE MARKED IN THE FIELD BY THE CONTRACTOR AND VERIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL CONCRETE CURVES SHALL BE SMOOTH AND CONTINUOUS AS SHOWN IN THE DRAWINGS. ALL CURB BENDS OR KINKS IN THE PAVEMENT SHALL BE REMOVED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SCORING SHALL FOLLOW A 5' MODULE OR AS SHOWN IN THE DRAWINGS. ALL EXPANSION JOINTS IN FLATWORK OR CURBS SHALL BE LOCATED AT 30' INTERVALS OR AS SHOWN. NO SAWCUT JOINTS WILL BE PERMITTED.
- UNLESS OTHERWISE NOTED, ALL CURB AND PAVEMENT ANGLES SHALL BE CONSTRUCTED AT 90 DEGREE OR 45 DEGREE ANGLES.
- ALL PROPOSED RADII DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

CREATIVE PLAY AREA GENERAL NOTES:

- ALL RADII FOR PROPOSED CURB SURROUNDING THE CREATIVE PLAY AREA ONLY SHALL BE TO FACE OF CURB. ALL OTHER AREAS SHALL BE TO BACK OF CURB.
- DASHED LINE AROUND APPARATUS COMPONENTS AND INDEPENDENT PLAY COMPONENTS REPRESENTS THE MINIMUM REQUIRED SAFETY ZONE (USE ZONE) CLEARANCE OF 6'-0" UNLESS OTHERWISE NOTED. THE REQUIRED USE ZONE CLEARANCE IN FRONT OF ALL SLIDE EXIT CHUTES SHALL EXTEND NO LESS THAN 72" AND NO GREATER THAN 96", OR AS REQUIRED BY THE MANUFACTURER.
- FOR PLAY APPARATUS CLUSTER AND INDEPENDENT PLAY COMPONENTS, CONTACT THE MANUFACTURER'S REP AS INDICATED ON SHEET SD3.1. THE MANUFACTURER SHALL CERTIFY IN WRITING THAT THE PLAY EQUIPMENT SPECIFIED HEREIN CONFORMS WITH THE LATEST GUIDELINES FOR PLAYGROUND EQUIPMENT BY THE U.S. CONSUMER PRODUCT SAFETY COMMISSIONS. THE MANUFACTURER SHALL ALSO FURNISH SHOP DRAWINGS AND INSTRUCTIONS FOR PROPER MAINTENANCE AND SAFETY PROCEDURES.

LANDSCAPE PLAN GENERAL NOTES:

- THE LANDSCAPE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS AND DIRECTIONS OF THE SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL WORK FROM DAMAGE BY OTHER UNTIL THE WORK IS COMPLETE AND ACCEPTED BY THE PARK DISTRICT.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES.
- EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE DETERMINED AND IDENTIFIED IN THE FIELD BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL AVOID ALL EXISTING UTILITIES--UNDERGROUND AND OVERHEAD WHERE APPLICABLE. WHERE UNDERGROUND UTILITIES EXISTS, FIELD ADJUSTMENTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL.
- ALL PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 230 SOUTHERN BUILDING, WASHINGTON D.C. 20005 (ANSI Z60.1).
- ALL PLANTS OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME NURSERY SOURCE.
- THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND OTHER LANDSCAPE FEATURES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND SHALL CHECK FOR CORRECT SPACING BEFORE PLANTING.
- THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS NOTICE TO THE LANDSCAPE ARCHITECT AS EACH PHASE OF WORK IS UNDERTAKEN PRIOR TO PLANTING OPERATIONS SO THAT THE LANDSCAPE ARCHITECT CAN BE PRESENT TO VERIFY PLANT SPECIES, SIZES AND OVERALL HEIGHT IMMEDIATELY PRIOR TO PLANTING. IF NOTICE IS NOT GIVEN BY THE CONTRACTOR, HE SHALL REMOVE/REPLACE PLANTS AS DIRECTED BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL EXPENSE TO THE OWNER.
- PLANT TREES AND SHRUBS AFTER THE FINAL GRADES HAVE BEEN ESTABLISHED AND PRIOR TO THE PLANTING OF LAWN UNLESS OTHERWISE DIRECTED BY THE OWNER. IF PLANTING OF TREES OCCURS AFTER LAWN WORK, THE LANDSCAPE CONTRACTOR SHALL PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGED LAWN RESULTING FROM PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO THE NEW GRADE AS IT BORE TO THE GRADE AT THE NURSERY.
- PRUNE BROKEN OR CROSS BRANCHING AT THE TIME OF PLANTING. DO NOT REMOVE CENTRAL LEADER.
- FOR TREES PLANTED IN TURF AREAS, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 6'-0" DIA. SHREDDED HARDWOOD BARK MULCH RING (REMOVE EXISTING TURF) AT A MINIMUM OF 3" THICK (AFTER SETTLEMENT) WITH A CULTIVATED EDGE AT THE BASE OF EACH TREE. MULCH SHALL BE PLACED WITHIN TWO (2) DAYS AFTER TREES ARE PLANTED. MULCH SHALL BE CONSIDERED INCIDENTAL TO TREE PLANTINGS. INCLUDE TERRA-SORB HYDROGEL CRYSTALS WITH PLANTING MIX.
- TREES SHALL BE SET IN TRUE, VERTICAL ALIGNMENT AFTER PLANTING.
- ALL PLANTS SHALL BE PLANTED PER THE LANDSCAPE PLAN, DETAILS AND SPECIFICATIONS. PLANTINGS NOT FOUND TO BE IN COMPLIANCE SHALL BE REPLANTED CORRECTLY, OR REPLACED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ADJUST GROUNDCOVER SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS.
- THE LANDSCAPE ARCHITECT OR OWNER RESERVES THE RIGHT TO REJECT PLANTS ON SITE WHETHER STOCK PILED OR PLANTED IN PLACE. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM SITE.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- WHERE PLANTING BEDS MEET TURF AREAS, THE CONTRACTOR SHALL PROVIDE A CULTIVATED EDGE. MULCH ALL SHRUB BEDS TO THE LINE SHOWN. THE CONTRACTOR SHALL FURNISH AND INSTALL 3" LAYER OF SHREDDED HARDWOOD MULCH UNDER ALL TREE PLANTINGS AND SHRUB BEDS. (SUBMIT SAMPLE, SEE SPECS.)
- AN APPROVED GRANULAR ORGANIC PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- THE LANDSCAPE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT INJURY TO ALL PLANT MATERIAL DURING DIGGING, HANDLING, PLANTING, AND MAINTENANCE OPERATIONS.
- ALL PLANTS TO BE "HEELED IN" OR STORED ON-SITE AND SHALL BE GROUPED TOGETHER BY SPECIES AND SIZE AND SHALL BE COVERED WITH MULCH OR COMPOST TO PREVENT DESICCATION. DO NOT DELIVER ANY PLANTS THAT CANNOT BE PLANTED WITHIN FIVE (5) WORKING DAYS.
- FOR ALL GROUNDCOVERS, ROTOTILL 2" OF SPHAGNUM PEAT INTO TOPSOIL TO A DEPTH OF 6" TO YIELD A HOMOGENOUS MIXTURE OF TOPSOIL AND PEAT.
- GROUNDCOVER AREAS SHALL ONLY RECEIVE 1 1/2" SHREDDED HARDWOOD MULCH (NO FABRIC). CAREFULLY PLACE MULCH AROUND EACH PLANT BASE.
- BERMS AND LANDFORMS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTORS SHALL UTILIZE EXISTING SUBSOIL AND TOPSOIL. THE CONTRACTOR SHALL GRADE AS SHOWN. THE CONTRACTOR SHALL BE AWARE OF SUCH QUANTITIES PRIOR TO SUBMITTING THE BID.
- ALL EXCAVATED TOPSOIL SHALL BE RE-USED BY THE CONTRACTOR OR IF CONSTRUCTION YIELDS ADDITIONAL TOPSOIL, IT SHALL BE STOCKPILED ON SITE IN AN AREA DESIGNATED BY THE OWNER FOR RE-USE BY THE CONTRACTOR PRIOR TO IMPORTING NEW TOPSOIL (IF ANY).
- ALL DISTURBED AREAS SHALL RECEIVE 6" MINIMUM OF TOPSOIL (COMPACTED). LANDSCAPE CONTRACTOR TO COORDINATE THEIR WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE, CONTRACTOR IS TO USE STOCKPILED TOPSOIL ON-SITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
- TOPSOIL SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
- FINE GRADE, FERTILIZE, AND SEED ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS AS SHOWN WITH EROSION CONTROL BLANKET. ALL TURF AREAS SHALL DRAIN COMPLETELY AND SHALL NOT POND NOR PUDDLE. ALL TURF AREAS SHALL RECEIVE 6" THICK BLACK TOPSOIL--ALLOW FOR SETTLEMENT.
- DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREAS IN AN ORDERLY MANNER. REMOVE ALL DEBRIS FROM THE JOB SITE ON A DAILY BASIS.



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CLIENT:

RIVER FOREST  
PARK DISTRICT



CLIENT ADDRESS:

401 THATCHER AVENUE  
RIVER FOREST, IL 60305

PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.06.25	MWRD SUBMITTAL
2	06.30.25	MWRD SUBMITTAL
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Designed By:

SCD/EJD

Reviewed By:

LMV

Approved By:

LMV

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

SD1.0

JSD PROJECT NO:

24-14428

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File: \USDINCChicago projects\2024\2414428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD1.0 General Notes & Schedules.dwg Layout: SD1.1 MWRD General Notes User: eric.drakes Plotted: Jun 30, 2025 - 4:28pm Xref's:

A. REFERENCED SPECIFICATIONS

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- 1.1. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;

1.2. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;

1.3. VILLAGE OF RIVER FOREST CODE;

1.4. THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;

1.5. IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-568-4055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO [MMOJOBSSTART@MWRD.ORG](mailto:MMOJOBSSTART@MWRD.ORG)).
2. THE VILLAGE OF RIVER FOREST ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONVERSION FACTOR IS \_\_\_\_\_ FT.
2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL

VITRIFIED CLAY PIPE

REINFORCED CONCRETE SEWER PIPE

CAST IRON SOIL PIPE

DUCTILE IRON PIPE

POLYVINYL CHLORIDE (PVC) PIPE

6-INCH TO 15-INCH DIAMETER SDR 26

18-INCH TO 27-INCH DIAMETER F/DY=46

HIGH DENSITY POLYETHYLENE (HDPE)

WATER MAIN QUALITY PVC

4-INCH TO 36-INCH

4-INCH TO 12-INCH

14-INCH TO 48-INCH

PIPE SPECIFICATIONS

ASTM C-700

ASTM C-76

ASTM A-74

ANSI A21.51

ASTM D-3034

ASTM F-679

ASTM D-3350

ASTM D-3035

ASTM D-2241

AWWA C900

AWWA C905

JOINT SPECIFICATIONS

ASTM C-425

ASTM C-443

ASTM C-564

ANSI A21.11

ASTM D-3212

ASTM D-3212

ASTM D-3261,F-2620 (HEAT FUSION)

ASTM D-3212,F-477 (GASKETED)

ASTM D-3139

ASTM D-3139

ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL

POLYPROPYLENE (PP) PIPE

12-INCH TO 24-INCH DOUBLE WALL

30-INCH TO 60-INCH TRIPLE WALL

PIPE SPECIFICATIONS

ASTM F-2736

ASTM F-2764

JOINT SPECIFICATIONS

D-3212, F-477

D3212, F-477

8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¾ "TO 1"IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
- 11.1. A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUBWYE SADDLE OR HUB-TEE SADDLE.
- 11.2. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
- 11.3. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING BAND SEAL OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST RUBBER BOOTS THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SANITARY SEWERS, OR STORM SEWERS. TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS, CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
- 5.1. UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
- 5.2. ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.

11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS.SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.



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RIVER FOREST  
PARK DISTRICT



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401 THATCHER AVENUE  
RIVER FOREST, IL 60305

PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

#	Date:	Description:
1	06.06.25	MWRD SUBMITTAL
2	06.30.25	MWRD SUBMITTAL
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

MWRD GENERAL NOTES

SHEET NUMBER:

SD1.1

JSD PROJECT NO:

24-14428

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File: \JSD\IN\Chicago projects\2024\2414428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD1.0 General Notes & Schedules.dwg Layout: SD1.2 Schedules User: eric.drakas Plotted: Jun 30, 2025 - 4:28pm Xrefs:

SITE FURNISHINGS SCHEDULE

KEY	ITEM	MODEL	MANUFACTURER	QUANTITY	COMMENTS
BE	BENCH	RB-28	VS	4	EQUIPMENT PURCHASED BY OWNER, INSTALLED BY CONTRACTOR. SURFACE MOUNT, 6-FOOT, COLOR: BLACK.
BE2	PLAYER BENCH	1119-06P - 6'	PW	2	6-FOOT BENCH, IN-GROUND MOUNT. FRAME COLOR: BLACK, ALUMINUM PLANK COLOR: BLACK
BR	BIKE RACK	BRBS-103	VS	2	IN-GROUND MOUNT, COLOR: BLACK
DF	DRINKING FOUNTAIN	LK4420BF1UDB	EK	1	OUTDOOR BOTTLE FILLING STATION, FILTERLESS, NON-REFRIGERATED. DOG BOWL / PET FOUNTAIN.
LR	LITTER RECEPTACLE	S-42	VS	3	EQUIPMENT PURCHASED BY OWNER, INSTALLED BY CONTRACTOR. SURFACE MOUNT, COLOR: BLACK.
VB	VOLLEYBALL NET/POSTS		PW	1	
SH	SHELTER	PROJECT #2682	RT	1	
SS	SHADE STRUCTURE	MC 1025	CF	2	MONO SLOPE CANTILEVER SHELTER, 10'X25' WITH 9' EAVE METAL ROOF, ROOF COLOR: PATINA GREEN, POST COLOR: JET BLACK

MANUFACTURERS REPRESENTATIVES LIST

LS PW CF	LANDSCAPE STRUCTURES PATTERSON WILLIAMS CEDAR FOREST	CONTACT: RICK BIETERMAN NU-TOYS LEISURE PRODUCTS, INC. P.O. BOX 2121 LA GRANGE, IL 60525 708.579.9055 RICKB@NUTOYS4FORFUN.COM
RT	ROMTEC	CONTACT: CODY DOOLEY ROMTEC 541-496-3541 CDOOLEY@ROMTEC.COM
EK	ELKAY	ELKAY 630-574-8484
VS	VICTOR STANLEY	CONTACT: JAMIE MCARDLE VICTOR STANLEY 800.368.2573 X20378 JAMIE@VICTORSTANLEY.COM

PLAYGROUND EQUIPMENT RENDERING



PLAY APPARATUS SCHEDULE

KEY	QTY.	ITEM	MODEL	MANUF.	COMMENTS
A	1	BRIDGE/RAMP TRANSITION BRACKET	111345A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
	1	RAMP BERM EXIT PLATE CONCRETE WALL	120325A		
	5	RAMP W/GUARDRAILS W/CURBS MEETS ASTM	156232A		
	1	SWIGGLEKNOTS BRIDGE W/GRAB BAR ATTACHED TO DECK DB ONLY	193171A		
	1	LOG STEPPER 24"DECK W/1 RECYCLED WOOD-GRAIN HANDHOLD RIGHT HANDHOLD	175573A		
	1	LOG STEPPER 32"DECK W/2 RECYCLED WOOD-GRAIN HANDHOLDS 1 HANDLOOP RIGHT HANDHOLD	175574B		
	1	THE PEAK ROCK CLIMBER DB ONLY	160420A		
	1	RING TANGLE 8" DIFFERENCE DECK HEIGHTS	164078A		
	1	SINGLE WOOD-GRAIN HANDHOLD CEDAR/MINK	CP009571		
	1	DTR PB 7-POST NETPLEX W/RPL WOOD-GRAIN ACCENT PANELS	CP004765A		
	1	DTR PB RECYCLED WOOD-GRAIN BARRIER W/TELESCOPE	CP000337A		
	1	SEEKER CLIMBER 40" DECK TO NETPLEX@EQUAL 40" HEIGHT. INCLUDES 1-BARRIER HANDHOLD ON DECK SIDE ONLY.	CP035841		
	1	CURVED TRANSFER MODULE RIGHT 40"DK DB	152911B		
	5	HEXAGON TENDERDECK	178710A		
	1	KICK PLATE 8"RISE	121948A		
	5	ACCESSIBLE PANEL CURB	191031A		
	1	BALL MAZE PANEL ABOVE DECK	115236A		
	1	BARRIER WITH INFILL PANEL	160694A		
	1	BONGO REACH PANEL ABOVE DECK	164094A		
	1	HANDHOLD PANEL SET	127953A		
	1	IMAGE REACH PANEL ABOVE DECK	129043A		
	1	RAIN SOUND WHEEL PANEL ABOVE DECK	177718A		
	2	RECYCLED WOOD-GRAIN LUMBER PANEL	169319A		
	1	RING-A-BELL REACH PANEL ABOVE DECK	164148A		
	1	DISC NET CLIMBER W/ALPINE SLIDE 7-POST DB ONLY	271911A		
	1	CHINNING BAR ALUM DB	111357A		
	1	E-POD SEAT	166809A		
	1	STATIONARY CYCLER ACCESSIBLE	153165A		
	7	100"ALUM POST DB	111404G		
	6	108"ALUM POST DB	111404F		
	4	116"ALUM POST DB	111404E		
	1	124"ALUM POST DB	111404D		
	1	132"ALUM POST DB	111404C		
	1	148"ALUM POST DB	111404A		
	1	221"STEEL POST (60" BURY) FOR COOLTOPPER SINGLE POST PYRAMID ROOF	154883D		
	2	265"STEEL POST (60" BURY) FOR COOLTOPPER SINGLE POST PYRAMID ROOF	154883A		
	2	50"ALUM FLUSH POST W/TURTLE CAP DB	111405H		
	2	76"ALUM POST DB	111404J		
	4	84"ALUM POST DB	111404I		
	2	92"ALUM POST DB	111404H		
	3	COOLTOPPERS SINGLE POST PYRAMID ROOF DB ONLY	154884A		
	1	ROLLERSLIDE 40"DK DB	123333A		
	1	HEMISPHERE CLIMBER DB ONLY	156435A		
	1	LOG STEPPER 18"HEIGHT DB ONLY	173908A		
	1	MUSHROOM STEPPER 16"HEIGHT DB ONLY	171570A		
	1	MUSHROOM STEPPER 20"HEIGHT DB ONLY	171571A		
	1	SWAY FUN WHEELCHAIR GLIDER 16"HEIGHT	138871A		
	1	WELCOME SIGN (LSI PROVIDED) AGES 5-12 YEARS DB	182503C		
B	1	FOX DEN HANGOUTS DB ONLY	307431A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
C	1	WE-GO-ROUND W/PERF PANELS - 2 SEATS DB ONLY	248819A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
D	1	MARBLE PANEL	168662A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
	1	OPTIGEAR PANEL	168104A		
	2	SENSORY PLAY CENTER WALL DB	168100A		
	2	SENSORY PLAY CENTER WALL END DB	168101A		
	3	SENSORY PLAY STATION PLATE	168661A		
E	1	RHAPSODY ANIMATO METALLOPHONE DB	214438A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
F	1	RHAPSODY KETTLE DRUM DB	214445A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
G	1	BELT SEAT PROGUARD CHAINS 8' BEAM	174018A	LS	PURCHASED BY OWNER, RENDERING DATED 09/20/2023
	2	FULL BUCKET SEAT PROGUARD CHAINS 8' BEAM	176038A		
	1	MOLDED BUCKET SEAT (5-12 YRS) W/HARNESS PROGUARD CHAINS 8' BEAM	177351A		
	1	SINGLE POST SWING FRAME 8' BEAM	177332A		
	1	SINGLE POST SWING FRAME ADDTL BAY 8' BEAM	177333A		



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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

SCHEDULES

SHEET NUMBER:

SD1.2

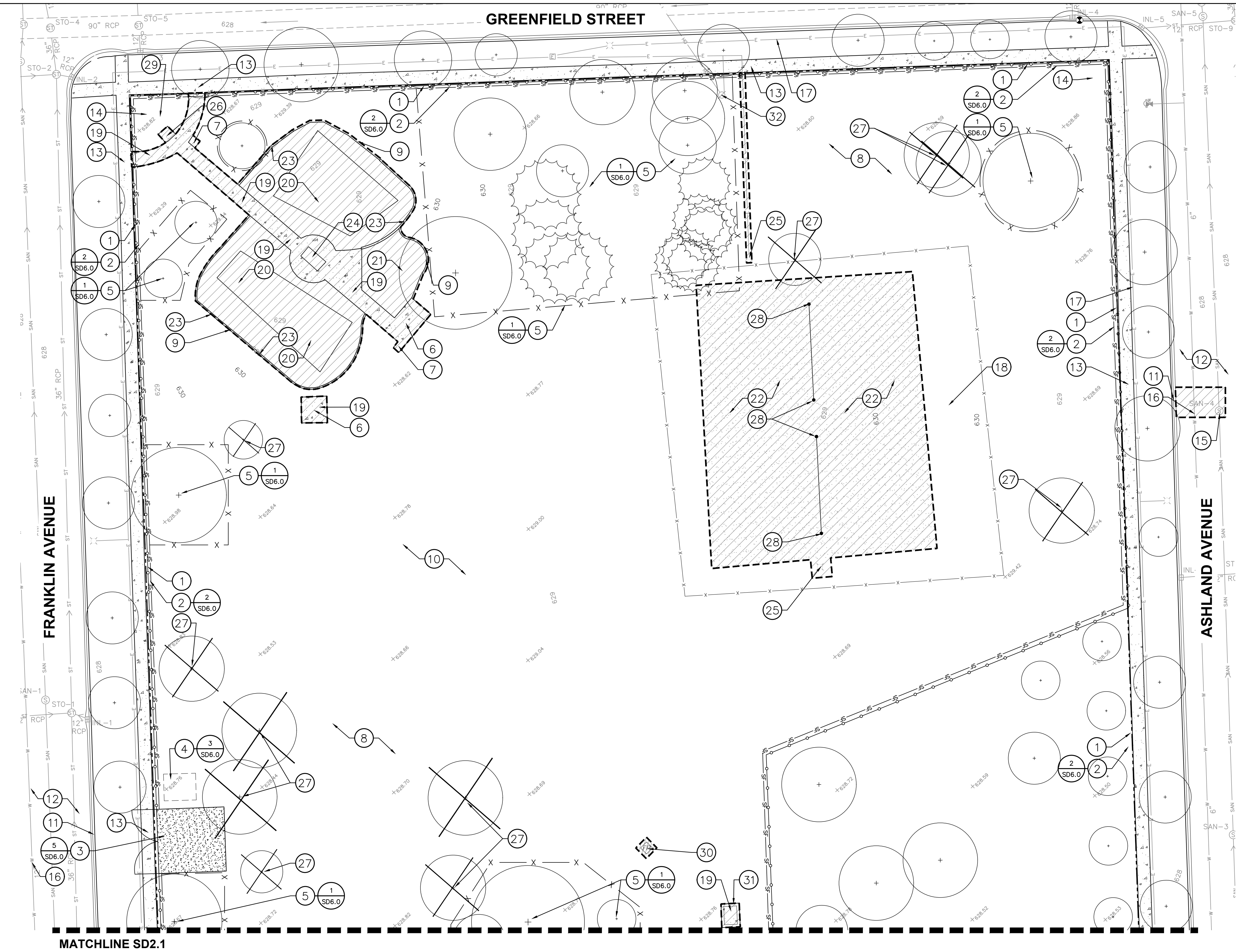
JSD PROJECT NO:

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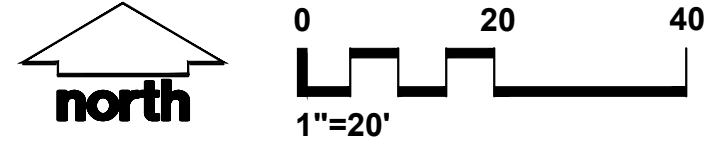
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File: \\JSD\Chicago\projects\2024\14428\DWG\Landscape\Architecture\MWRD Submittals\24-14428 SD2.0 Existing Conditions & Demolition Plan.dwg Layout: SD2.0 DEMOLITION User: eric.drakes Plotted: Jun 30, 2025 - 4:33pm Xref's:



1 EXISTING CONDITIONS & DEMOLITION PLAN  
SD2.0



LEGEND

- TREE REMOVAL
- PROPERTY LINE
- CONSTRUCTION FENCE
- SILT FENCE
- TREE PROTECTION FENCE
- REMOVALS
- CONSTRUCTION ENTRANCE

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
BM-2	628.07	CHISELED X IN CURB HEAD AT THE SW CORNER OF GREENFIELD AND ASHLAND AVE

\*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

EXISTING CONDITIONS & DEMOLITION PLAN NOTES:

- FURNISH AND INSTALL 6' CHAIN LINK CONSTRUCTION FENCE. PROVIDE ONE 20' GATE/OPENING FOR CONSTRUCTION ENTRANCE. FURNISH COMBINATION LOCK AND PROVIDE PARK DISTRICT WITH COMBINATION. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING WALK AND CURB/GUTTER WITHIN CONSTRUCTION ACCESS. CONSTRUCTION FENCING CAN BE TAKEN DOWN TO ACCOMMODATE CONSTRUCTION BUT MUST BE REINSTALLED BY THE END OF THE WORK DAY. CONTRACTOR TO MAINTAIN FENCE DURING CONSTRUCTION.
- FURNISH AND INSTALL EROSION CONTROL SILT FENCE. SEE DETAIL.
- STABILIZED CONSTRUCTION ENTRANCE. NO MACHINERY SHALL DRIVE OVER THE PAVEMENT, CURB, OR SIDEWALK WITHOUT PROTECTING. ANY DAMAGE THAT OCCURS WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. SEE DETAIL.
- FURNISH, INSTALL, MAINTAIN AND REMOVE CONCRETE WASHOUT. COMPLY WITH ILLINOIS URBAN MANUAL.
- EXISTING TREES TO REMAIN. PROTECT DURING CONSTRUCTION. FURNISH AND INSTALL SNOW FENCE. IT IS THE ESSENCE OF THE CONTRACT TO PRESERVE THE PRESENT CONDITION OF THE TREES TO REMAIN. ALL REMOVALS AND DEMOLITION OF MATERIALS BENEATH THE TREE CANOPIES TO BE PERFORMED BY MANUAL OPERATIONS (HAND). NO MACHINERY TO BE USED BENEATH THE CANOPY OF THE TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE.
- PARK DISTRICT TO RELOCATE PICNIC TABLES PRIOR TO CONSTRUCTION START.
- EXISTING LITTER/RECYCLING RECEPTACLE TO BE REMOVED BY PARK DISTRICT.
- EXISTING MEMORIAL PLAQUES TO BE REMOVED BY PARK DISTRICT.
- EXISTING BOULDERS TO BE WASHED AND STORED ON SITE FOR REINSTALLATION. ANY UNUSED BOULDERS WILL BE TAKEN BY THE PARK DISTRICT.
- EXISTING SOCCER GOALS TO BE REMOVED BY PARK DISTRICT.
- EXISTING CURB AND GUTTER TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CURB WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING BITUMINOUS PAVEMENT TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE BITUMINOUS PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING CONCRETE TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CONCRETE WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING STONE ENTRY COLUMNS TO BE REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE STONE ENTRY COLUMNS WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING UTILITY STRUCTURES TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO THE UTILITY STRUCTURES WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING WATER LINE TO REMAIN AND BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO THE WATER LINE WILL BE REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT. CONTRACTOR SHALL COORDINATE WITH THE PARK DISTRICT FOR EXACT LOCATION OF WATER LINE PRIOR TO CONSTRUCTION.
- EXISTING ELECTRIC LINE TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE ELECTRIC LINE WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
- EXISTING YARD HYDRANT TO BE RELOCATED. ADJUST WATER LINE FOR NEW YARD HYDRANT LOCATION.
- EXISTING CONCRETE PAVEMENT, INCLUDING REINFORCEMENT, AGGREGATE BASE AND APPURTENANCES, TO BE REMOVED AND HAULED OFF SITE. SAWCUT TO PROVIDE A CLEAN VERTICAL EDGE.
- SELECT PLAY APPARATUS AND INDEPENDENT PLAY COMPONENTS TO BE REMOVED BY KIDS AROUND THE WORLD. REMAINING EQUIPMENT AND ALL ASSOCIATED FOOTINGS AND WOOD FIBER MULCH TO BE REMOVED BY THE CONTRACTOR. REVIEW WITH LANDSCAPE ARCHITECT.
- EXISTING PLAY AREA SAND CAN BE USED FOR THE BOTTOM 6-INCHES OF THE PROPOSED VOLLEYBALL COURTS. ANY REMAINING SAND TO BE HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.
- EXISTING VOLLEYBALL SAND CAN BE USED FOR THE BOTTOM 6-INCHES OF THE PROPOSED VOLLEYBALL COURTS. ANY REMAINING SAND TO BE HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.
- EXISTING CURB TO BE REMOVED INCLUDING REINFORCEMENT, AGGREGATE BASE AND APPURTENANCES, AND HAULED OFF SITE.
- EXISTING BENCH, INCLUDING FOOTINGS, TO BE REMOVED AND HAULED OFF SITE.
- EXISTING LIGHT POLE TO BE REMOVED AND HAULED OFF SITE.
- EXISTING DRINKING FOUNTAIN TO BE REMOVED AND HAULED OFF SITE.
- EXISTING TREE TO BE REMOVED, INCLUDING ROOTBALL. GRIND STUMP TO A MINIMUM OF 2-INCHES BELOW GRADE. ANY ASH TREES (FRAXINUS SPP.) SHALL BE DISPOSED OF IN A LEGAL MANNER COMPLIANT TO LOCAL LAWS REGARDING EMERALD ASH BORERS.
- EXISTING VOLLEYBALL POSTS/EQUIPMENT TO BE REMOVED, INCLUDING FOOTINGS AND HAULED OFF SITE.
- EXISTING PLANTINGS TO BE REMOVED AND HAULED OFF SITE.
- EXISTING FLAG POLE INCLUDING FOOTINGS TO BE REMOVED AND HAULED OFF SITE.
- EXISTING PORT-A-POTTY AND ENCLOSURE TO BE REMOVED AND HAULED OFF SITE.
- EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE UTILITY POLE WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.



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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

EXISTING CONDITIONS &  
DEMOLITION PLAN

SHEET NUMBER:

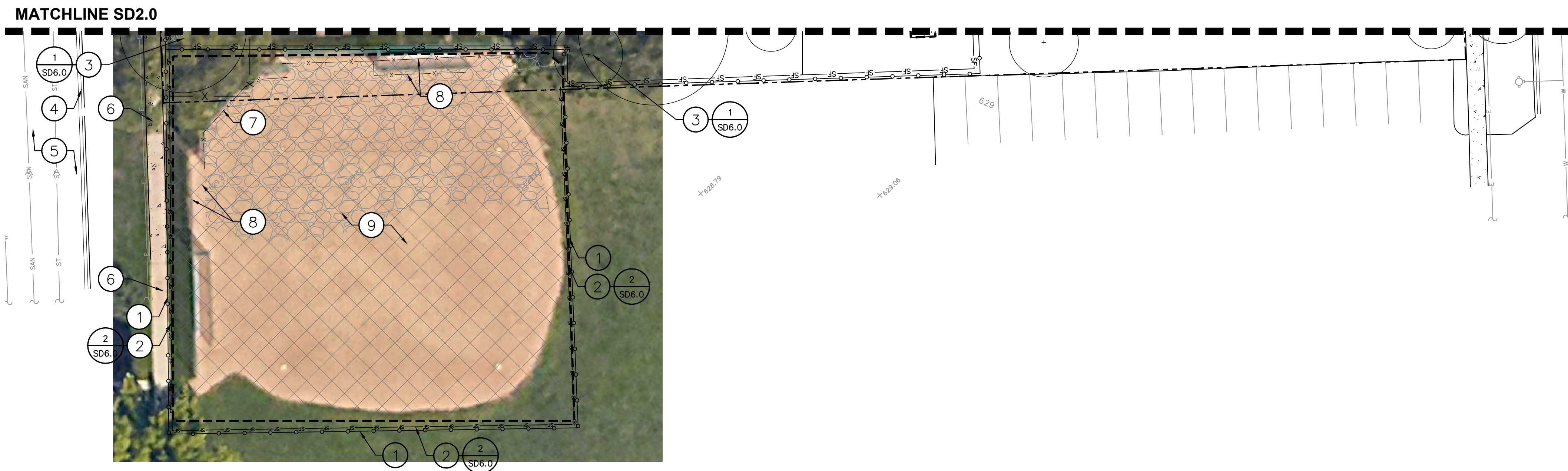
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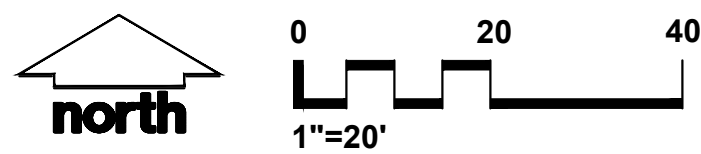
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## EXISTING CONDITIONS & DEMOLITION PLAN: ALTERNATE



**EXISTING CONDITIONS &  
DEMOLITION PLAN NOTES:**

1. FURNISH AND INSTALL 6" CHAIN LINK CONSTRUCTION FENCE. PROVIDE ONE 2' GATE/OPENING FOR CONSTRUCTION ENTRANCE. FURNISH COMBINATION LOCK AND PROVIDE PARK DISTRICT WITH COMBINATION. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT EXISTING WALK AND CURB/GUTTER WITHIN CONSTRUCTION ACCESS. CONSTRUCTION FENCING CAN BE TAKEN DOWN TO ACCOMMODATE CONSTRUCTION BUT MUST BE REINSTALLED BY THE END OF THE WORK DAY. CONTRACTOR TO MAINTAIN FENCE DURING CONSTRUCTION.
2. FURNISH AND INSTALL EROSION CONTROL SILT FENCE. SEE DETAIL.
3. EXISTING TREES TO REMAIN. PROTECT DURING CONSTRUCTION. FURNISH AND INSTALL SNOW FENCE. IT IS THE ESSENCE OF THIS CONTRACT TO PRESERVE THE PRESENT CONDITION OF THE TREES TO REMAIN. ALL REMOVALS AND DEMOLITION OF MATERIALS BENEATH THE TREE CANOPIES TO BE PERFORMED BY MANUAL OPERATIONS (NO MACHINERY TO BE USED BENEATH THE CANOPY OF THE TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE.
4. EXISTING CURB AND GUTTER TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO CURB WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
5. EXISTING BITUMINOUS PAVEMENT TO BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE BITUMINOUS PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
6. EXISTING CONCRETE TO REMAIN AND BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THE CONCRETE WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE PARK DISTRICT.
7. EXISTING BACKSTOP, INCLUDING FENCE, RAILS, POSTS AND FOOTINGS TO BE REMOVED AND HAULED OFF SITE.
8. EXISTING FENCING, INCLUDING FENCE, RAILS, POSTS, FOOTINGS AND GATES TO BE REMOVED AND HAULED OFF SITE.
9. EXISTING INFIELD MIX CAN BE USED FOR THE BOTTOM 3"-INCHES OF THE PROPOSED INFIELD. ANY REMAINING MIX TO BE HAULED OFF SITE. DISPOSE OF IN A LEGAL MANNER.

### LEGEND

 PROPERTY LINE  
 CONSTRUCTION FENCE  
 SILT FENCE  
 ALTERNATE REMOVALS

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
BM-2	628.07	CHISELED X IN CURB HEAD AT THE SW CORNER OF GREENFIELD AND ASHLAND AVE

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PARK DISTRICT**



**CLIENT ADDRESS:**

401 THATCHER AVENUE  
RIVER FOREST, IL 60305

**PROJECT:**

## CONSTITUTION PARK

**PROJECT LOCATION:**

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	05.06.25	MWRD SUBMITTAL
2	06.30.25	MWRD SUBMITTAL
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Designed By: SCD/EJD

Reviewed By: LMV

**SHEET TITLE:**

**EXISTING CONDITIONS &  
DEMOLITION PLAN:  
ALTERNATE**

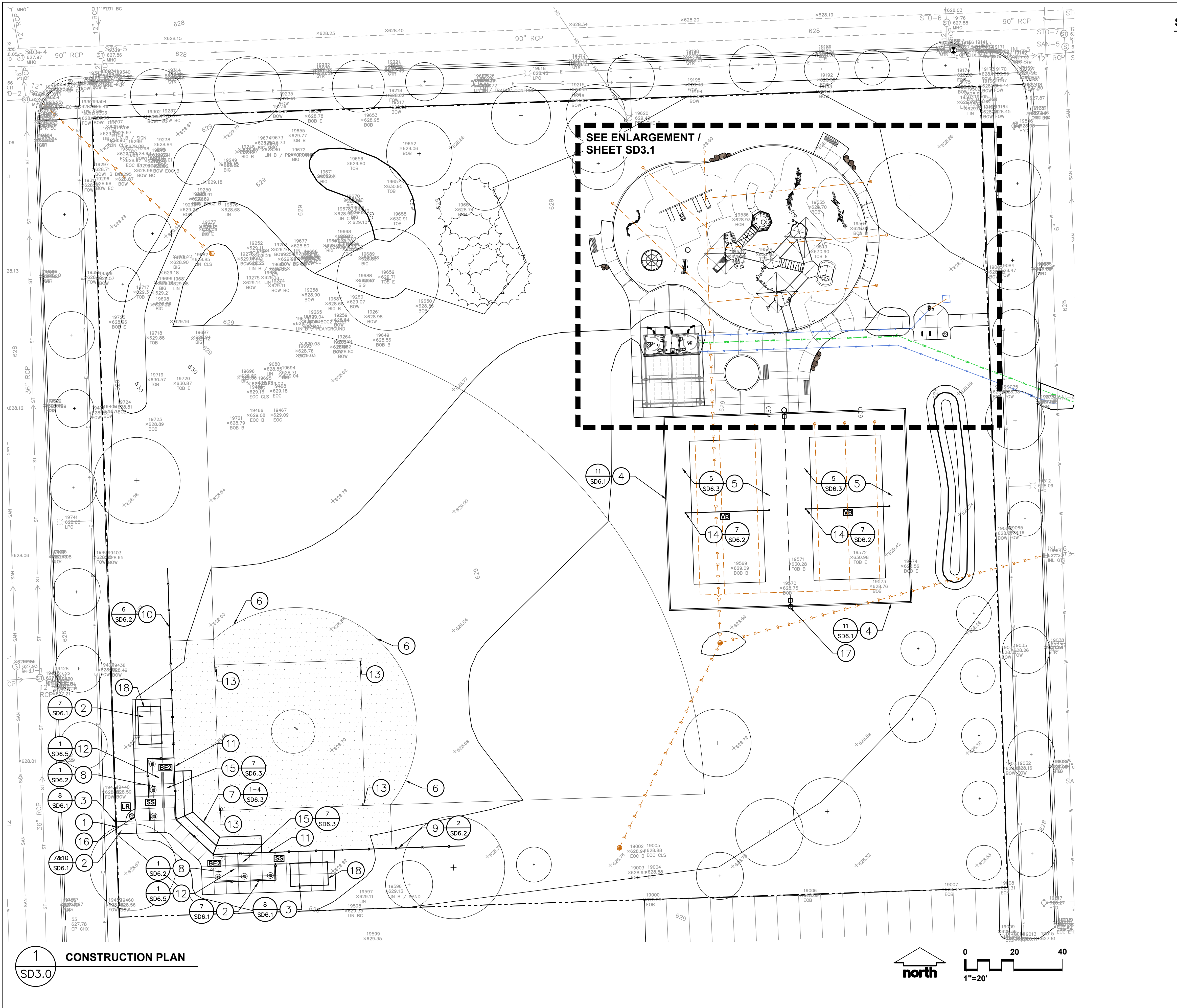
**SHEET NUMBER:**

# SD2.1

JSD PROJECT NO: 24-14428



File: \\JSD\\Chicago projects\\2024\\14428\\DWG\\Landscape Architecture\\MWRD Submittals\\24-14428 SD3.0 Construction Plan.dwg Layout: SD3.0 CONST User: eric.drakas Plotted: Jun 30, 2025 4:41pm Xrefs:



#### SITE CONSTRUCTION PLAN NOTES:

- MEET EXISTING CONCRETE PAVEMENT ELEVATION WITH NEW 4" REINFORCED CONCRETE FLUSH. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
- 4" REINFORCED CONCRETE. SCORE CONCRETE IN 5' MODULES OR AS SHOWN AND PROVIDE 1/2" EXPANSION JOINTS AT 30' INTERVALS OR AS SHOWN. BACKFILL WALK WHERE APPLICABLE WITH TOPSOIL BY AN APPROVED METHOD. SEE DETAIL.
- PROVIDE 1/2" EXPANSION JOINT AT 30' INTERVALS, OR AS SHOWN. SEE DETAIL.
- 6"x18" CONCRETE CURB WITH PIERS. SEE DETAIL. WHERE CURB MEETS CONCRETE WALK, DOWEL INTO CONCRETE WALK WITH 6" X 3/8" DIA. STEEL ROD.
- SAND VOLLEYBALL COURT DEVELOPMENT. EXCAVATE SUBGRADES SHOWN. SUBGRADE ELEVATION TO BE APPROVED BY LANDSCAPE ARCHITECT AND FREE OF LITTER, DEBRIS, AND ROCKS. CONTRACTOR TO INSTALL SOIL SEPARATOR AND FURNISH AND INSTALL CLEAN MASON'S SAND TO ELEVATIONS SHOWN. (12" DEEP AFTER CONSOLIDATION) OVER PREPARED SUBGRADES WITHIN LIMITS OF CURB.
- DENOTES LIMIT OF 6" DEPTH CLAY INFELD FOR BALLFIELD. CONTRACTOR SHALL FURNISH AND INSTALL 3" OF INFELD MIX AS SUPPLIED BY THELEN MATERIALS, OR APPROVED EQUAL.
- FURNISH AND INSTALL BACKSTOP (BA). SEE DETAIL. SEE ALSO SITE FURNISHINGS SCHEDULE.
- FURNISH AND INSTALL 6' HT. BLACK VINYL COATED CHAIN LINK FENCE. SEE DETAIL.
- FURNISH AND INSTALL 8' HT. BLACK VINYL COATED CHAIN LINK FENCE. SEE DETAIL.
- FURNISH AND INSTALL 12' HT. BLACK VINYL COATED CHAIN LINK FENCE. SEE DETAIL.
- DENOTES 5' OPENING IN BLACK VINYL COATED CHAIN LINK FENCING.
- FURNISH AND INSTALL METAL DUGOUT SHADES (SS). SEE SITE FURNISHINGS SCHEDULE AND DETAILS.
- PARK DISTRICT TO REINSTALL EXISTING PINS AND HOMEPLATE.
- FURNISH AND INSTALL VOLLEYBALL NET AND POSTS (VB). SEE SITE FURNISHINGS SCHEDULE AND DETAIL.
- FURNISH AND INSTALL PLAYER BENCH (BE2). SEE SITE FURNISHINGS SCHEDULE AND DETAIL.
- FURNISH AND INSTALL LITTER RECEPTACLE (LR). SEE SITE FURNISHINGS SCHEDULE.
- FURNISH AND INSTALL LIGHT. SEE ELECTRICAL PLANS.
- PARK DISTRICT TO DELIVER BLEACHERS TO SITE.

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF 'NE FLANGE' BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
BM-2	628.07	CHISELED X IN CURB HEAD AT THE SW CORNER OF GREENFIELD AND ASHLAND AVE

\*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



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P. 312.644.3379

CLIENT:

RIVER FOREST  
PARK DISTRICT



CLIENT ADDRESS:

401 THATCHER AVENUE  
RIVER FOREST, IL 60305

PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

CONSTRUCTION PLAN

SHEET NUMBER:

SD3.0

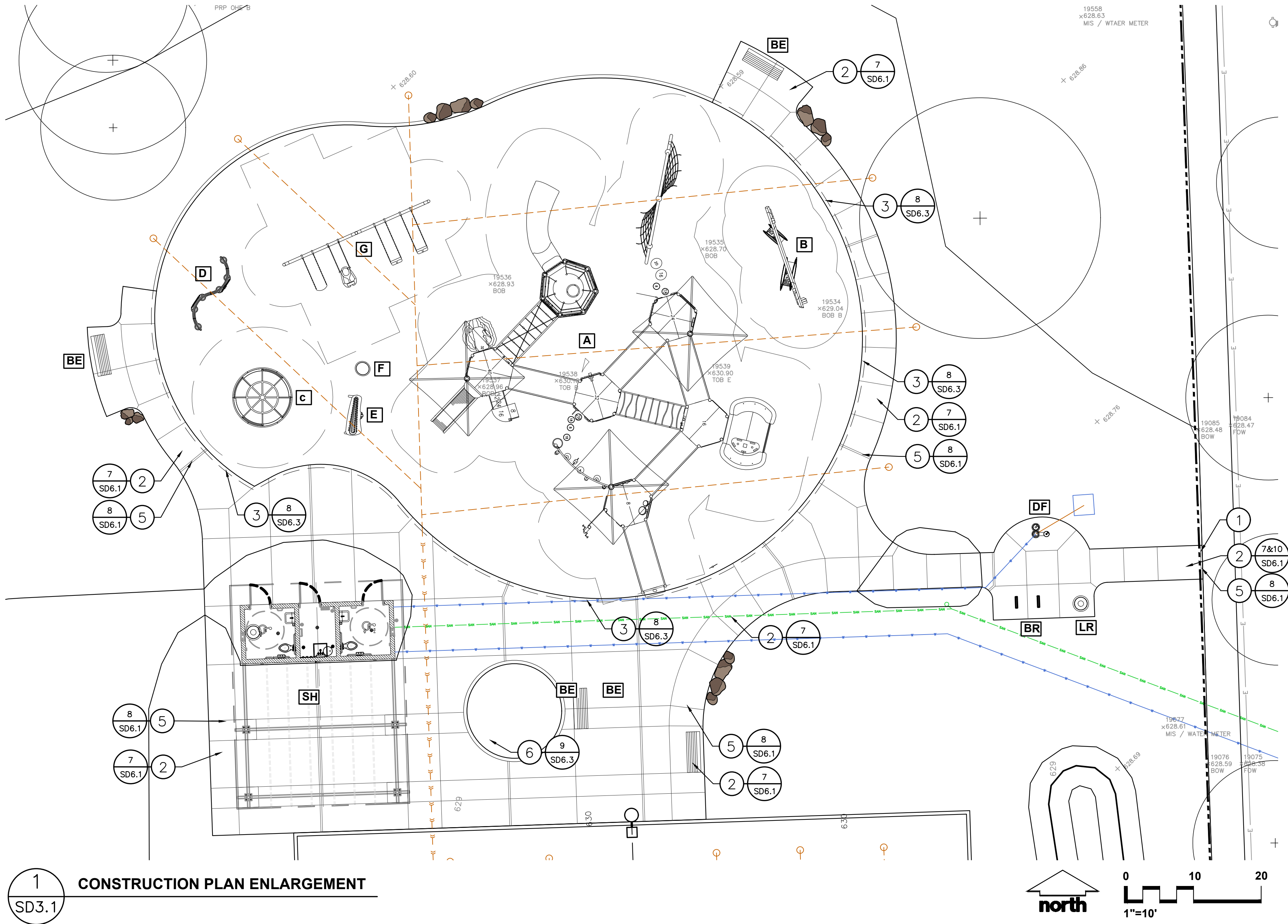
JSD PROJECT NO:

24-14428

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File: \JSD\Chicago projects\2024\2414428\DWG\Landscaping\Architecture\MWRD Submittals\24-14428 SD3.0 Construction Plan.dwg Layout: SD3.1 CPA User: eric.drahas Plotted: Jun 30, 2025 - 4:41 pm Xrefs:



**SITE CONSTRUCTION PLAN NOTES:**

1. MEET EXISTING CONCRETE PAVEMENT ELEVATION WITH NEW 4" REINFORCED CONCRETE FLUSH. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
2. 4" REINFORCED CONCRETE. SCORE CONCRETE IN 5' MODULES OR AS SHOWN AND PROVIDE 1/2" EXPANSIONS JOINTS AT 30' INTERVALS OR AS SHOWN. BACKFILL WALK WHERE APPLICABLE WITH TOPSOIL BY AN APPROVED METHOD. SEE DETAIL.
3. 4" REINFORCED CONCRETE WITH THICKENED CURB EDGE. SCORE CONCRETE IN 5' MODULES OR AS SHOWN AND PROVIDE 1/2" EXPANSIONS JOINTS AT 30' INTERVALS OR AS SHOWN. BACKFILL WALK WHERE APPLICABLE WITH TOPSOIL BY AN APPROVED METHOD. SEE DETAIL.
4. PROVIDE 1/2" EXPANSION JOINT AT 30' INTERVALS, OR AS SHOWN. SEE DETAIL.
5. 6"x12" CONCRETE CURB. SEE DETAIL.
6. 6"x18" PLANTER CONCRETE CURB. SEE DETAIL.
7. FURNISH AND INSTALL POURED-IN-PLACE RUBBER PLAY SURFACE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR MINIMUM FALL HEIGHT IN COMPLIANCE WITH ASTM STANDARDS. SEE DETAILS FOR COLOR LAYOUT AND CONSTRUCTION REQUIREMENTS.
8. MEET NEW 4" REINFORCED CONCRETE PAVEMENT WITH NEW POURED-IN-PLACE SURFACING FLUSH. ALL PAVEMENT TRANSITIONS SHALL BE SMOOTH AND SUBTLE. ANY ABRUPT OR NOTICEABLE ELEVATION CHANGES SHALL BE REMOVED OR REPAIRED AT NO ADDITIONAL EXPENSE TO THE PARK DISTRICT.
9. INSTALL PLAY APPARATUS FURNISHED BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. VERIFY SAFETY CLEARANCES PRIOR TO INSTALLATION. AVOID DRAIN LINES. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IMMEDIATELY. SEE ALSO PLAY APPARATUS SCHEDULE.
10. INSTALL PLAY APPARATUS WELCOME SIGN PURCHASED BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. AVOID DRAIN LINES. SEE ALSO PLAY APPARATUS SCHEDULE.
11. FURNISH AND INSTALL OUTCROPPING BOULDERS. POWERWASH PRIOR TO INSTALLATION. SEE DETAIL.
12. FURNISH AND INSTALL SHELTER (SH). SEE DETAIL. SEE ALSO SITE FURNISHINGS SCHEDULE.
13. FURNISH AND INSTALL PICNIC TABLE (TA). SEE DETAIL. SEE ALSO SITE FURNISHINGS SCHEDULE.
14. FURNISH AND INSTALL LITTER RECEPTACLE (LR). SEE SITE FURNISHINGS SCHEDULE.
15. FURNISH AND INSTALL BENCH (BE). SEE DETAIL. SEE ALSO SITE FURNISHINGS SCHEDULE.
16. FURNISH AND INSTALL BIKE RACK (BR). SEE DETAIL. SEE ALSO SITE FURNISHINGS SCHEDULE.
17. FURNISH AND INSTALL DRINKING FOUNTAIN (DF). SEE SITE FURNISHINGS SCHEDULE AND DETAIL.
18. FURNISH AND INSTALL LIGHT. SEE ELECTRICAL PLANS.



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P. 312.644.3379

CLIENT:

**RIVER FOREST  
PARK DISTRICT**



CLIENT ADDRESS:

**401 THATCHER AVENUE  
RIVER FOREST, IL 60305**

PROJECT:

**CONSTITUTION  
PARK**

PROJECT LOCATION:

**7715 GREENFIELD ST  
RIVER FOREST, IL 60305**

**PLAN MODIFICATIONS:**

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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

**CONSTRUCTION PLAN  
ENLARGEMENT**

SHEET NUMBER:

**SD3.1**

JSD PROJECT NO:

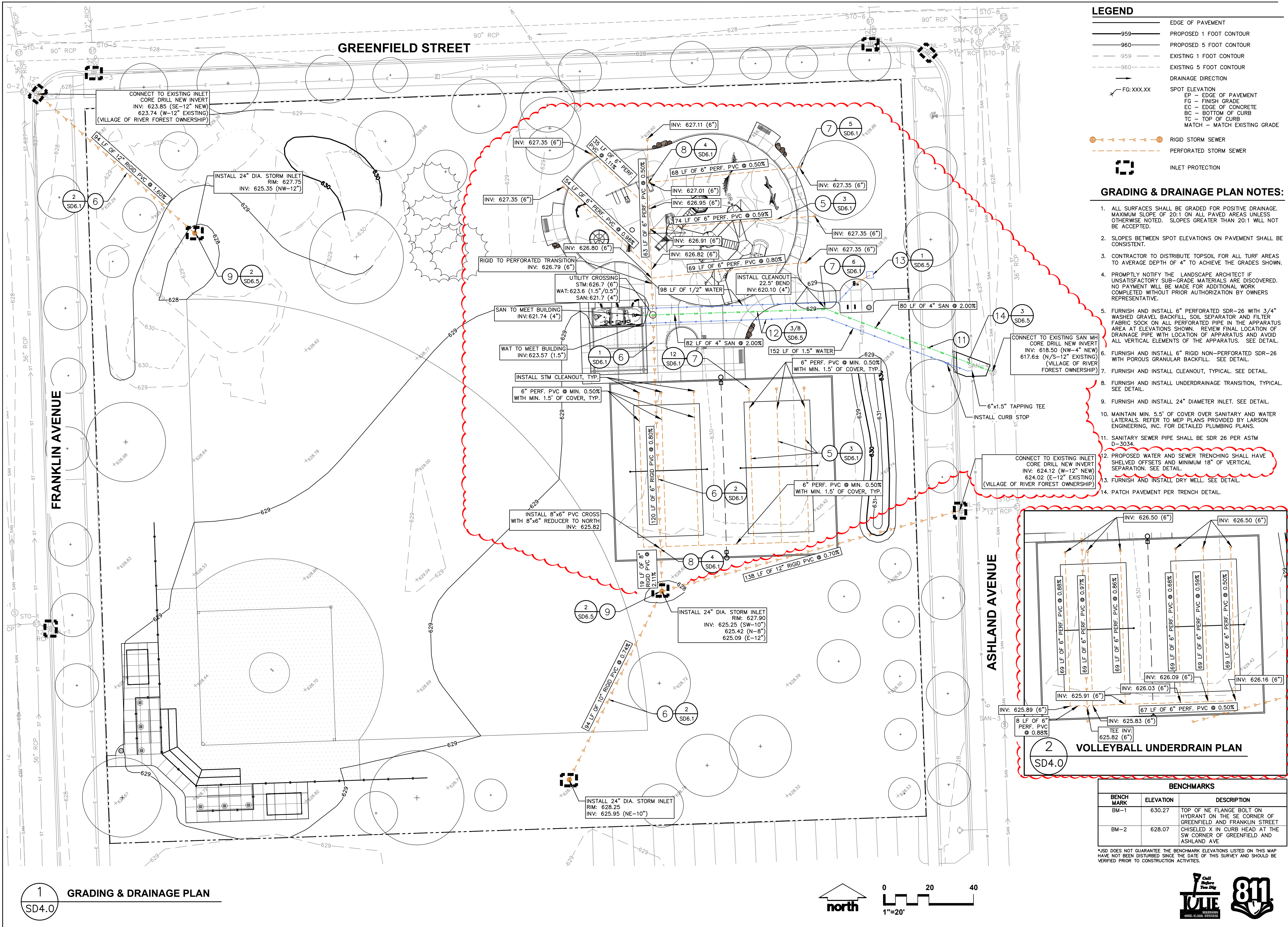
24-14428

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
BM-2	628.07	CHISELED X IN CURB HEAD AT THE SW CORNER OF GREENFIELD AND ASHLAND AVE

\*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



File: \\JSD\\Chicago projects\\2024\\2414428\\DWG\\Landscape Architecture\\MWRD Submittals\\24-14428 SD4.0 Grading & Drainage Plan.dwg Layout: SD4.0 Overall Grading & Drainage Plan.dwg User: eric.drakas Plotted: Jun 30, 2025 4:49pm Xrefs:

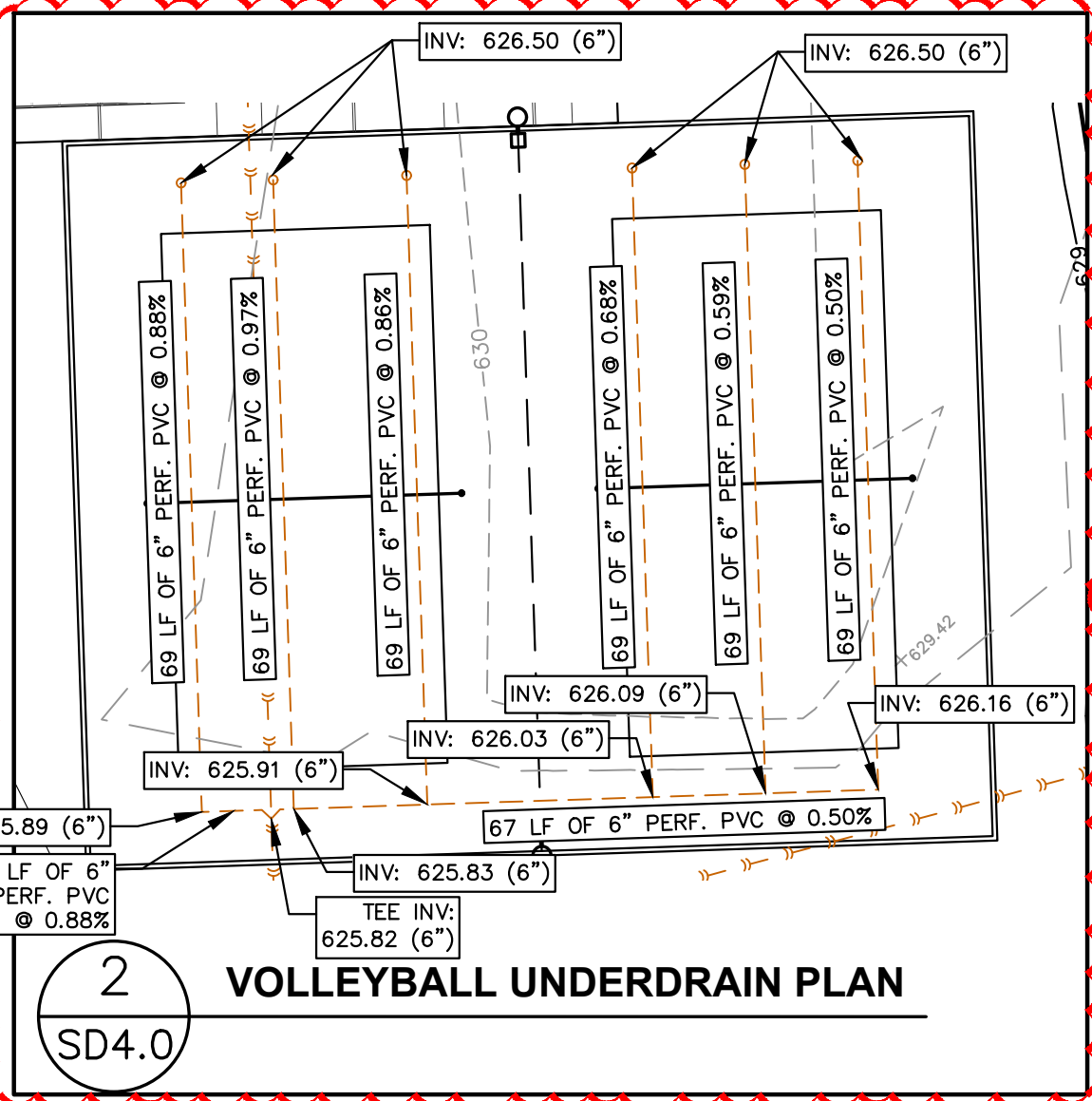


#### LEGEND

- 959— PROPOSED 1 FOOT CONTOUR
- 960— PROPOSED 5 FOOT CONTOUR
- - -959- - - EXISTING 1 FOOT CONTOUR
- - -960- - - EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- FG: XXX.XX SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FG - FINISH GRADE
- EC - EDGE OF CONCRETE
- BC - BOTTOM OF CURB
- TC - TOP OF CURB
- MATCH - MATCH EXISTING GRADE
- ⊗ RIGID STORM SEWER
- - - PERFORATED STORM SEWER
- ⊗ INLET PROTECTION

#### GRADING & DRAINAGE PLAN NOTES:

- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM SLOPE OF 20:1 ON ALL PAVED AREAS UNLESS OTHERWISE NOTED. SLOPES GREATER THAN 20:1 WILL NOT BE ACCEPTED.
- SLOPES BETWEEN SPOT ELEVATIONS ON PAVEMENT SHALL BE CONSISTENT.
- CONTRACTOR TO DISTRIBUTE TOPSOIL FOR ALL TURF AREAS TO AVERAGE DEPTH OF 4" TO ACHIEVE THE GRADES SHOWN.
- PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT IF UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORK COMPLETED WITHOUT PRIOR AUTHORIZATION BY OWNERS REPRESENTATIVE.
- FURNISH AND INSTALL 6" PERFORATED SDR-26 WITH 3/4" WASHED GRAVEL BACKFILL, SOIL SEPARATOR AND FILTER FABRIC SOCK ON ALL PERFORATED PIPE IN THE APPARATUS AREA AT ELEVATIONS SHOWN. REVIEW FINAL LOCATION OF DRAINAGE PIPE WITH LOCATION OF APPARATUS AND AVOID ALL VERTICAL ELEMENTS OF THE APPARATUS. SEE DETAIL.
- FURNISH AND INSTALL 6" RIGID NON-PERFORATED SDR-26 WITH POROUS GRANULAR BACKFILL. SEE DETAIL.
- FURNISH AND INSTALL CLEANOUT, TYPICAL. SEE DETAIL.
- FURNISH AND INSTALL UNDERDRAINAGE TRANSITION, TYPICAL. SEE DETAIL.
- FURNISH AND INSTALL 24" DIAMETER INLET. SEE DETAIL.
- MAINTAIN MIN. 5.5' OF COVER OVER SANITARY AND WATER LATERALS. REFER TO MEP PLANS PROVIDED BY LARSON ENGINEERING, INC. FOR DETAILED PLUMBING PLANS.
- SANITARY SEWER PIPE SHALL BE SDR 26 PER ASTM D-3034.
- PROPOSED WATER AND SEWER TRENCHING SHALL HAVE SHELVED OFFSETS AND MINIMUM 18" OF VERTICAL SEPARATION. SEE DETAIL.
- FURNISH AND INSTALL DRY WELL. SEE DETAIL.
- PATCH PAVEMENT PER TRENCH DETAIL.



BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
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CLIENT:

RIVER FOREST  
PARK DISTRICT



CLIENT ADDRESS:

401 THATCHER AVENUE  
RIVER FOREST, IL 60305

PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

OVERALL GRADING &  
UTILITY PLAN

SHEET NUMBER:

SD4.0

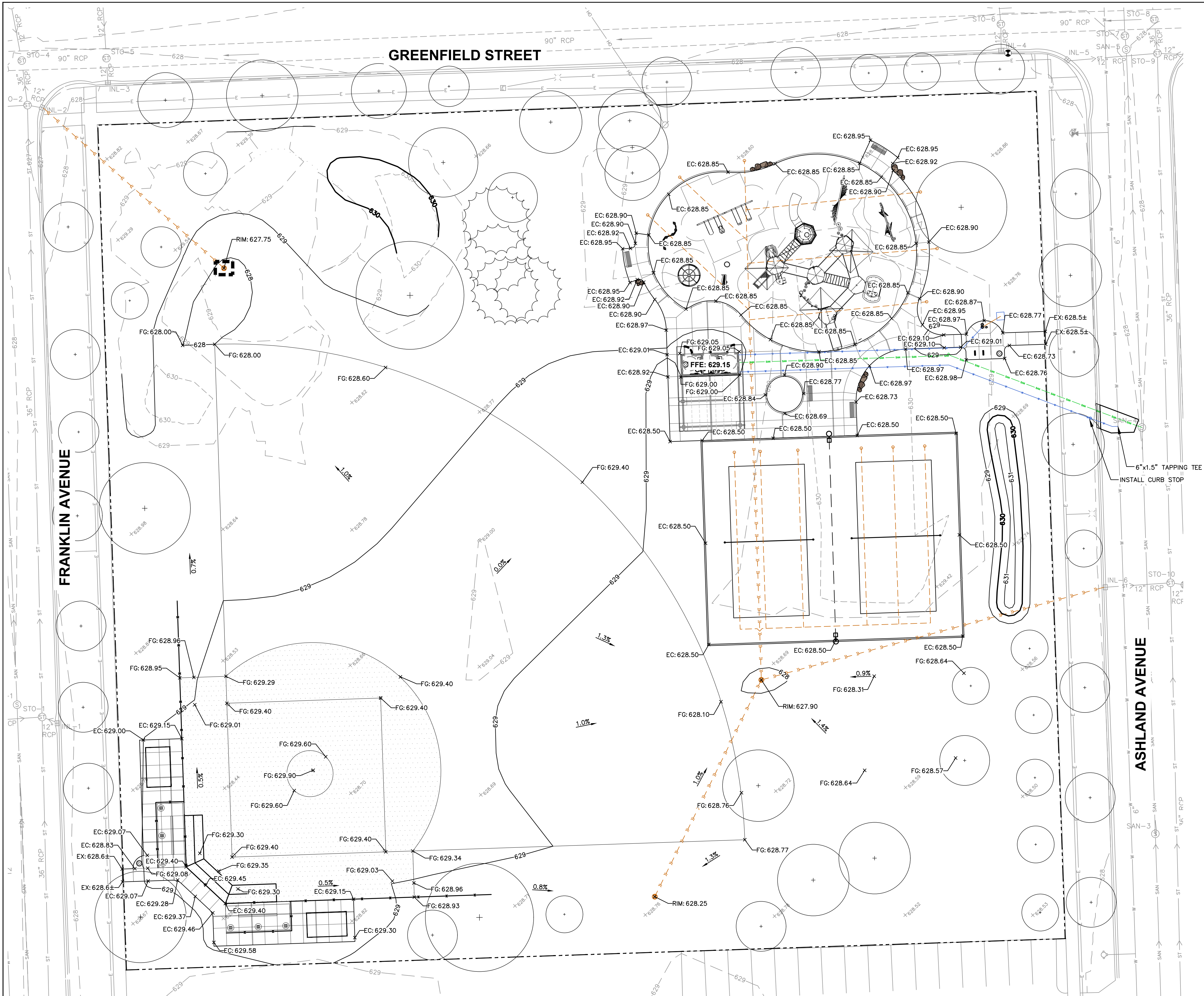
JSD PROJECT NO:

24-14428

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File: \JSD\Chicago projects\2024\2414420\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD4.0 Grading & Drainage Plan.dwg Layout: SD4.1 DETAILED GRADING & Drainage Plan.dwg User: eric.drakas Plotted: Jun 30, 2025 - 4:49pm Xrefs:



LEGEND

- EDGE OF PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- SPOT ELEVATION
  - EP - EDGE OF PAVEMENT
  - FG - FINISH GRADE
  - EC - EDGE OF CONCRETE
  - BC - BOTTOM OF CURB
  - TC - TOP OF CURB
  - MATCH - MATCH EXISTING GRADE
- RIGID STORM SEWER
- PERFORATED STORM SEWER

GRADING & DRAINAGE PLAN NOTES:

- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE. MAXIMUM SLOPE OF 20:1 ON ALL PAVED AREAS UNLESS OTHERWISE NOTED. SLOPES GREATER THAN 20:1 WILL NOT BE ACCEPTED.
- SLOPES BETWEEN SPOT ELEVATIONS ON PAVEMENT SHALL BE CONSISTENT.
- CONTRACTOR TO DISTRIBUTE TOPSOIL FOR ALL TURF AREAS TO AVERAGE DEPTH OF 4" TO ACHIEVE THE GRADES SHOWN.
- PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT IF UNSATISFACTORY SUB-GRADE MATERIALS ARE DISCOVERED. NO PAYMENT WILL BE MADE FOR ADDITIONAL WORK COMPLETED WITHOUT PRIOR AUTHORIZATION BY OWNERS REPRESENTATIVE.

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:  
DETAILED GRADING &  
DRAINAGE PLAN

SHEET NUMBER:

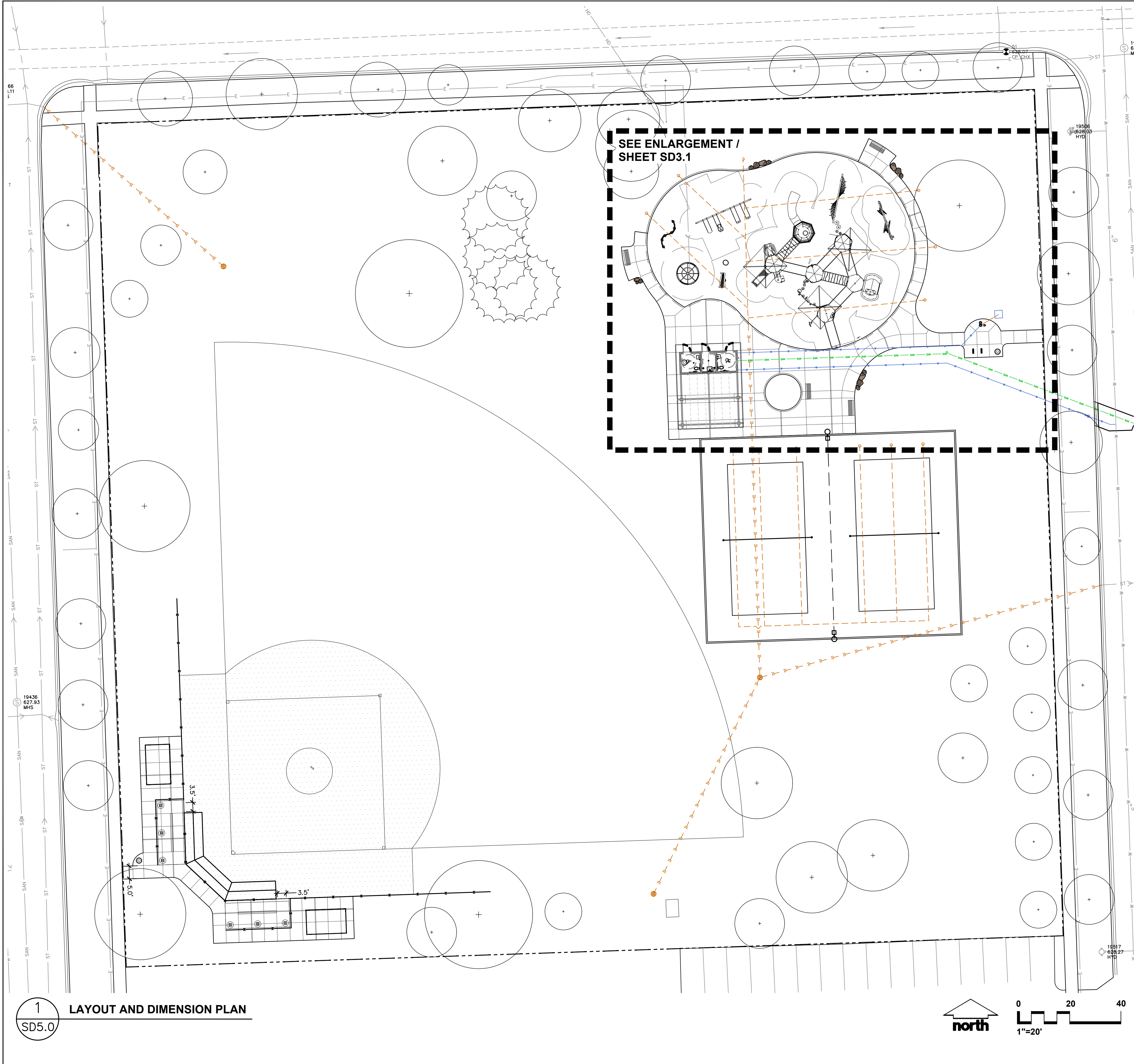
SD4.1

JSD PROJECT NO: 24-14428

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File: \JSD\Chicago projects\2024\24-14428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD5.0 Layout & Dimension Plan.dwg Layout: SD5.0 LAYOUT User: eric.drakas Plotted: Jun 30, 2025 - 4:52pm Xrefs:



LAYOUT AND DIMENSION PLAN NOTES:

1. CONTRACTOR RESPONSIBLE FOR FIELD LAYOUT OF ALL NEW IMPROVEMENTS. DIGITAL FILES OF GEOMETRIC INFORMATION AVAILABLE UPON REQUEST IN AUTOCAD FORMAT. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENTS NECESSARY TO CONSTRUCT THE WORK AS DRAWN.
2. CONTRACTOR RESPONSIBLE TO COORDINATE WORK IN ORDER TO OBTAIN APPROVAL OF ALL LAYOUT BY THE LANDSCAPE ARCHITECT/PARK DISTRICT PRIOR TO CONSTRUCTION. (THIS WORK IS CONSIDERED INCIDENTAL TO THE PROJECT AND NOT PAID AS A SEPARATE LINE ITEM). NO ADDITIONAL PAYMENT SHALL BE MADE TO CORRECT WORK IF CONSTRUCTED INCORRECTLY PRIOR TO APPROVAL OF LAYOUT.
3. ALL DIMENSION LINES SHALL EXTEND PERPENDICULAR (90 DEGREES) UNLESS OTHERWISE NOTED. ALL WALLS ARE DIMENSIONED TO FACE OF WALL UNLESS OTHERWISE NOTED.
4. ALL CURVES AND RADI ARE TO BE SMOOTH AND NOT SEGMENTED. CONTRACTOR TO PROVIDE STAKES A MINIMUM OF EVERY 10 FEET WHERE RADIOS POINT ARE NOT ACCESSIBLE.
5. ALL PLAN FEATURES SHALL BE LAID OUT AND PAINTED OR MARKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
6. UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES.
7. ALL CURB DIMENSIONS ARE GIVEN TO THE BACK OF CURB, ALL EXPANSION JOINTS AND CONTROL JOINTS SHALL BE LOCATED AS SHOWN IN THE DRAWINGS.
8. ALL DIMENSIONS FROM ROADWAY ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.



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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

LAYOUT & DIMENSION  
PLAN

SHEET NUMBER:

SD5.0

JSD PROJECT NO: 24-14428

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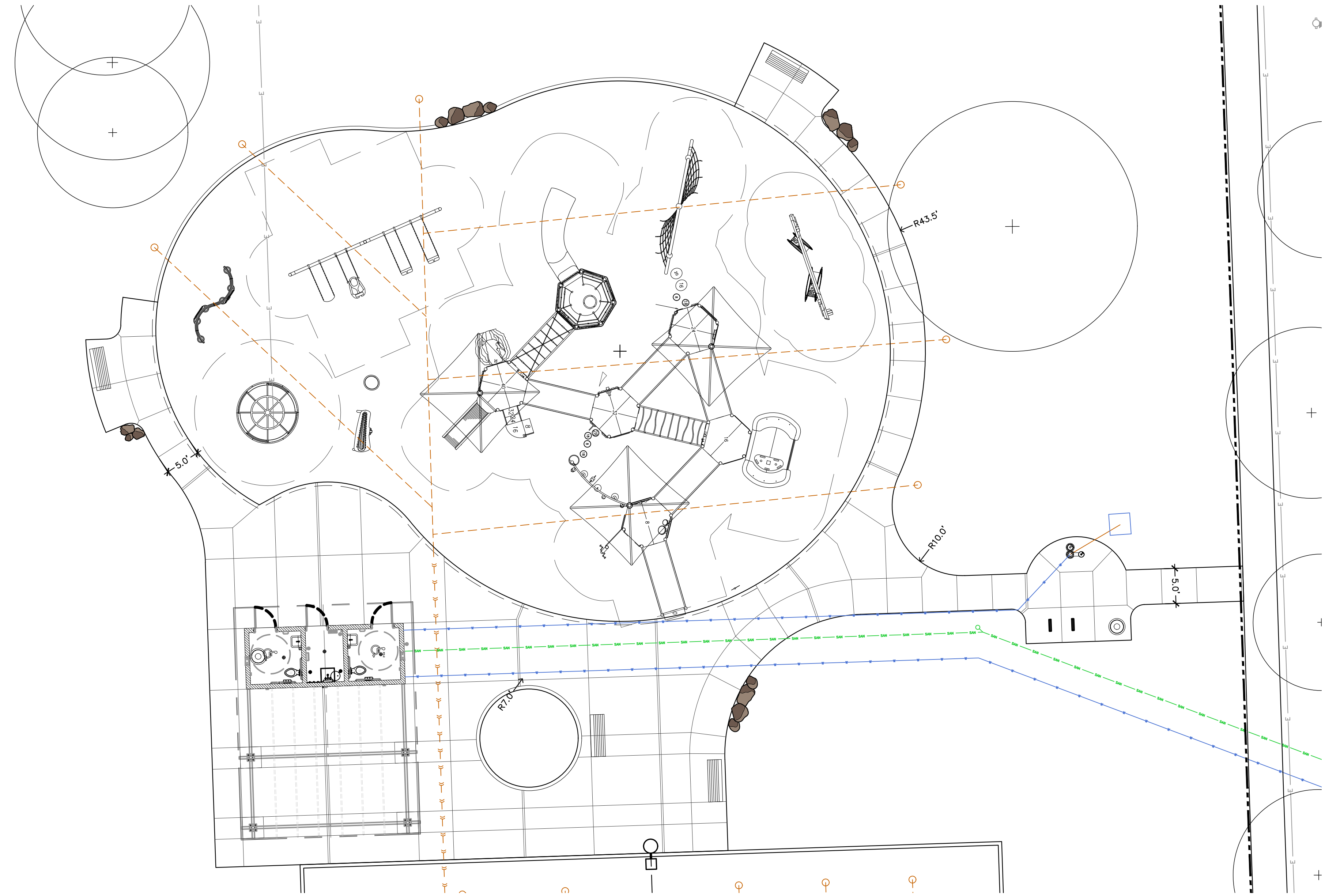


File: \JSD\Chicago projects\2024\2414428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD5.0 Layout & Dimension Plan.dwg Layout: SD5.1 CPA User: eric.drakes Plotted: Jun 30, 2025 - 4:52pm Xref's:

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SD5.1

LAYOUT AND DIMENSION PLAN ENLARGEMENT



LAYOUT AND DIMENSION PLAN NOTES:

1. CONTRACTOR RESPONSIBLE FOR FIELD LAYOUT OF ALL NEW IMPROVEMENTS. DIGITAL FILES OF GEOMETRIC INFORMATION AVAILABLE UPON REQUEST IN AUTOCAD FORMAT. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTMENTS NECESSARY TO CONSTRUCT THE WORK AS DRAWN.
2. CONTRACTOR RESPONSIBLE TO COORDINATE WORK IN ORDER TO OBTAIN APPROVAL OF ALL LAYOUT BY THE LANDSCAPE ARCHITECT/PARK DISTRICT PRIOR TO CONSTRUCTION. (THIS WORK IS CONSIDERED INCIDENTAL TO THE PROJECT AND NOT PAID AS A SEPARATE LINE ITEM). NO ADDITIONAL PAYMENT SHALL BE MADE TO CORRECT WORK IF CONSTRUCTED INCORRECTLY PRIOR TO APPROVAL OF LAYOUT.
3. ALL DIMENSION LINES SHALL EXTEND PERPENDICULAR (90 DEGREES) UNLESS OTHERWISE NOTED. ALL WALLS ARE DIMENSIONED TO FACE OF WALL UNLESS OTHERWISE NOTED.
4. ALL CURVES AND RADI TO BE SMOOTH AND NOT SEGMENTED. CONTRACTOR TO PROVIDE STAKES A MINIMUM OF EVERY 10 FEET WHERE RADIOS POINT ARE NOT ACCESSIBLE.
5. ALL PLAN FEATURES SHALL BE LAID OUT AND PAINTED OR MARKED IN THE FIELD BY THE CONTRACTOR AND REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
6. UNLESS OTHERWISE NOTED, ALL ANGLES ARE 90 DEGREES OR 45 DEGREES.
7. ALL CURB DIMENSIONS ARE GIVEN TO THE BACK OF CURB, ALL EXPANSION JOINTS AND CONTROL JOINTS SHALL BE LOCATED AS SHOWN IN THE DRAWINGS.
8. ALL DIMENSIONS FROM ROADWAY ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.



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P. 312.644.3379

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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

LAYOUT & DIMENSION  
PLAN ENLARGEMENT

SHEET NUMBER:

SD5.1

JSD PROJECT NO: 24-14428

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File: \\JSD\\Chicago projects\\2024\\2414428\\DWG\\Landscape Architecture\\MWRO Submittals\\24-14428 SD6.0 Construction Details.dwg Layout: SD6.0 Details User: eric.drakas Plotted: Jun 30, 2025 - 4:59pm Xref's:

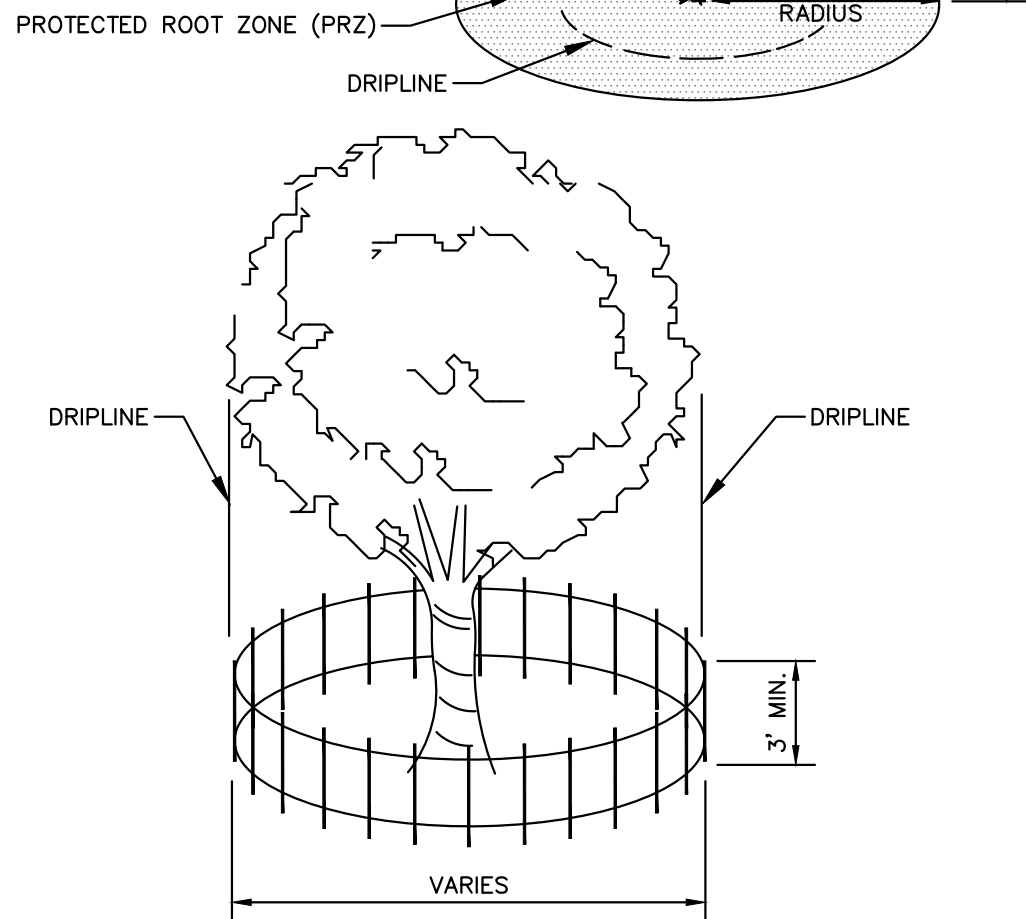
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches  
 $8 \times 1.5 = 12$   
CRR = 12 feet

DBH  $\times$  1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

DBH  $\times$  1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES

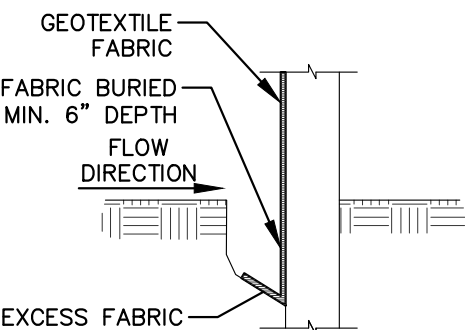


NOTE:

1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

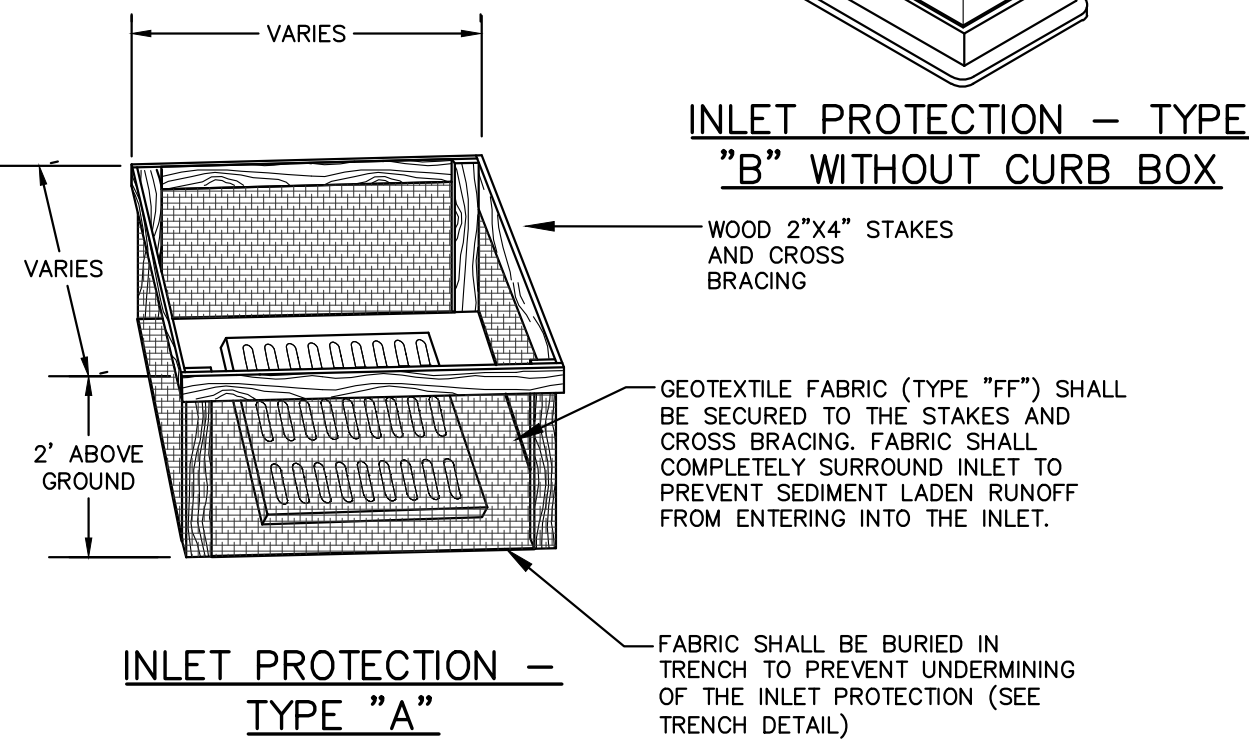
## 1 TREE PROTECTION FENCING

SD6.0 NTS



NOTE: 2' MINIMUM POST DEPTH. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

### TRENCH DETAIL



### INLET PROTECTION – TYPE "A"

### INLET PROTECTION – TYPE "B" WITHOUT CURB BOX

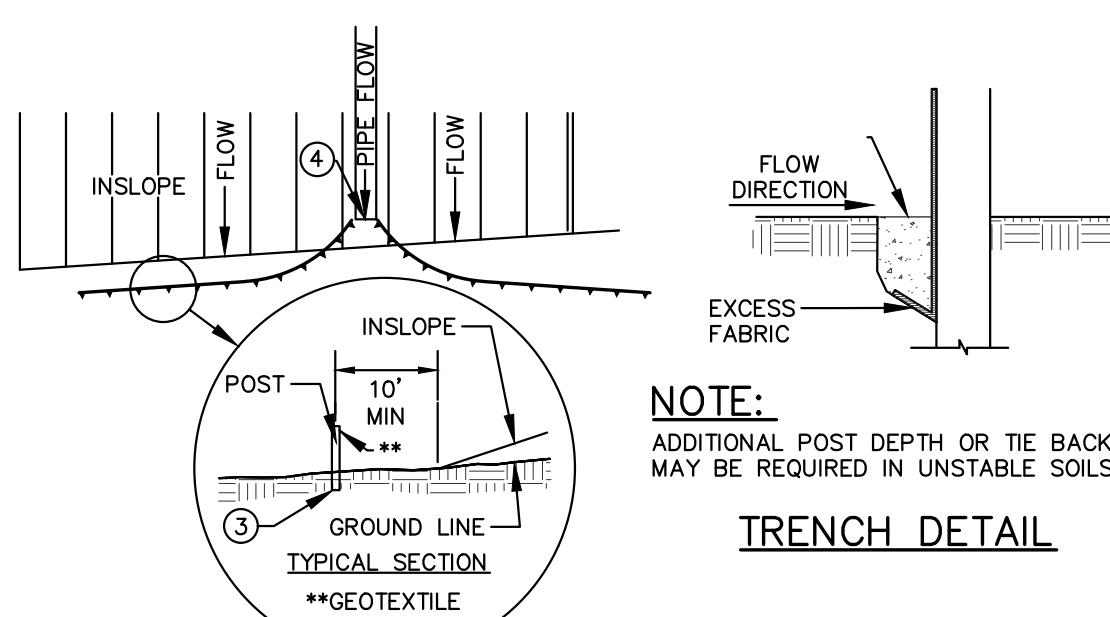
WOOD 2"x4" STAKES AND CROSS BRACING

GEOTEXTILE FABRIC (TYPE "FF") SHALL BE SECURED TO THE STAKES AND CROSS BRACING. FABRIC SHALL COMPLETELY SURROUND INLET TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING INTO THE INLET.

FABRIC SHALL BE BURIED IN TRENCH TO PREVENT UNDERMINING OF THE INLET PROTECTION (SEE TRENCH DETAIL)

## 4 INLET PROTECTION

SD6.0 NTS



NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

### TRENCH DETAIL

### SILT FENCE ALONG SLOPES & OUTFALLS

#### GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES  $\times$  1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO IDOT STANDARDS
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

## 2 SILT FENCE

SD6.0 NTS

#### GENERAL NOTES:

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER OF FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2X4

#### INSTALLATION NOTES:

##### TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHODS TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

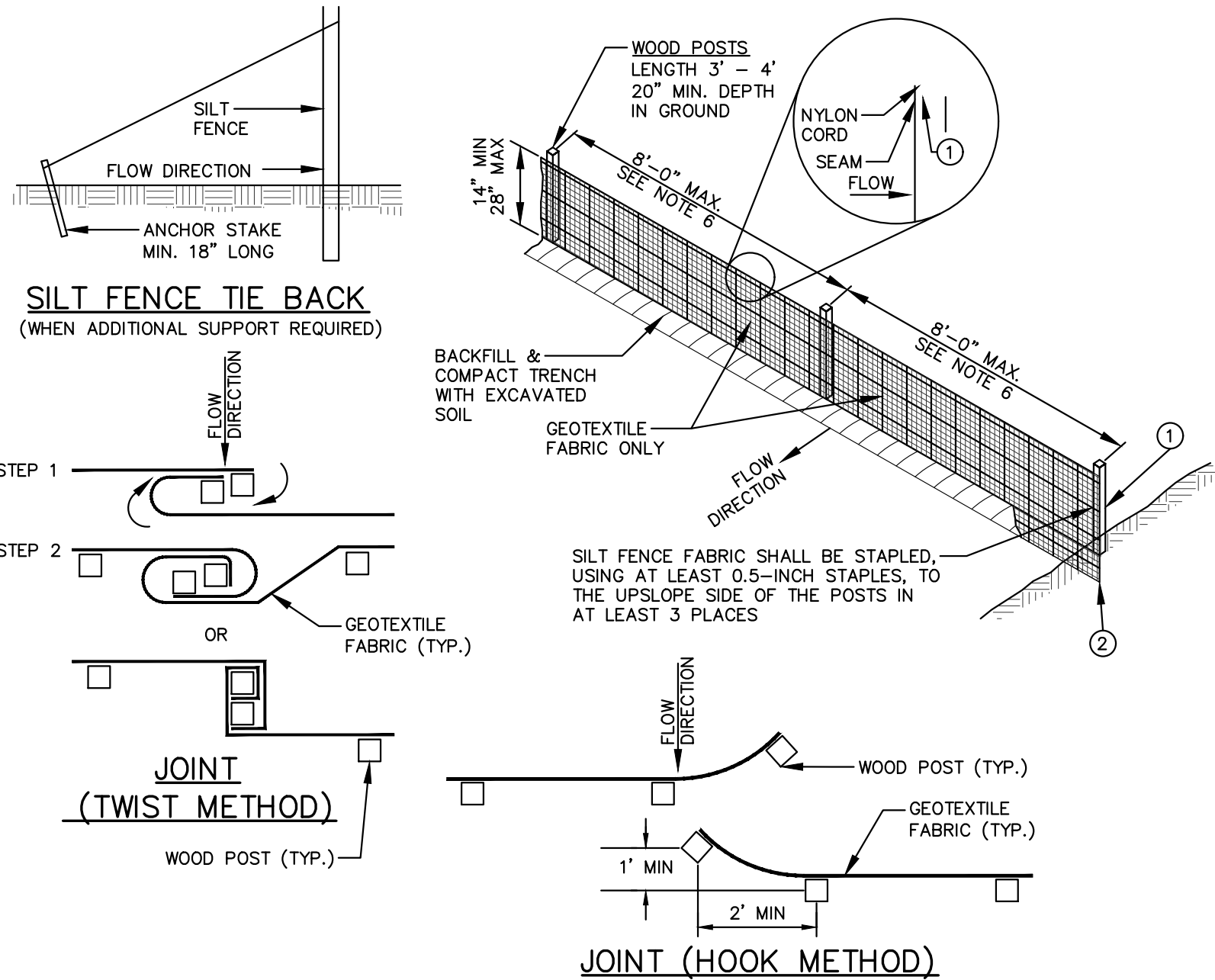
#### INSTALLATION NOTES:

##### TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE.

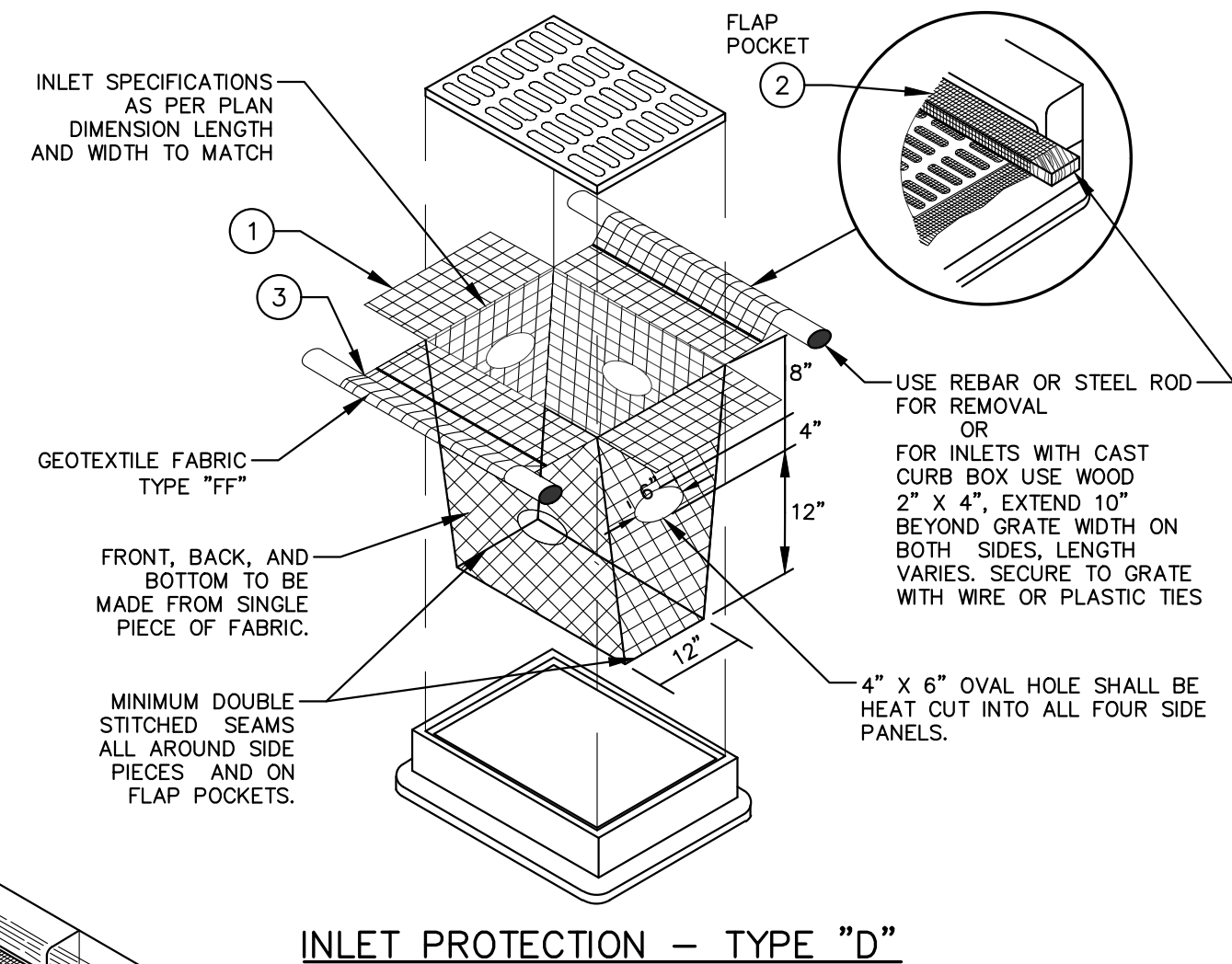
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CROWN THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG.



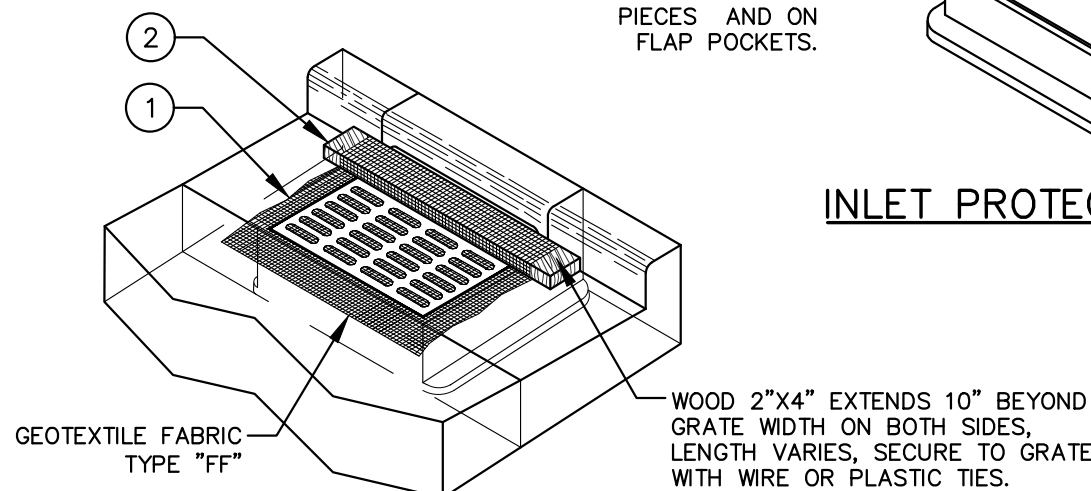
### SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)

### JOINT (TWIST METHOD)

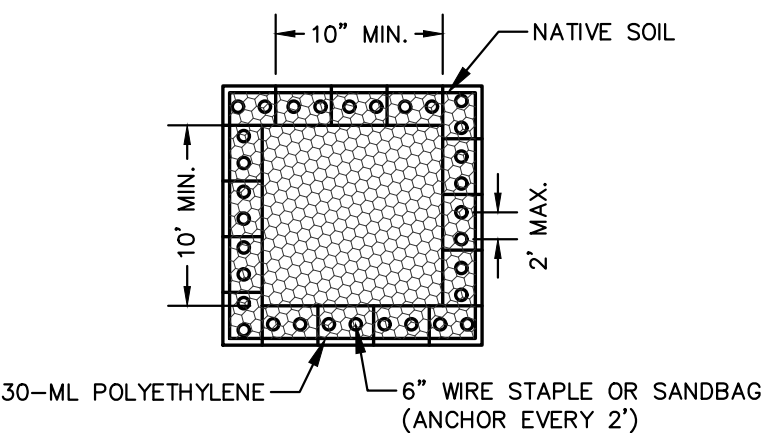
### JOINT (HOOK METHOD)



### INLET PROTECTION – TYPE "D"

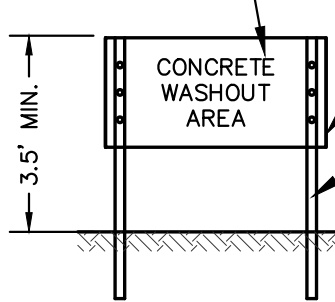


### INLET PROTECTION – TYPE "C" WITH CURB BOX



### PLAN VIEW

#### SIGN DETAIL



#### GENERAL NOTES:

1. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHALL INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND/OR SLURRY AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
2. FACILITY SHALL BE CLEANED OR RECONSTRUCTED IN A NEW AREA ONCE WASHOUT BECOMES TWO-THIRDS FULL.

### NATIVE SOIL ANCHOR SECTIONS

#### LINEER ANCHOR

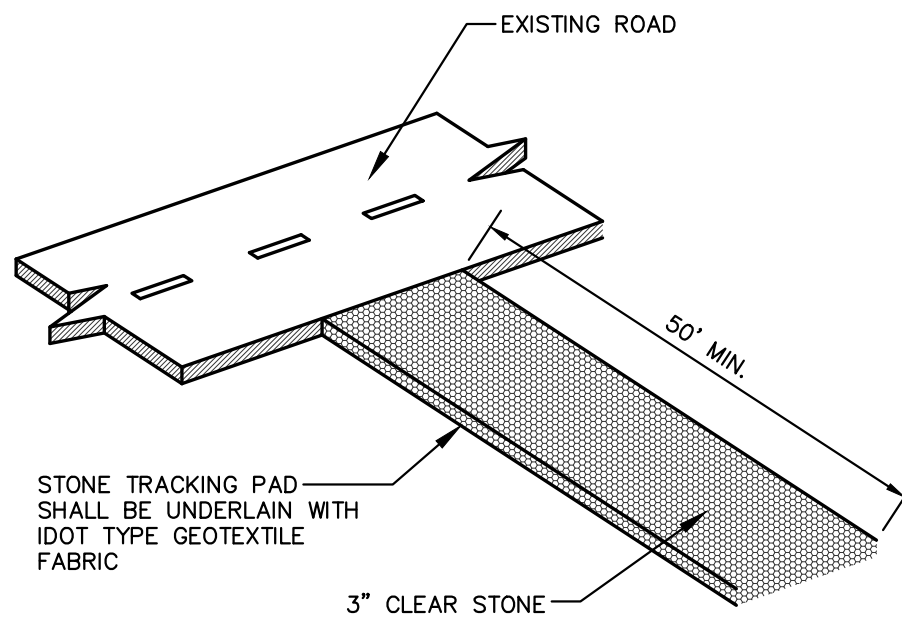
#### NATIVE SOIL ANCHOR SECTIONS

#### LINEER ANCHOR

#### NATIVE SOIL ANCHOR SECTIONS

## 3 CONCRETE WASHOUT

SD6.0 NTS



#### NOTE:

CONTRACTOR TO VERIFY LOCATION WITH OWNER.

## 5 CONSTRUCTION ENTRANCE

SD6.0 NTS



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PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

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Approved By: LMV

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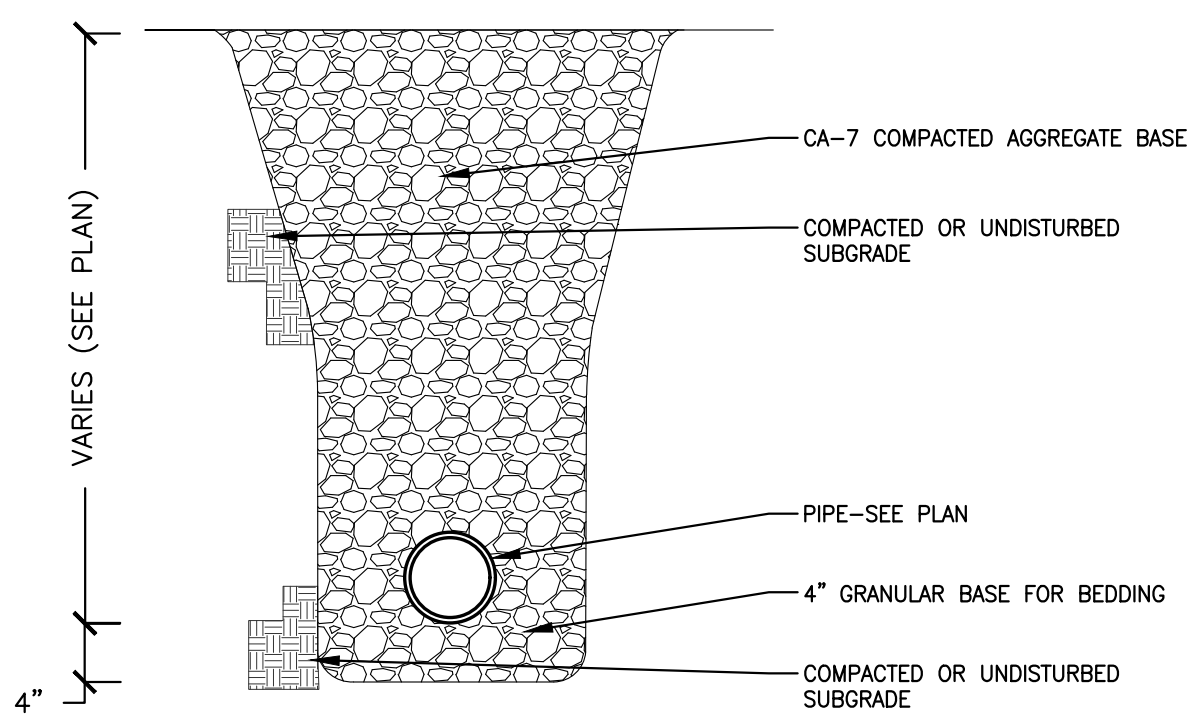
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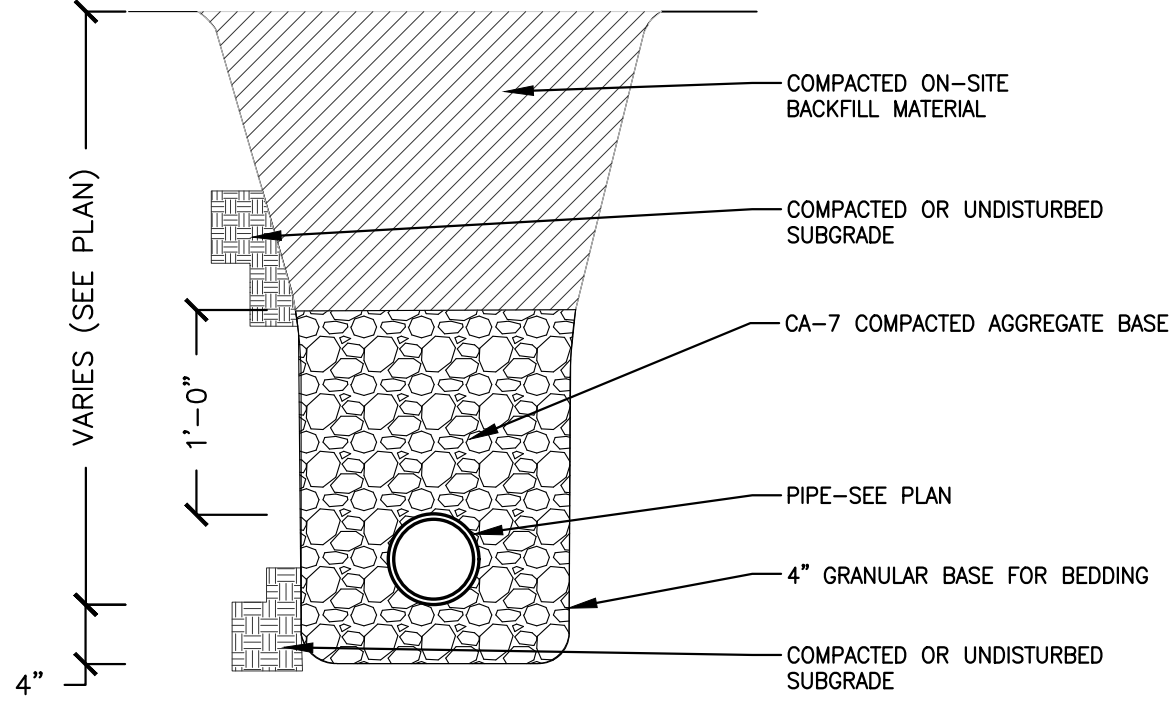
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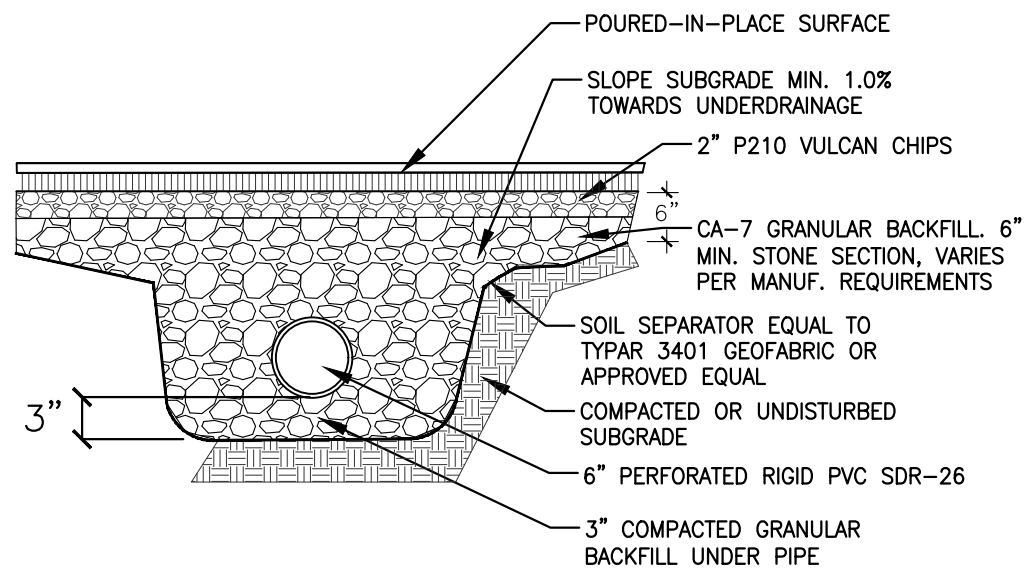
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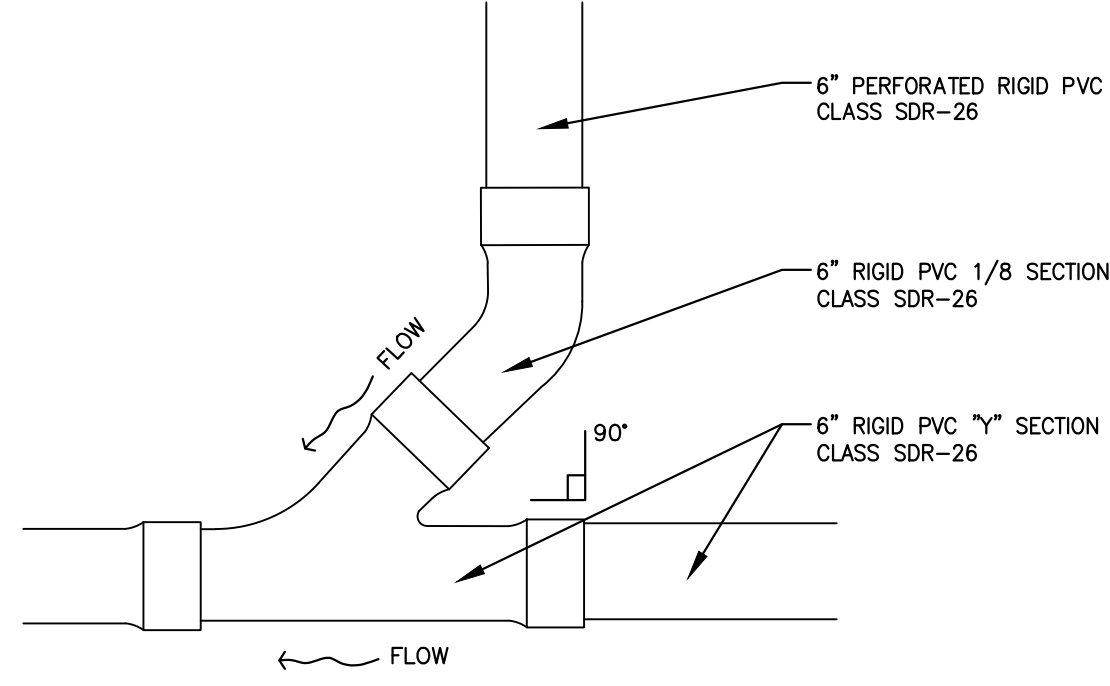
1 STORM SEWER TRENCH (PAVED AREAS)  
SD6.1 NTS



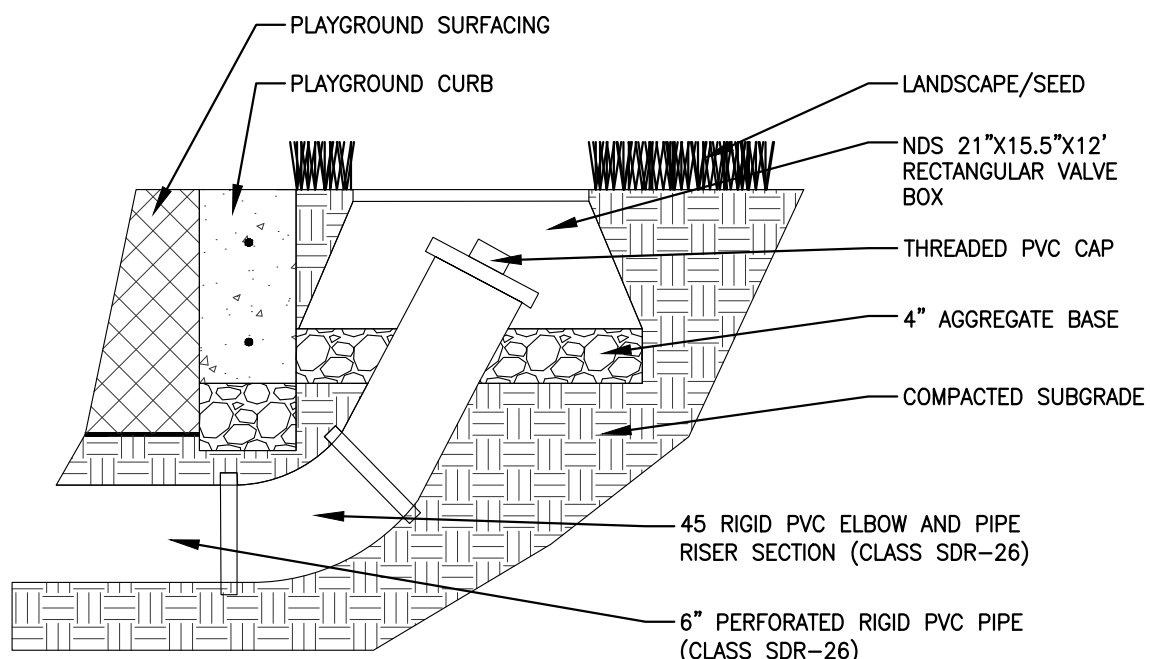
2 STORM SEWER TRENCH (LANDSCAPE AREAS)  
SD6.1 NTS



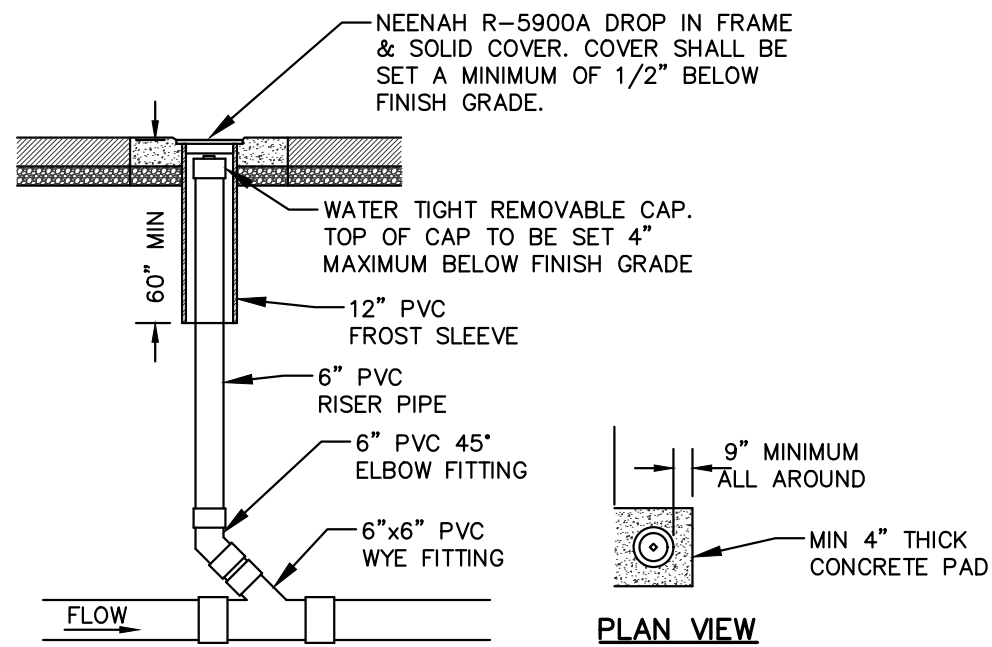
3 UNDERDRAINAGE  
SD6.1 NTS



4 UNDERDRAINAGE TRANSITION  
SD6.1 NTS



5 CLEANOUT (LAWN)  
SD6.1 NTS

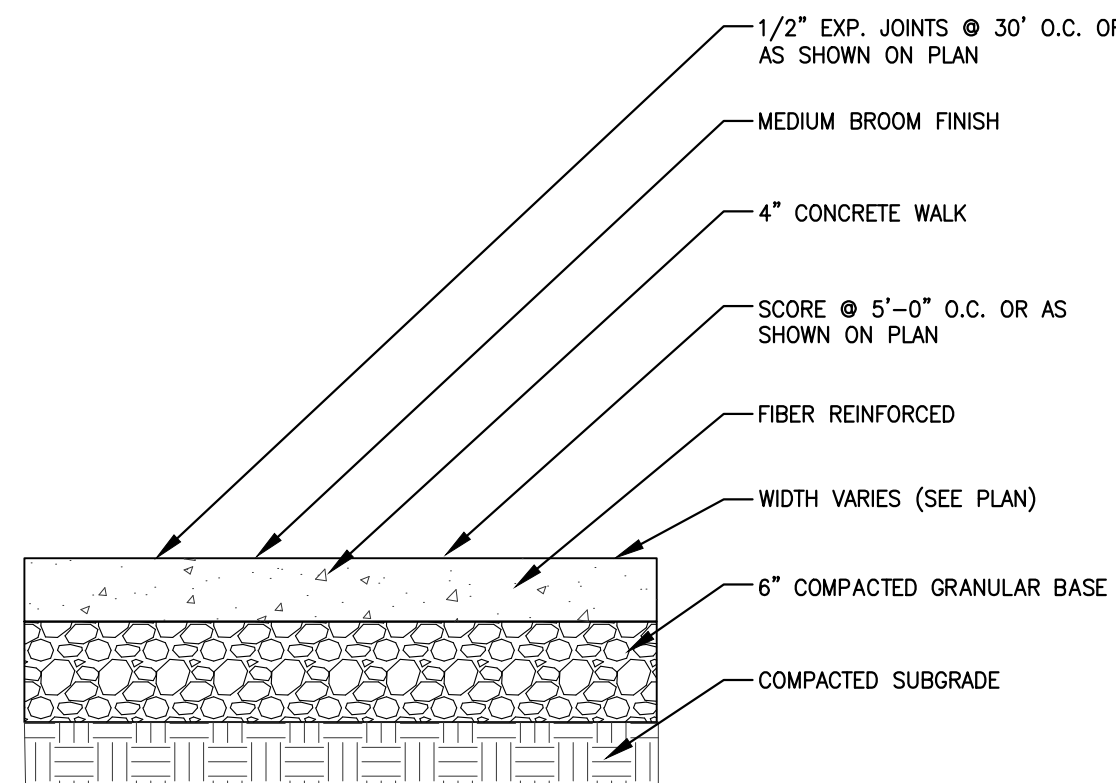


Comm Table 82.35		
Dia of Lateral	Min Dia of Cleanout Riser	Min Dia of Riser Cap
1.5	1.5	1.5
2	1.5	1.5
3	3	2.5
4	4	3.5
5	5	4
6	6	5
8+	6	6

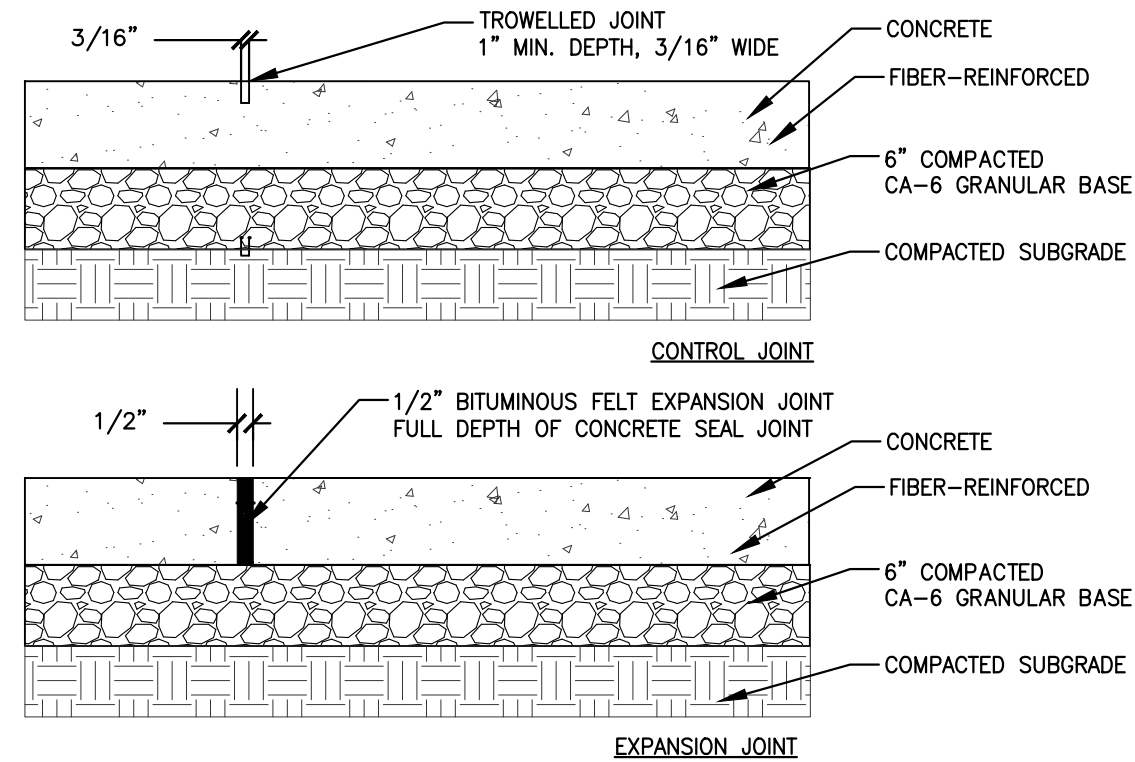
Neenah Grates  
R-5900A 12-inch Pipe

**NOTE:**  
CLEANOUT PIPING AND FITTINGS SHALL  
MATCH SANITARY SEWER LATERAL  
MATERIAL

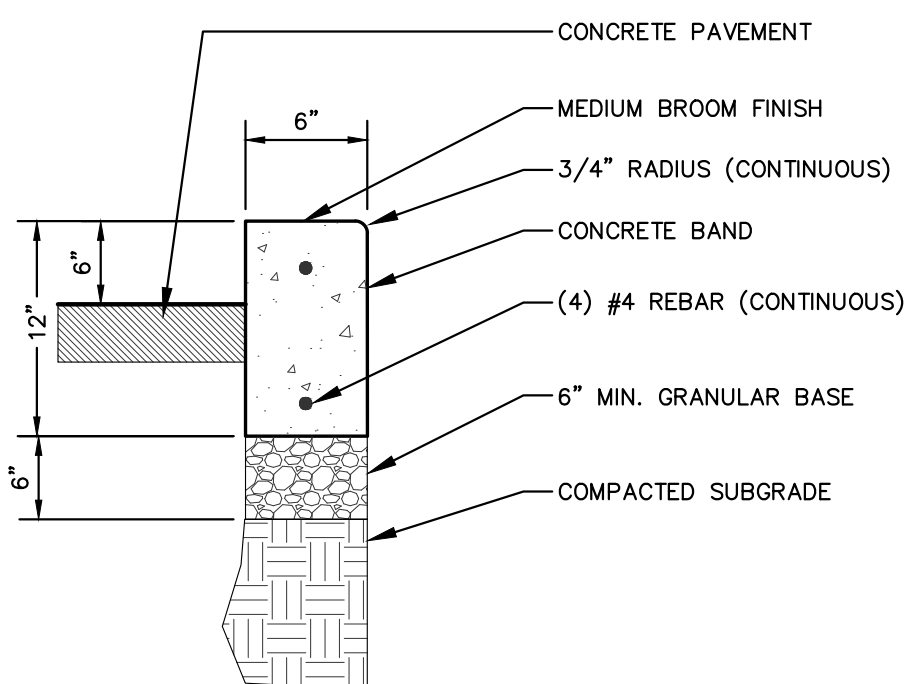
6 SANITARY SEWER CLEANOUT  
SD6.1 NTS



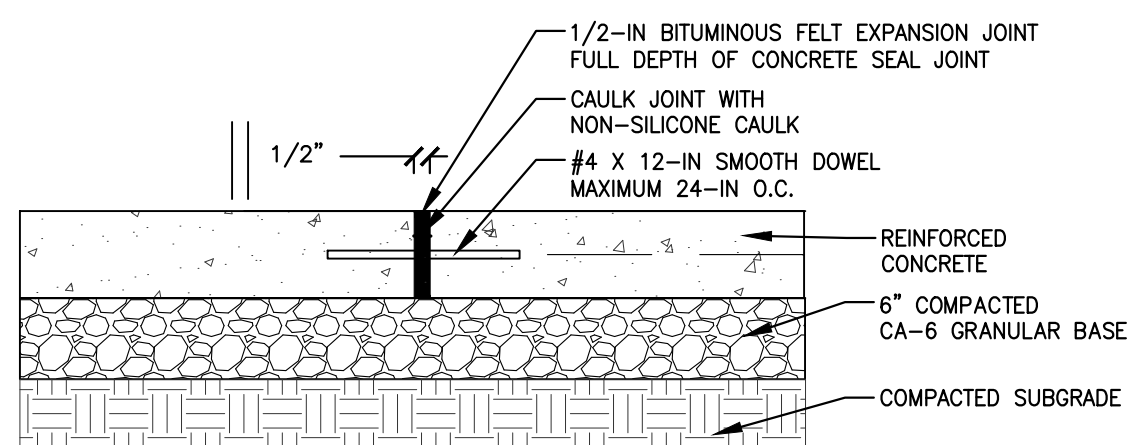
7 4" FIBER REINFORCED CONCRETE  
SD6.1 NTS



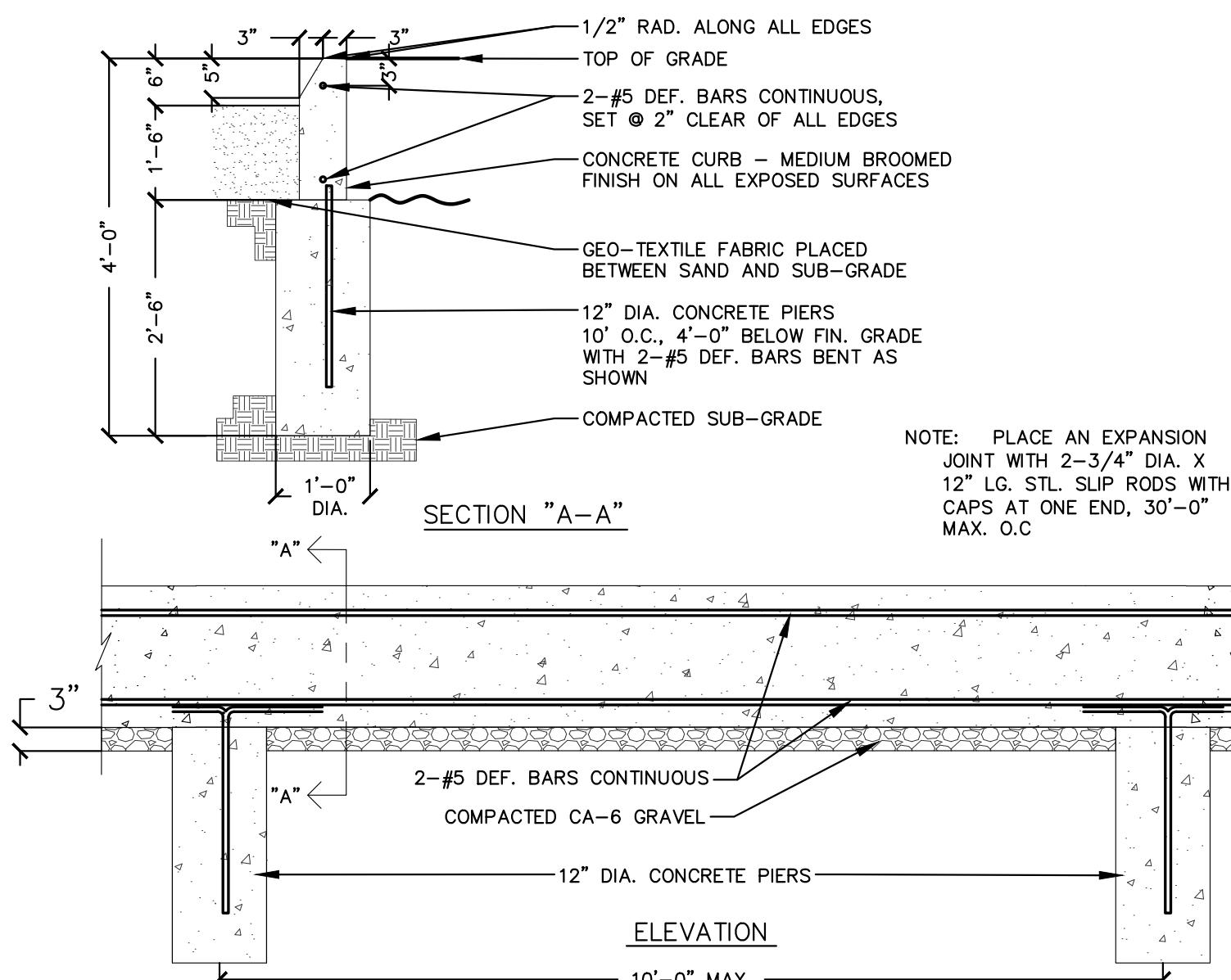
8 EXPANSION JOINT / CONTROL JOINT  
SD6.1 NTS



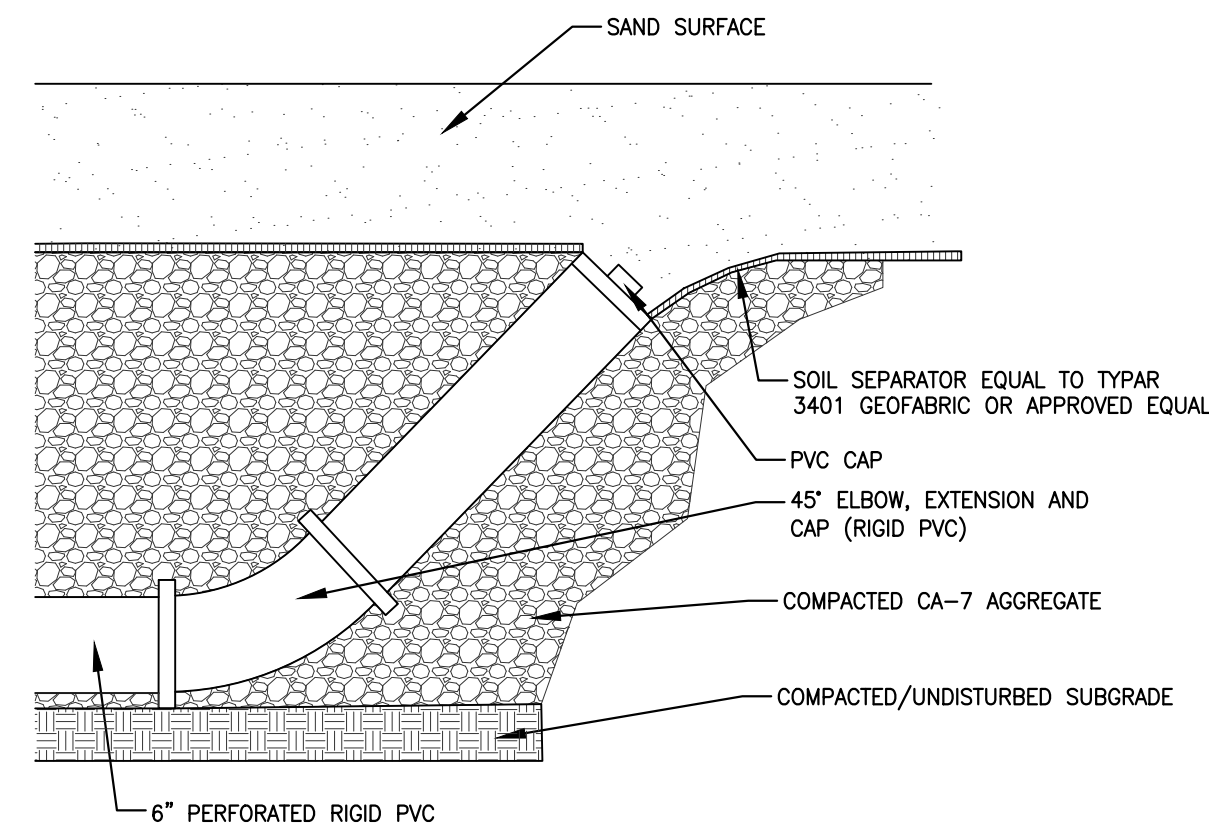
9 6" X 12" CONCRETE CURB  
SD6.1 NTS



10 NEW CONCRETE TO EXISTING CONCRETE SLAB  
SD6.1 NTS



11 VOLLEYBALL CURB AND PIERS  
SD6.1 NTS



12 CLEANOUT (SAND VOLLEYBALL)  
SD6.1 NTS



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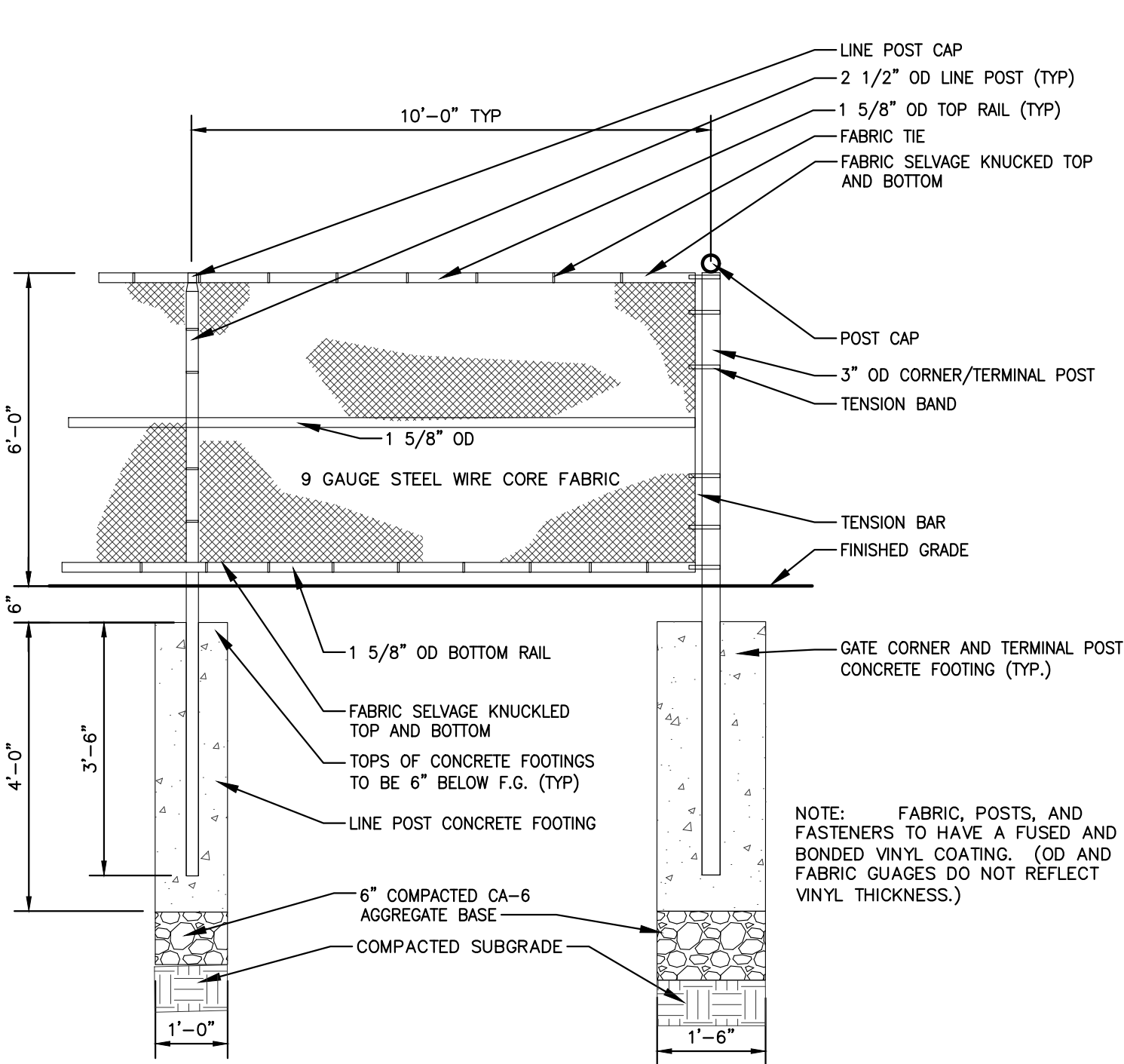
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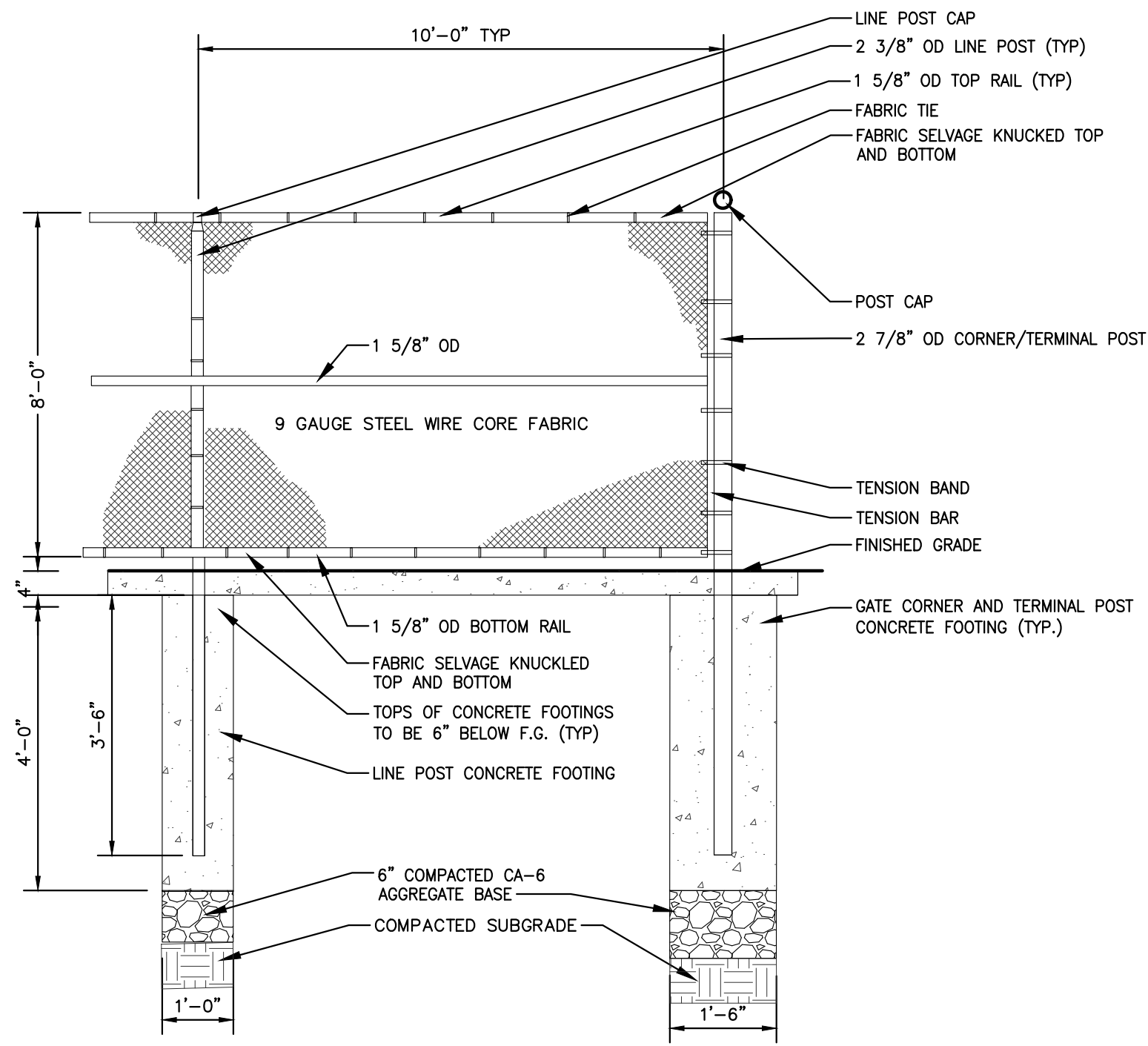
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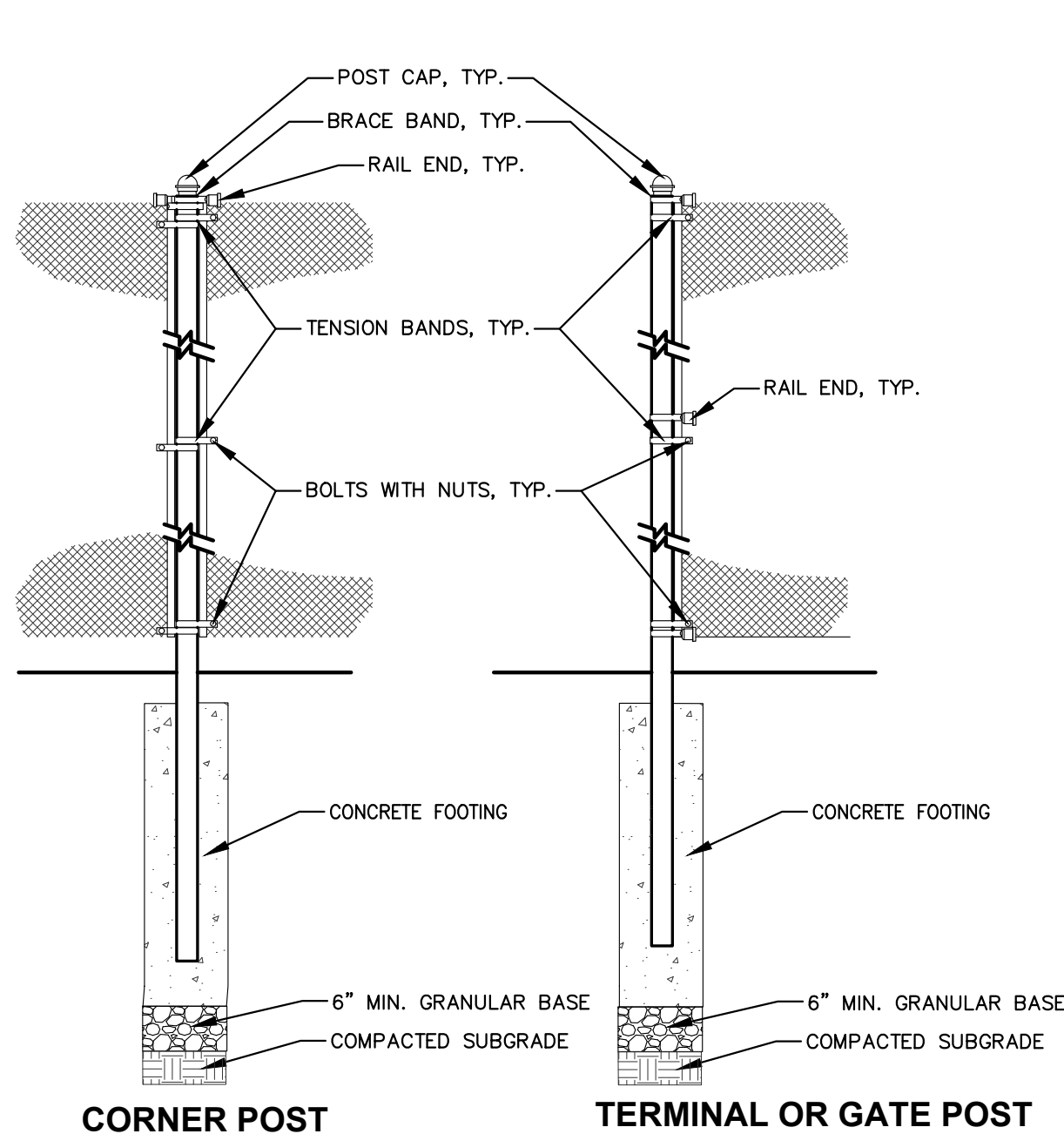
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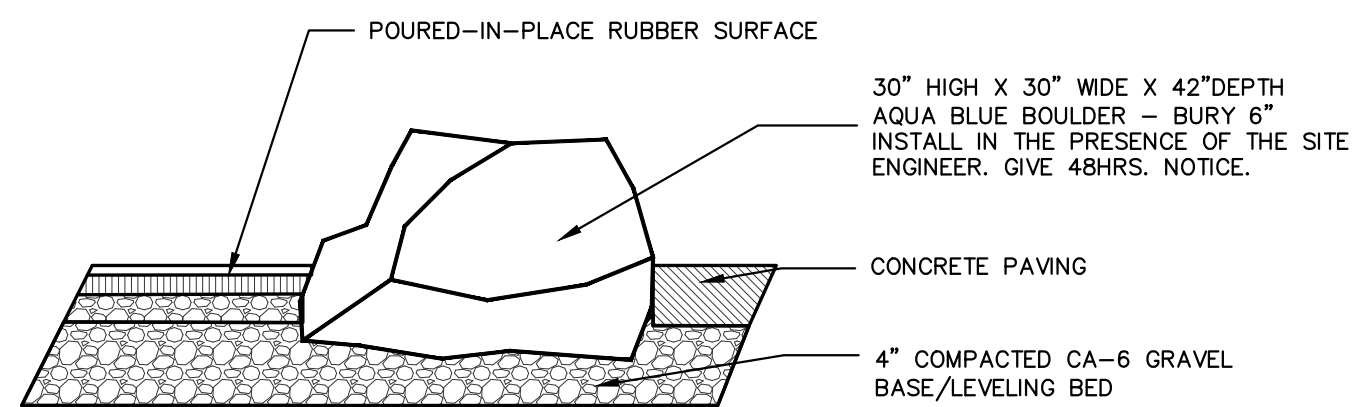
1 6' VINYL COATED FENCE  
SD6.2 NTS



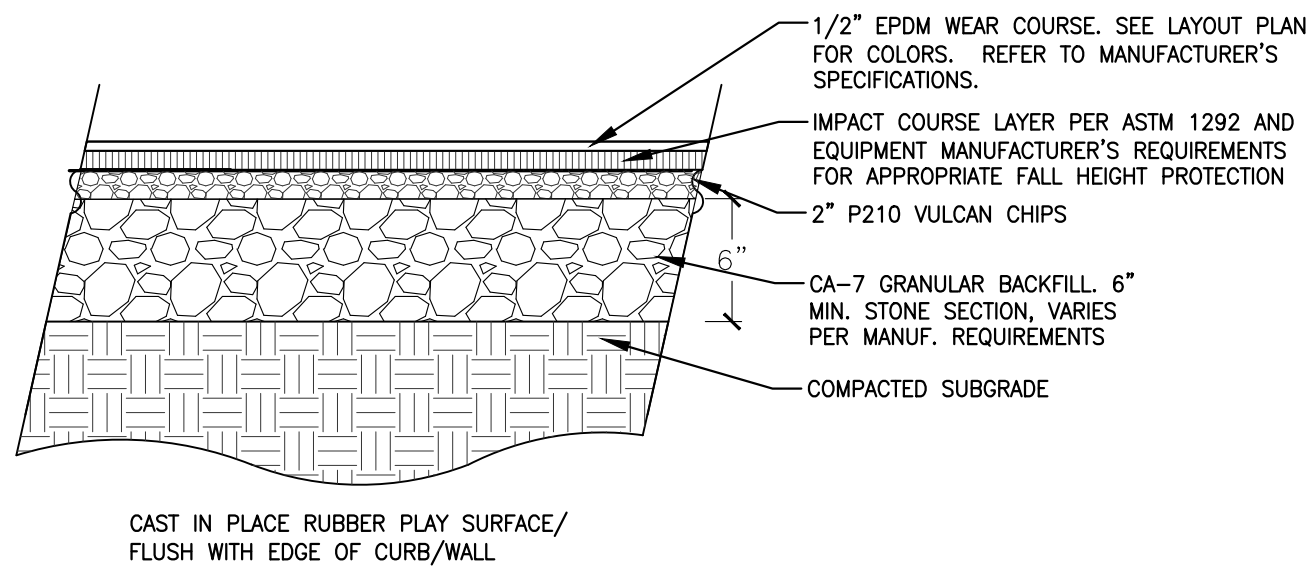
2 8' VINYL COATED FENCE  
SD6.2 NTS



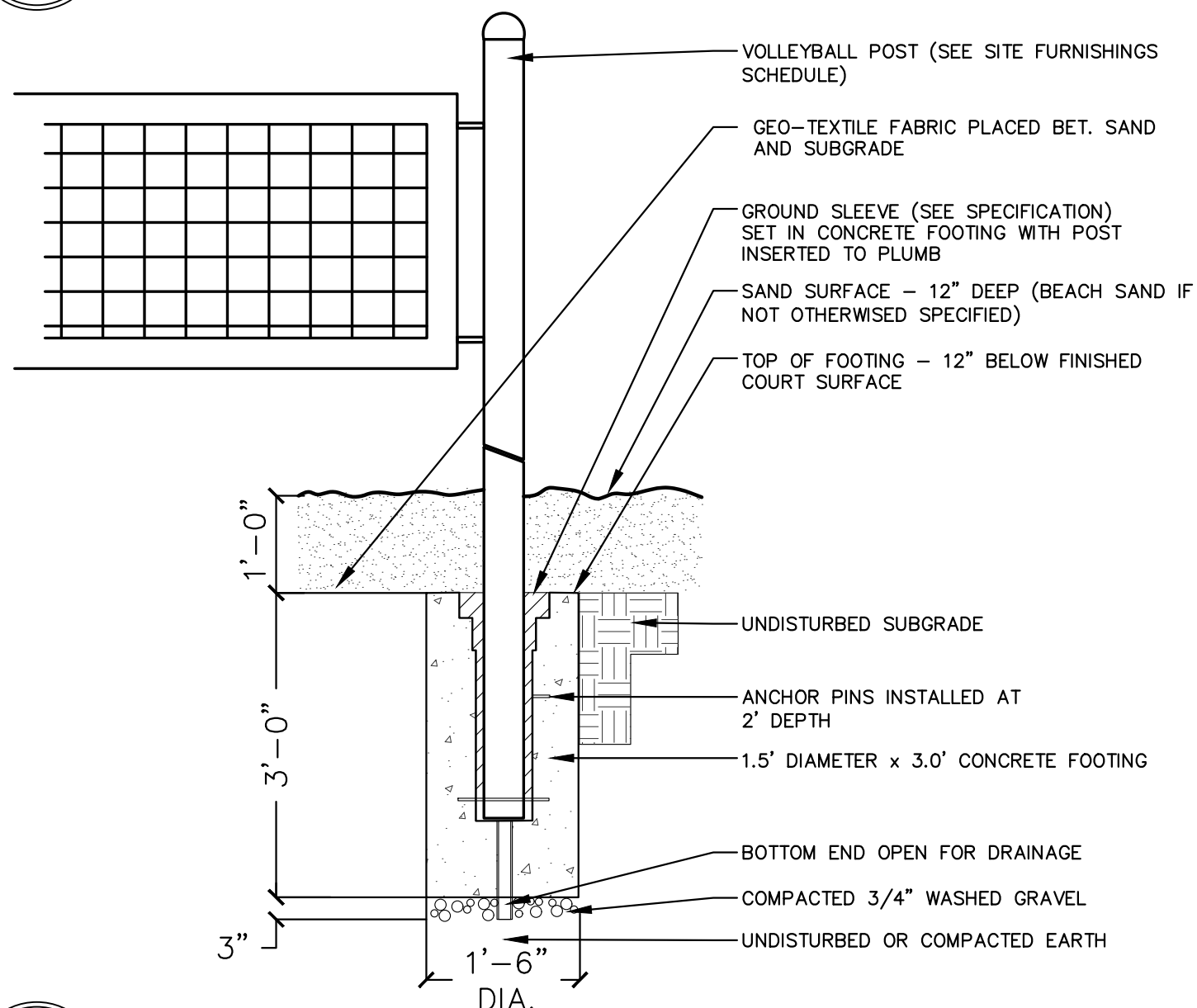
3 TERMINAL, CORNER, GATE POST  
SD6.2 NTS



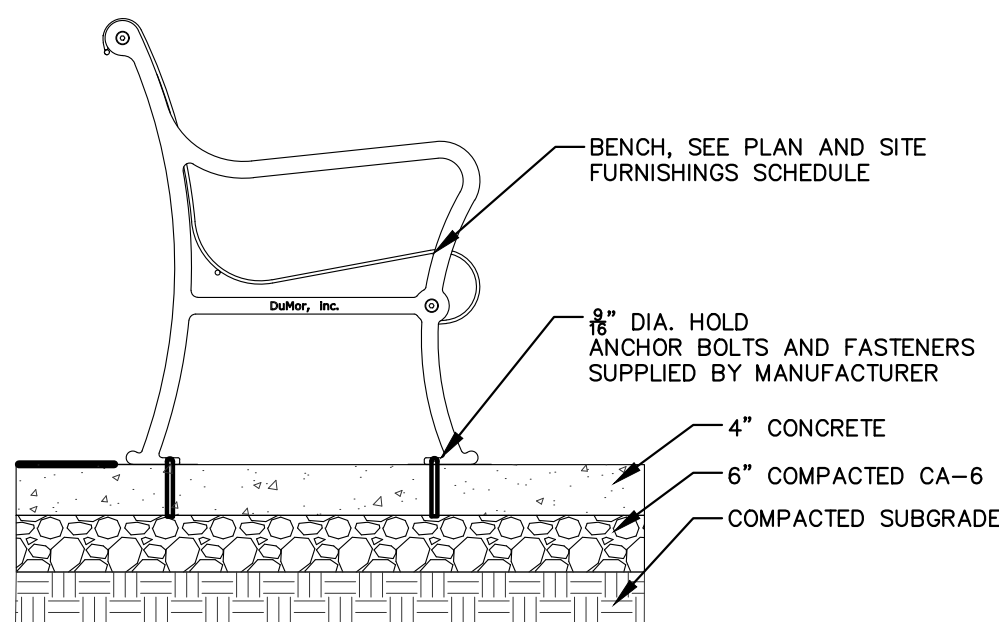
4 BOULDER OUTCROPPING  
SD6.2 NTS



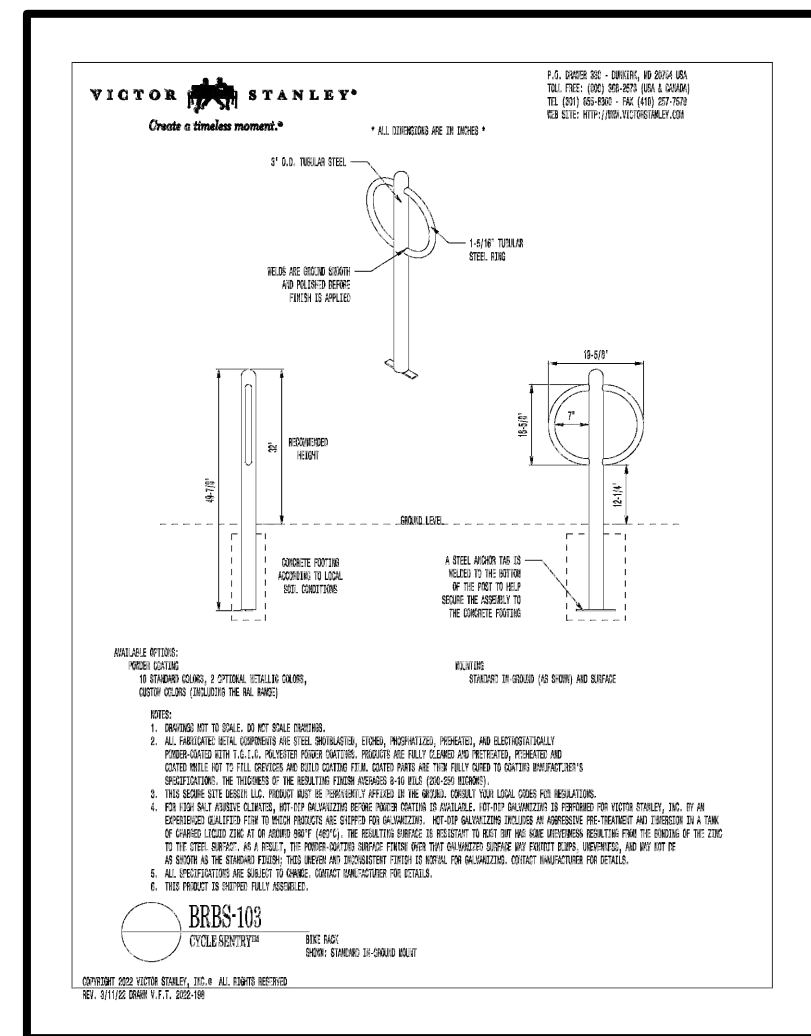
5 POURED-IN-PLACE RUBBER SURFACE  
SD6.2 NTS



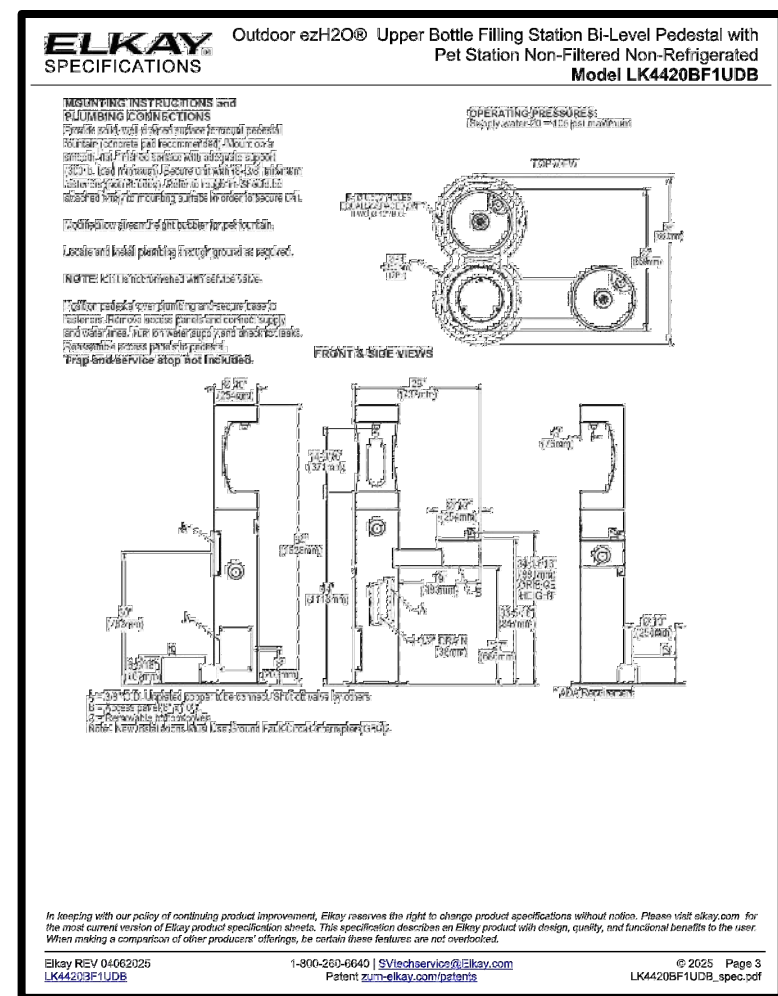
6 VOLLEYBALL POST FOOTING  
SD6.2 NTS



7 SURFACE MOUNT BENCH  
SD6.2 NTS



8 BIKE RACK  
SD6.2 NTS



9 DRINKING FOUNTAIN  
SD6.2 NTS



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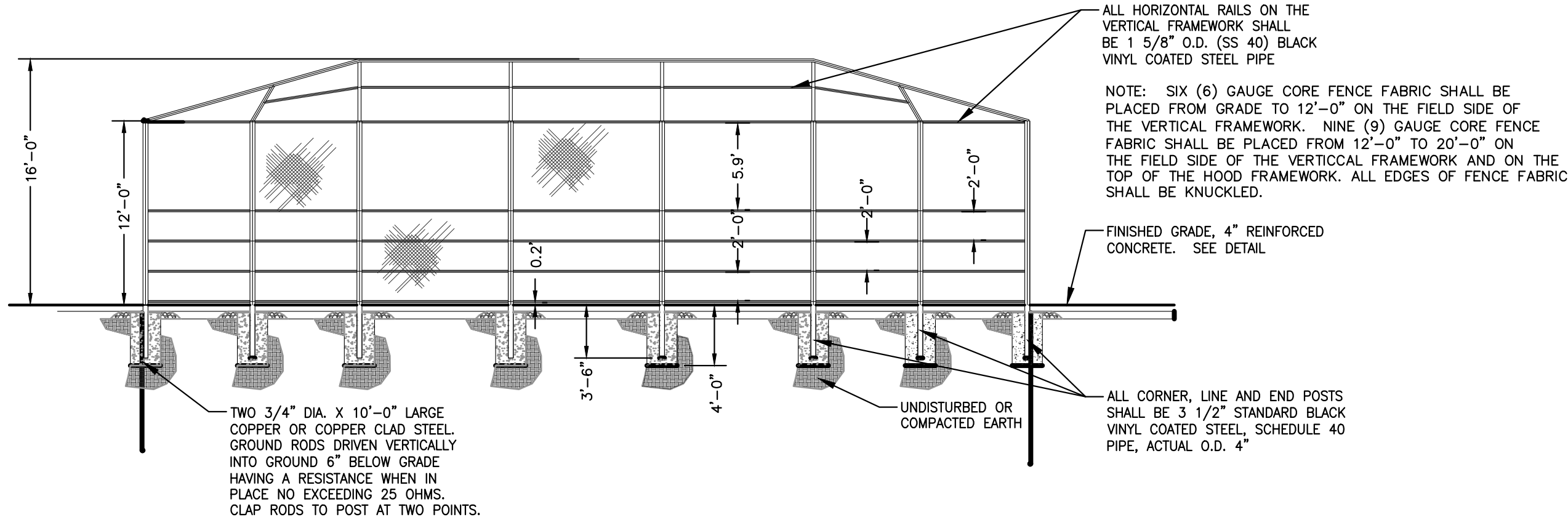
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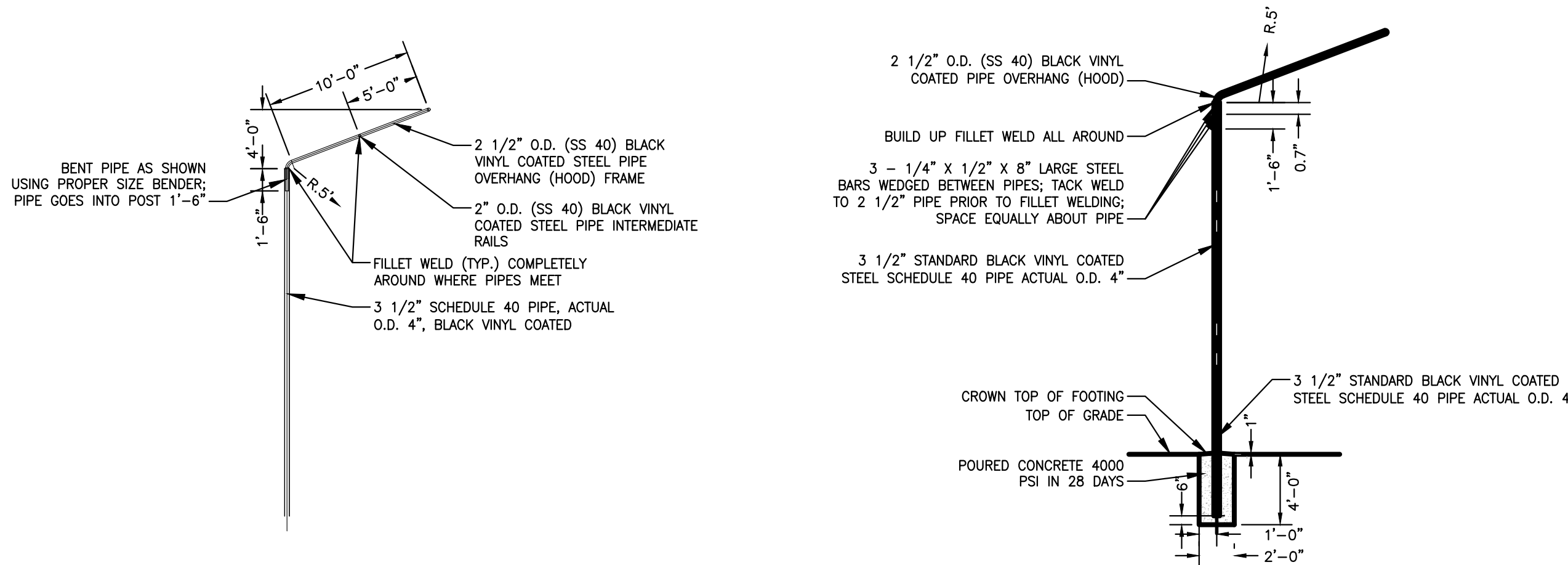
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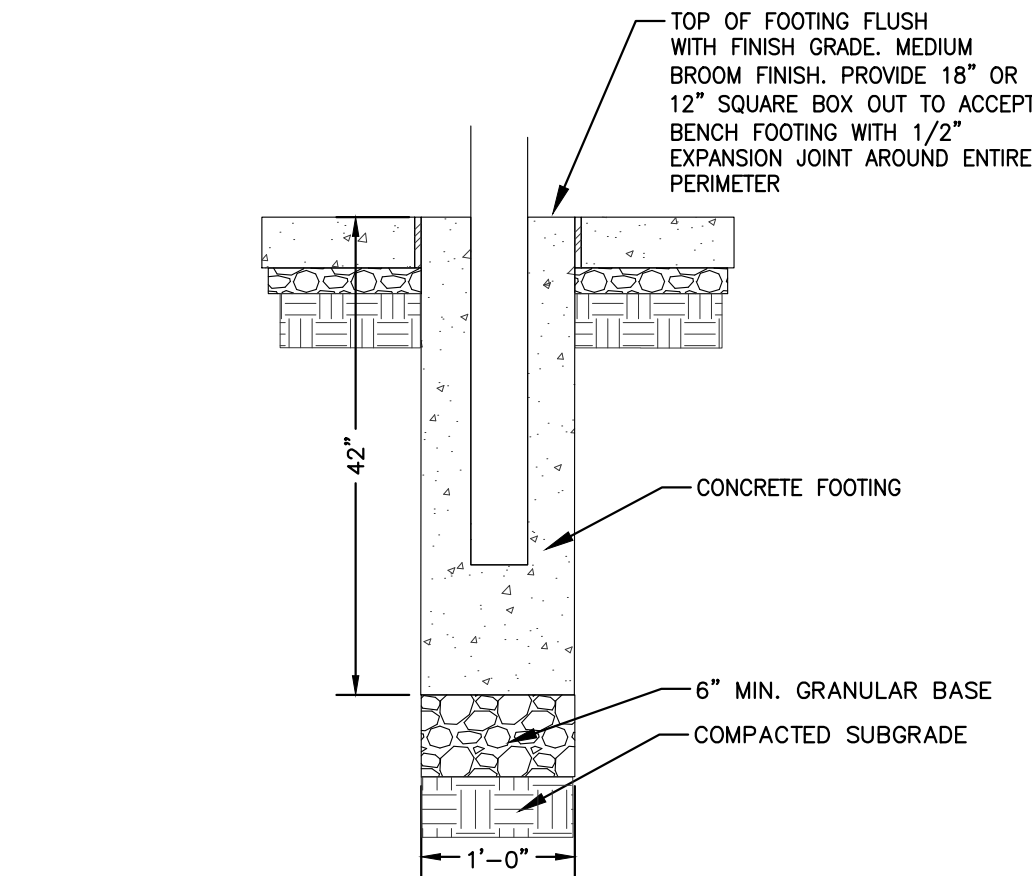


1 BACKSTOP ELEVATION  
SD6.3

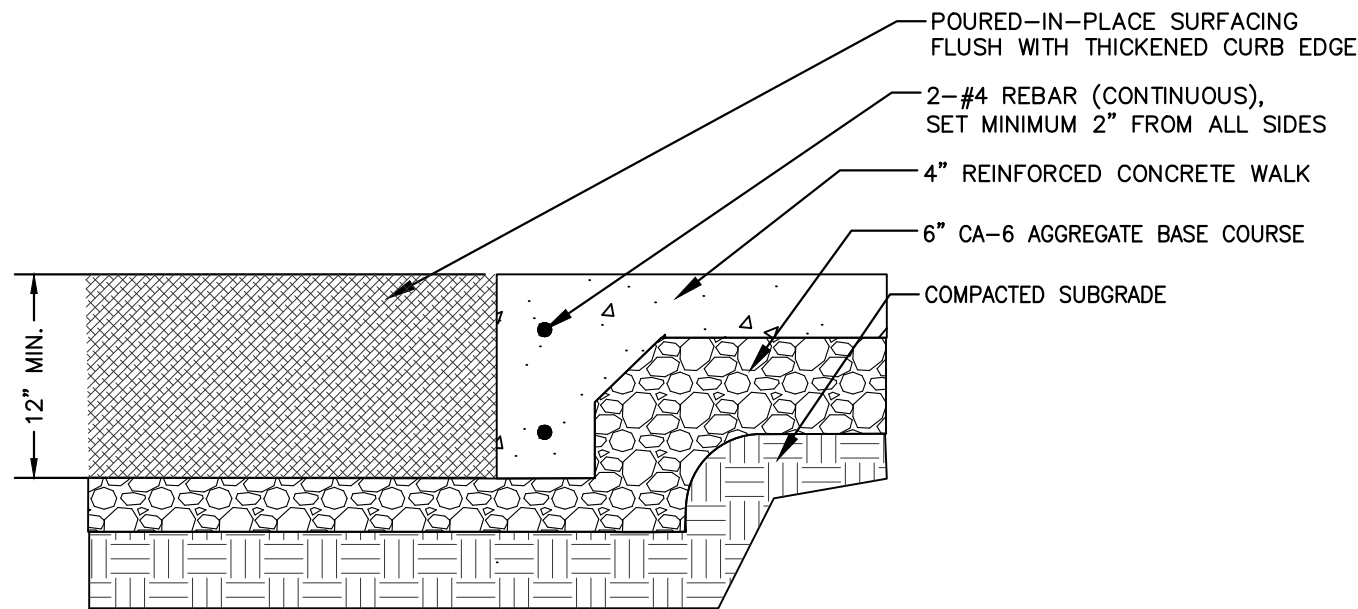


3 BACKSTOP OVERHANG  
SD6.3

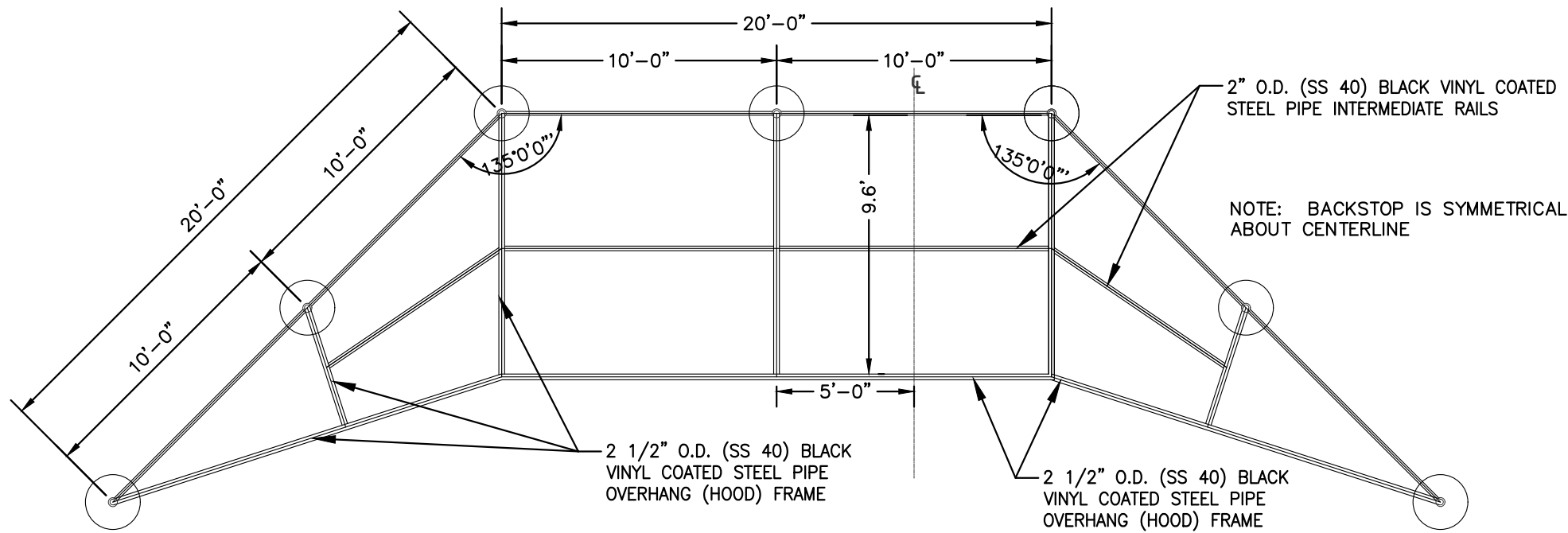
4 BACKSTOP  
SD6.3



7 BENCH FOOTING  
SD6.3 NTS

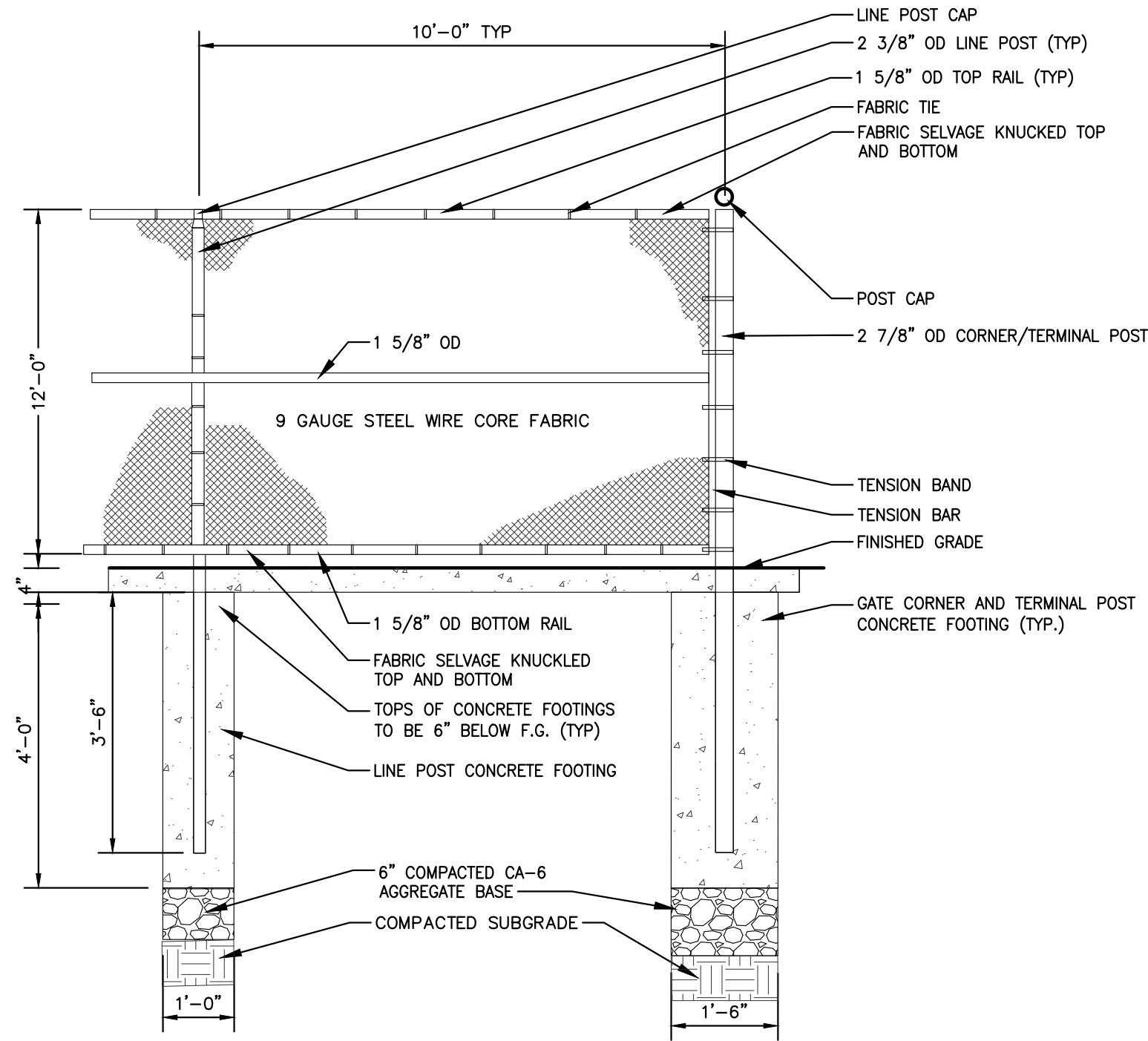


8 THICKENED CURB EDGE FLUSH  
SD6.3 NTS



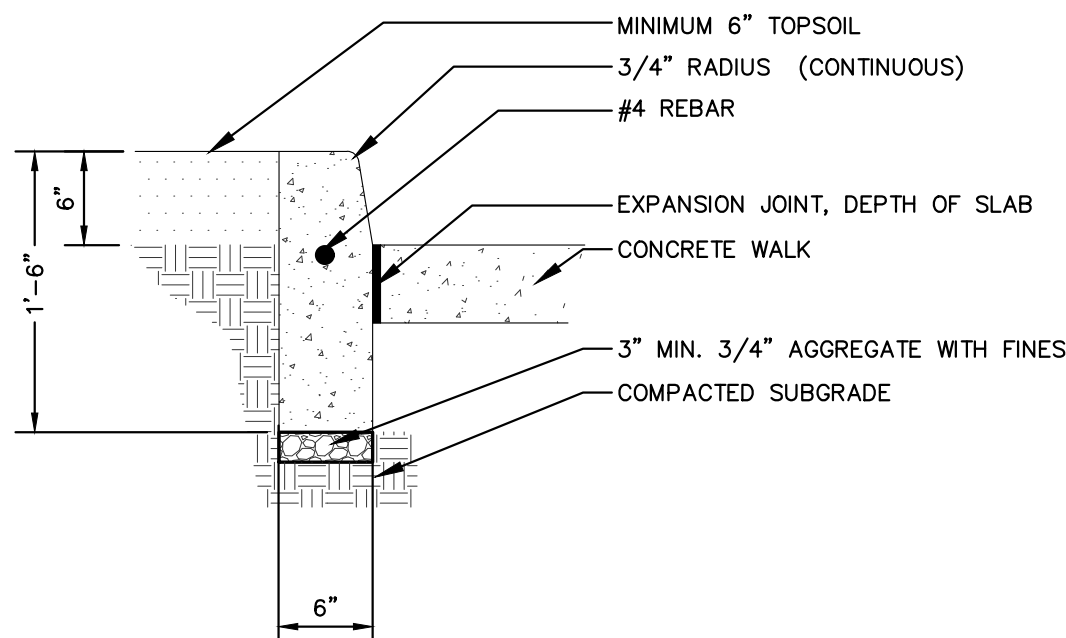
- GENERAL NOTES:
- TENSION BANDS SHALL BE 1 1/8" X 1" AND PLACED 1'-0" O.C. AT ALL END & CORNER POSTS
  - TENSION BARS SHALL BE 1/4" X 3/4" X HT. OF END & CORNER POSTS
  - FABRIC TIES SHALL BE GALVANIZED 9 GAUGE STEEL & PLACED 1'-0" O.C. AT ALL RAILS & LINE POSTS
  - ALL OF THE ABOVE HARDWARE, INCLUDING NUTS AND BOLTS ETC. REQUIRED, SHALL BE HOT DIPPED GALVANIZED (GALV.)
  - STEEL (STL.)
  - PEEN ALL BOLTS TO PREVENT THEFT
  - FENCE FABRIC IS BLACK FUSED BOND VINYL COATED, 6 OR 9 GAUGE CORE, SEE DETAILS
  - ALL PIPE & POSTS CONNECTIONS SHALL BE WELDED TOGETHER WHERE THEY MEET WITH FILLET WELDS COMPLETELY AROUND PIPE, MEETING THE AMERICAN WELDING SOCIETY STANDARDS, APPLY 2 COATS OF ALUMINUM PAINT TO ALL MARS

2 BACKSTOP PLAN  
SD6.3



6 12' VINYL COATED FENCE  
SD6.2 NTS

5 VOLLEYBALL COURT LAYOUT  
SD6.3 NTS



9 6'X18' PLANTER CURB  
SD6.3 NTS



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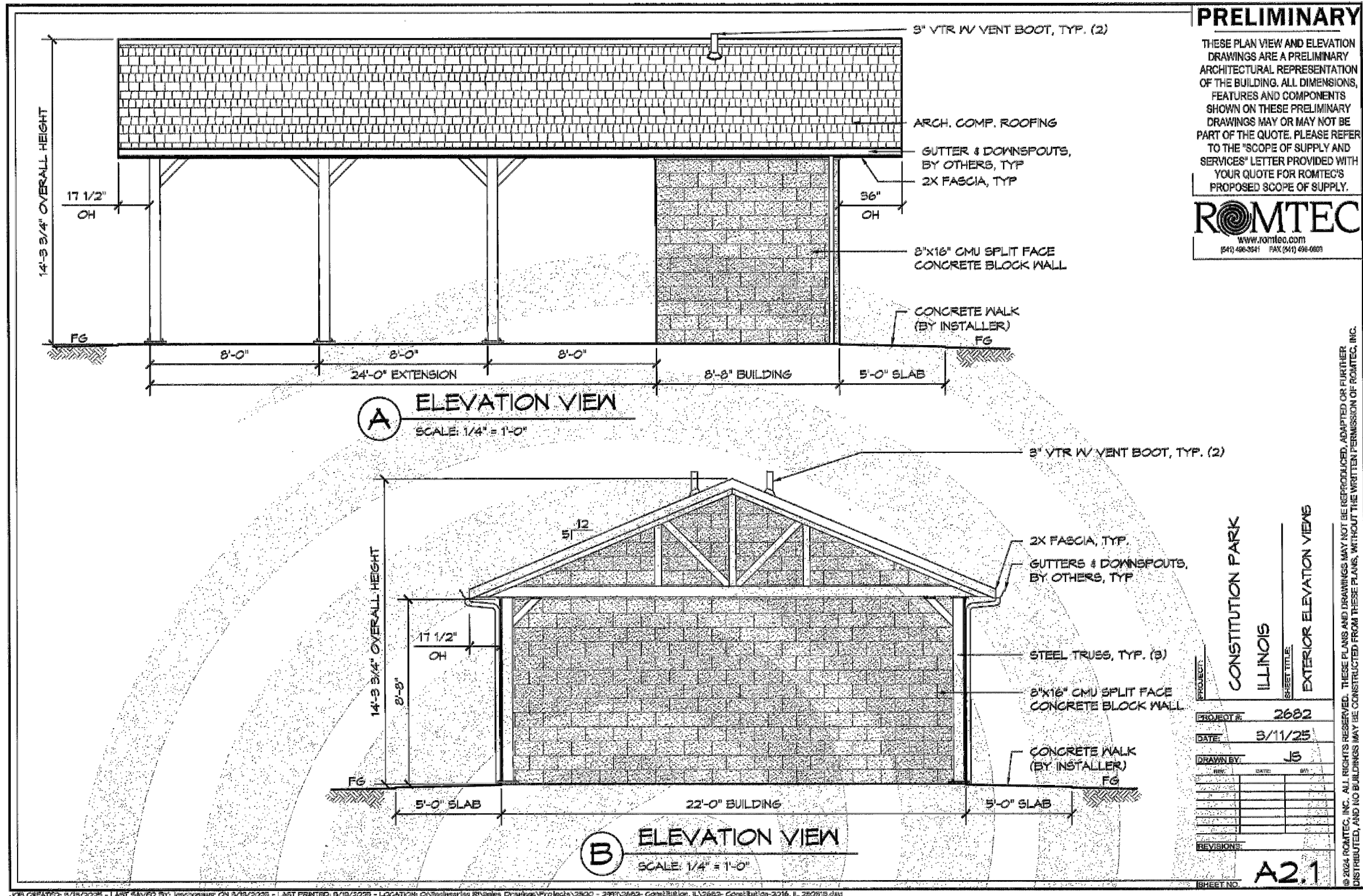
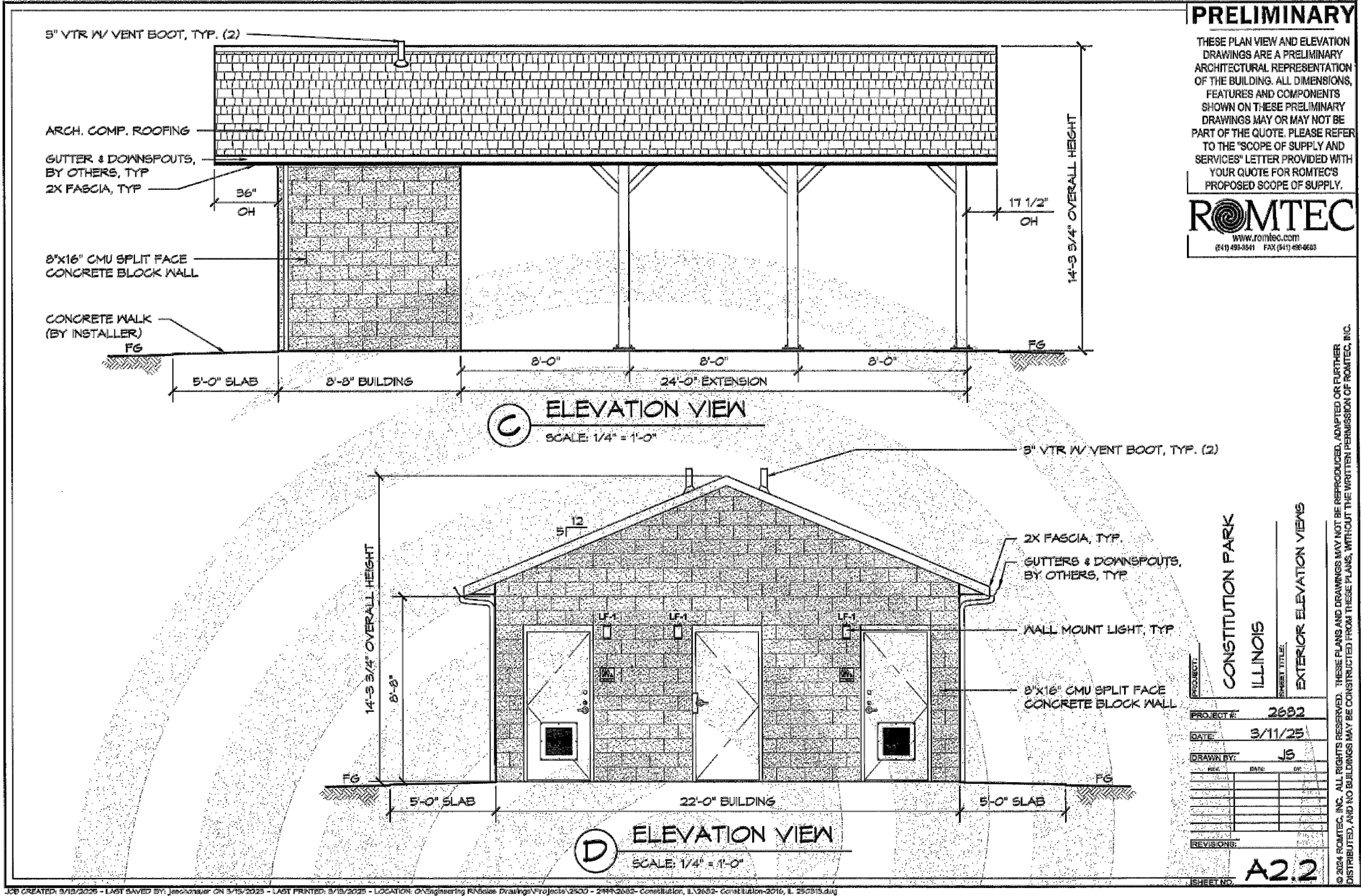
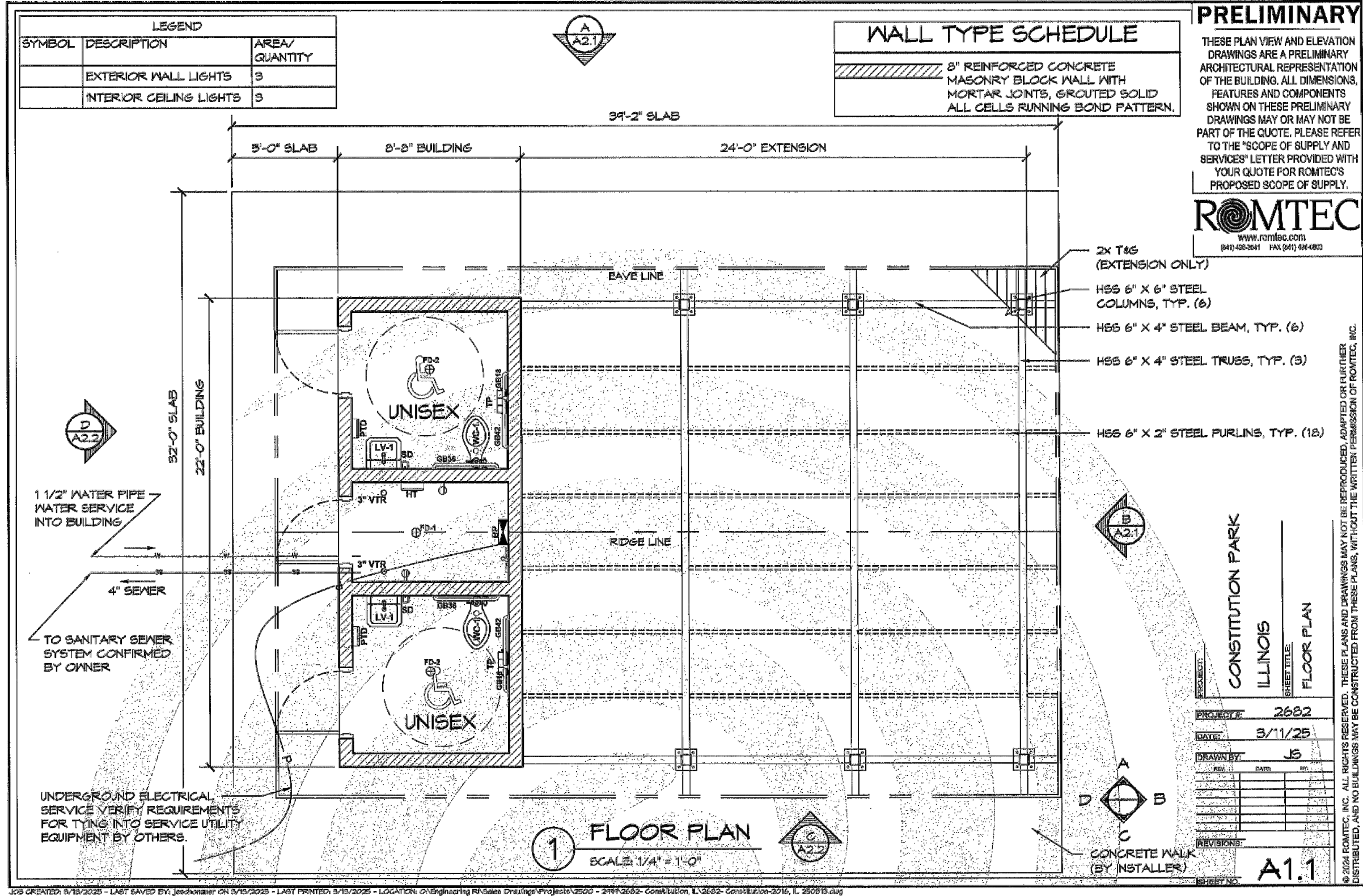
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File: \JSD\Chicago projects\2024\14428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD6.4 Construction Details.dwg Layout: SD6.4 DETAILS User: eric.drakas Plotted: Jun 30, 2025 - 4:59pm Xref's:

1  
SD6.4

RESTROOM / SHELTER BUILDING



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CLIENT:

RIVER FOREST  
PARK DISTRICT



CLIENT ADDRESS:

401 THATCHER AVENUE  
RIVER FOREST, IL 60305

PROJECT:

CONSTITUTION  
PARK

PROJECT LOCATION:

7715 GREENFIELD ST  
RIVER FOREST, IL 60305

PLAN MODIFICATIONS:

#	Date:	Description:
1	05.06.25	MWRD SUBMITTAL
2	06.30.25	MWRD SUBMITTAL
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

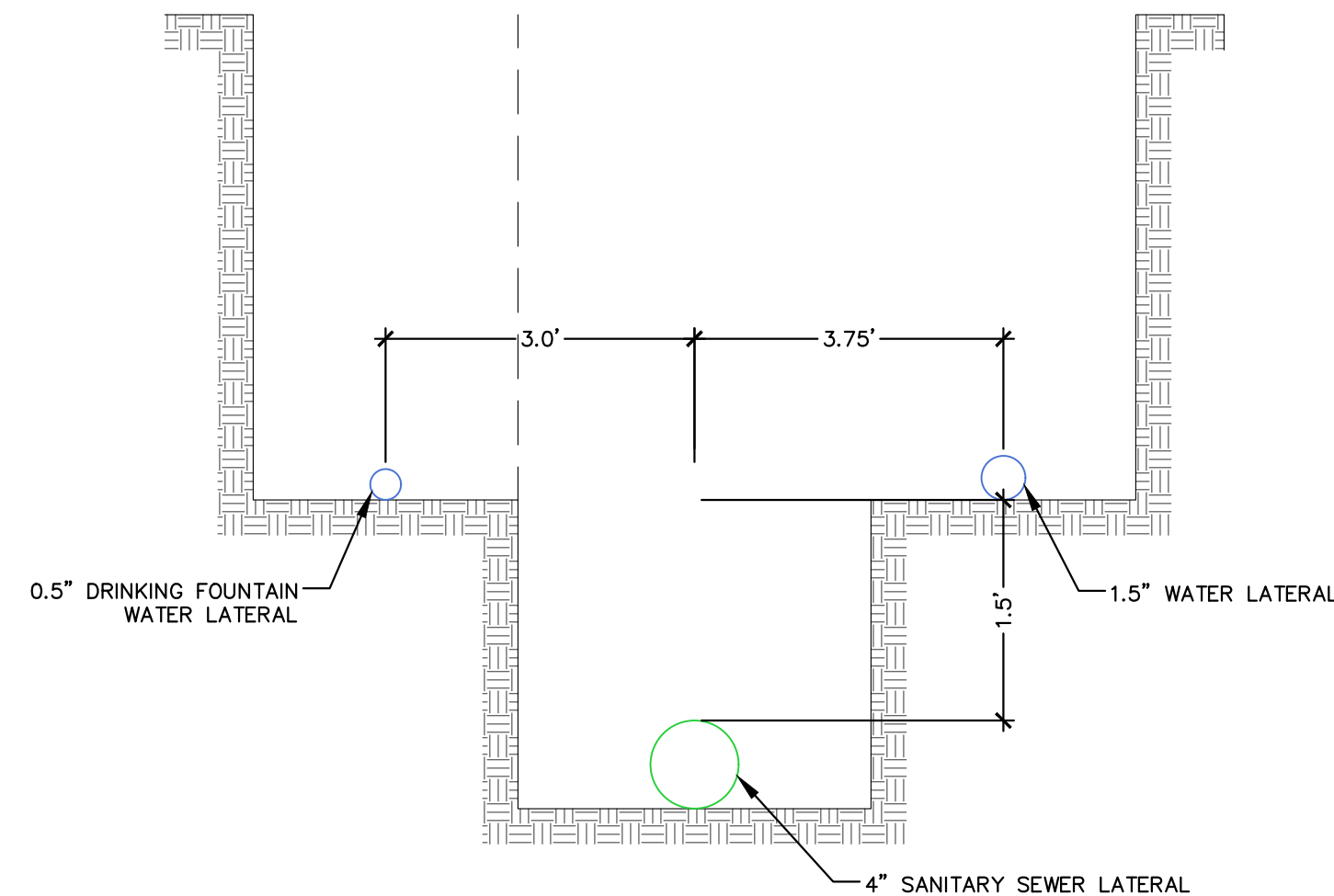
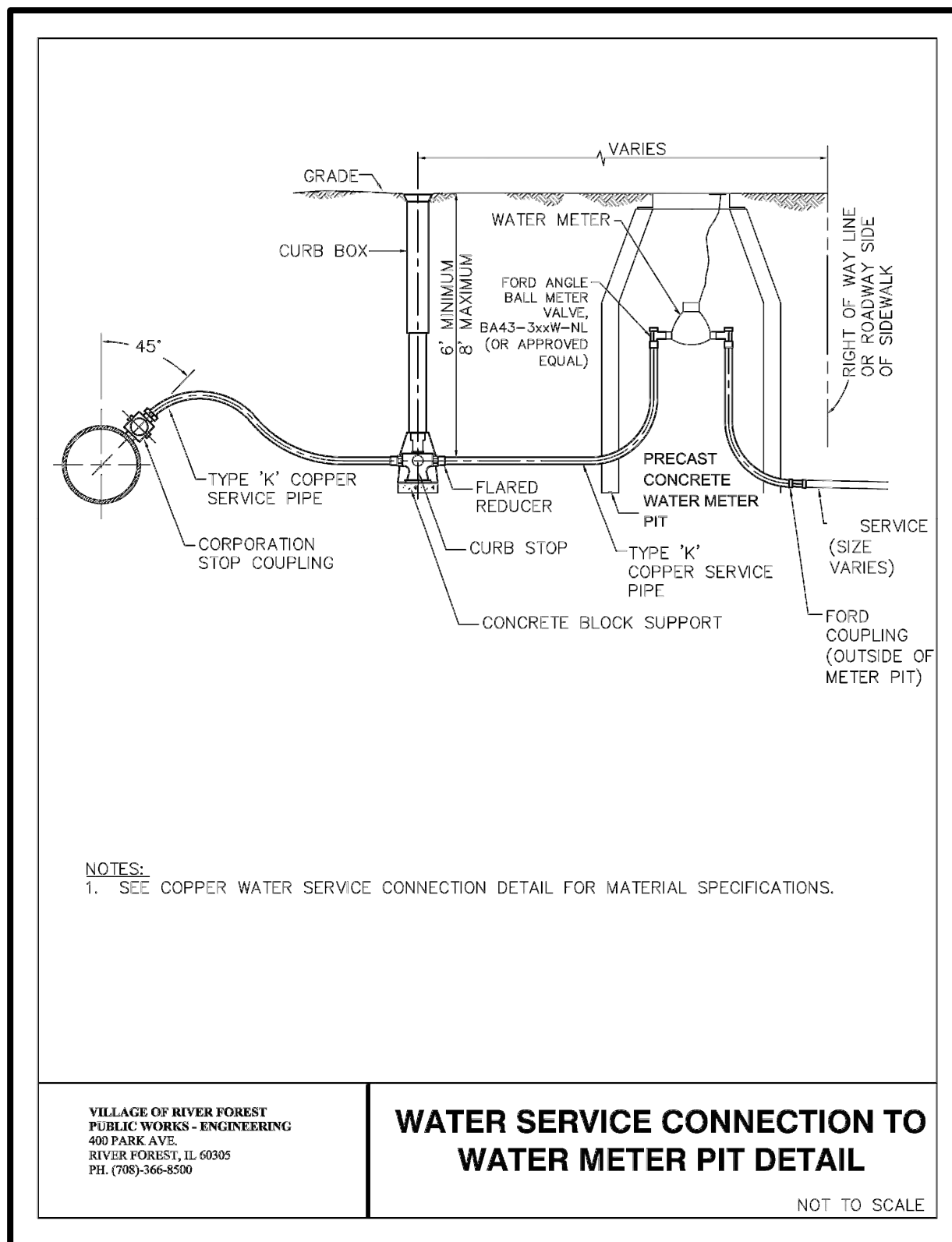
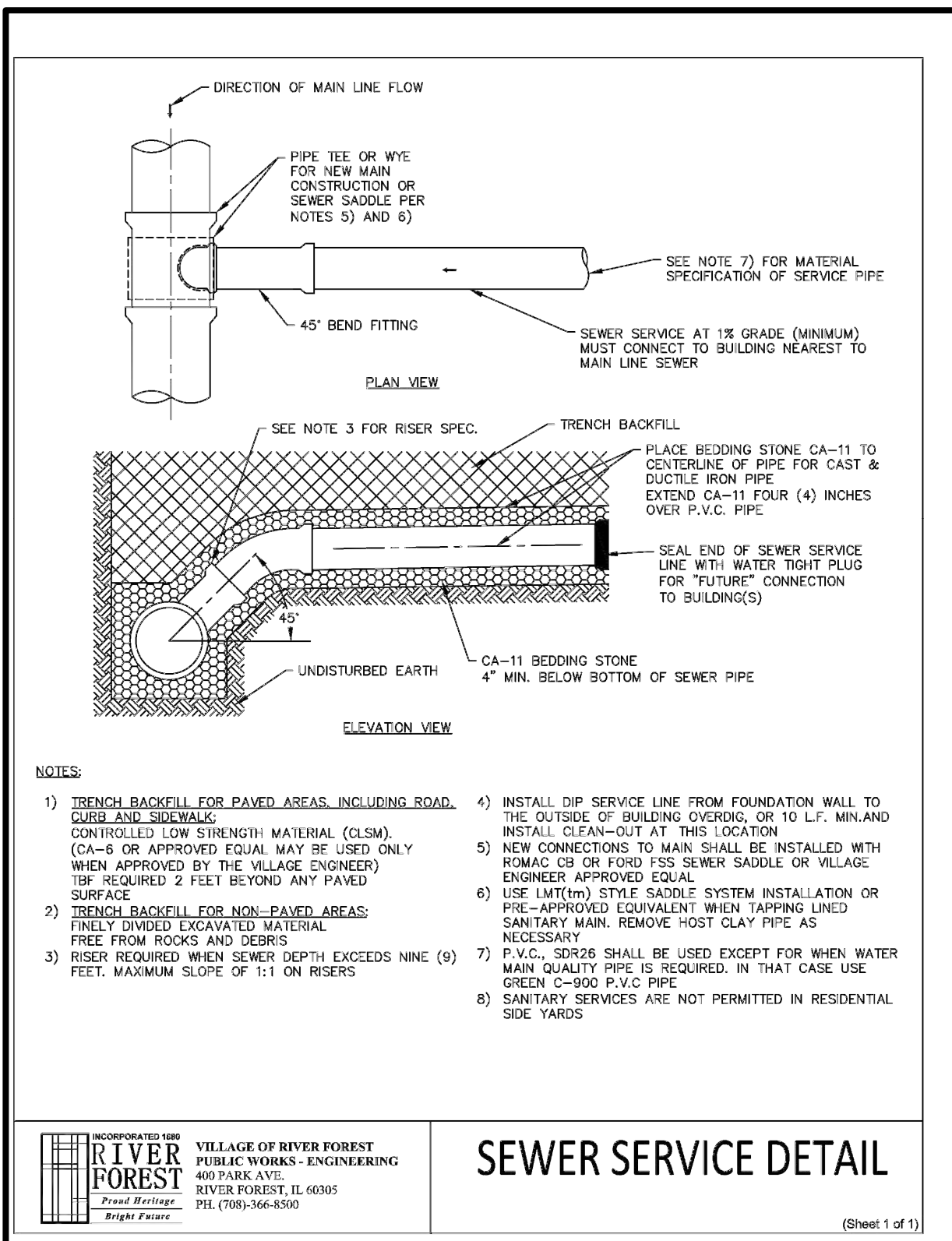
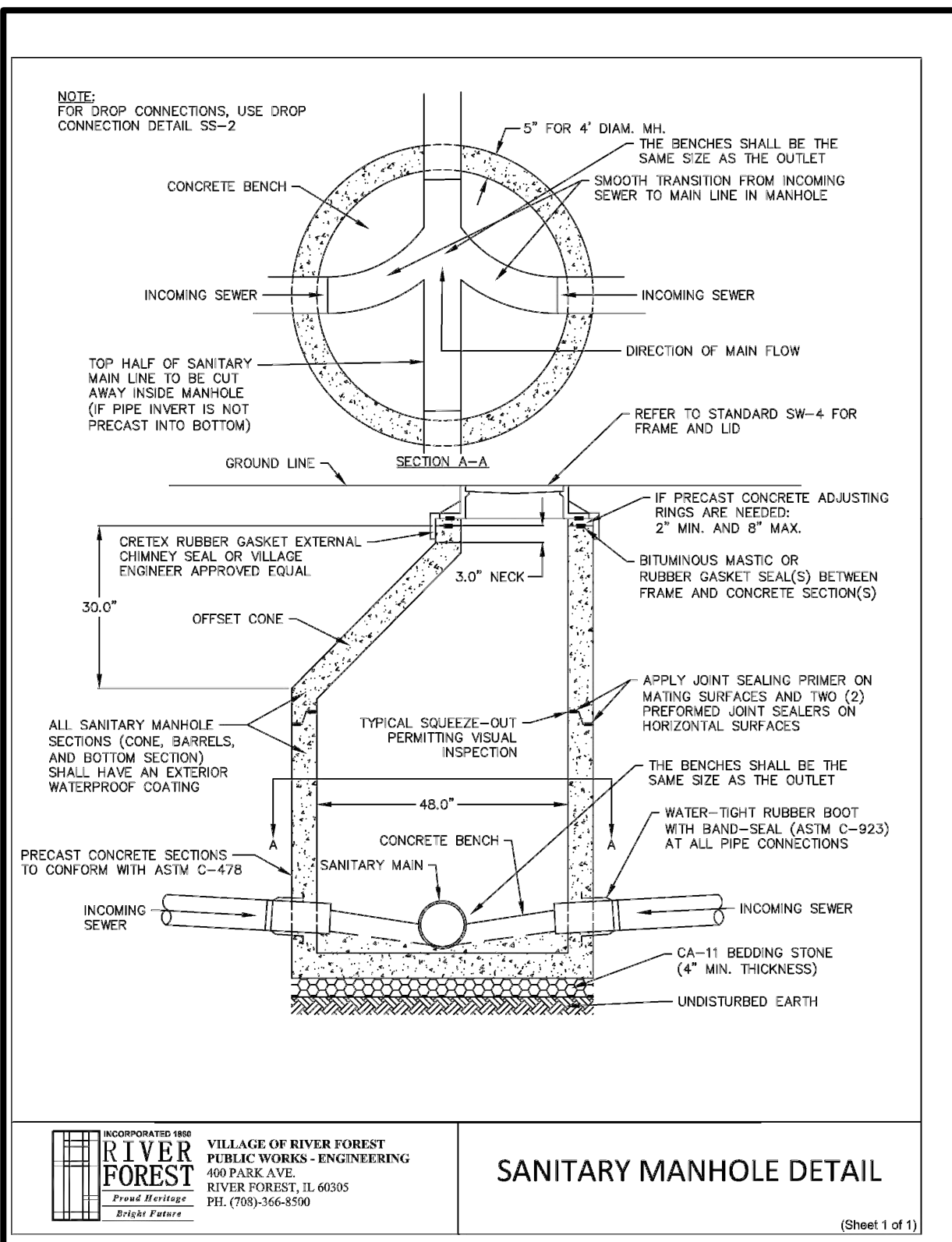
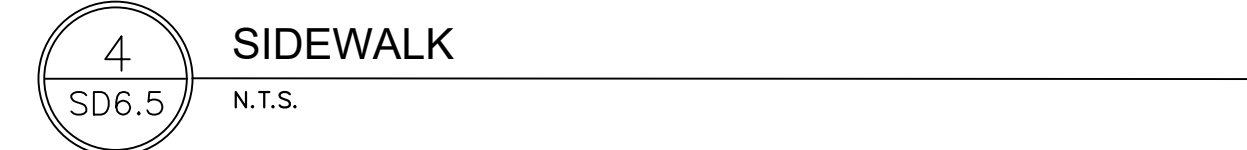
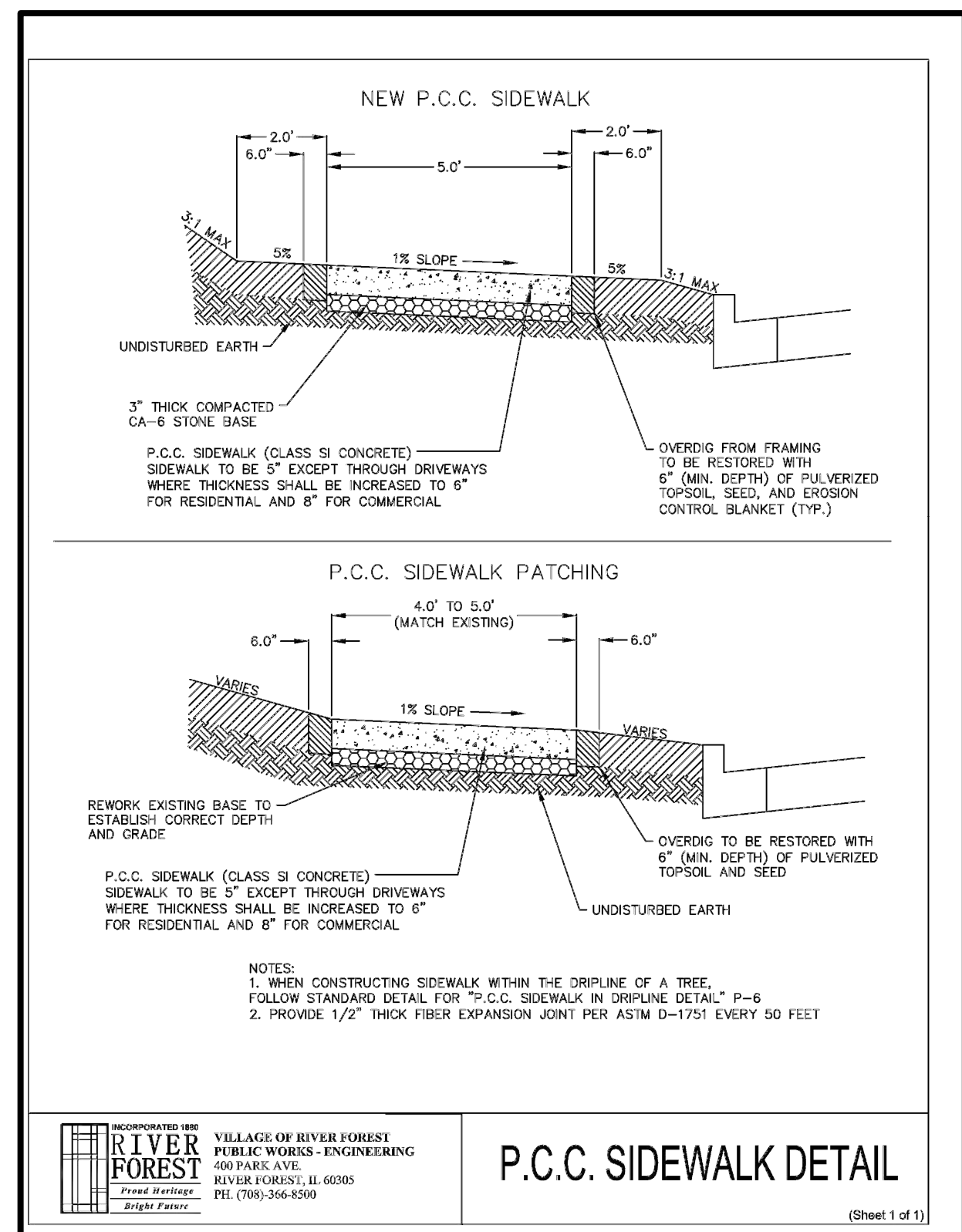
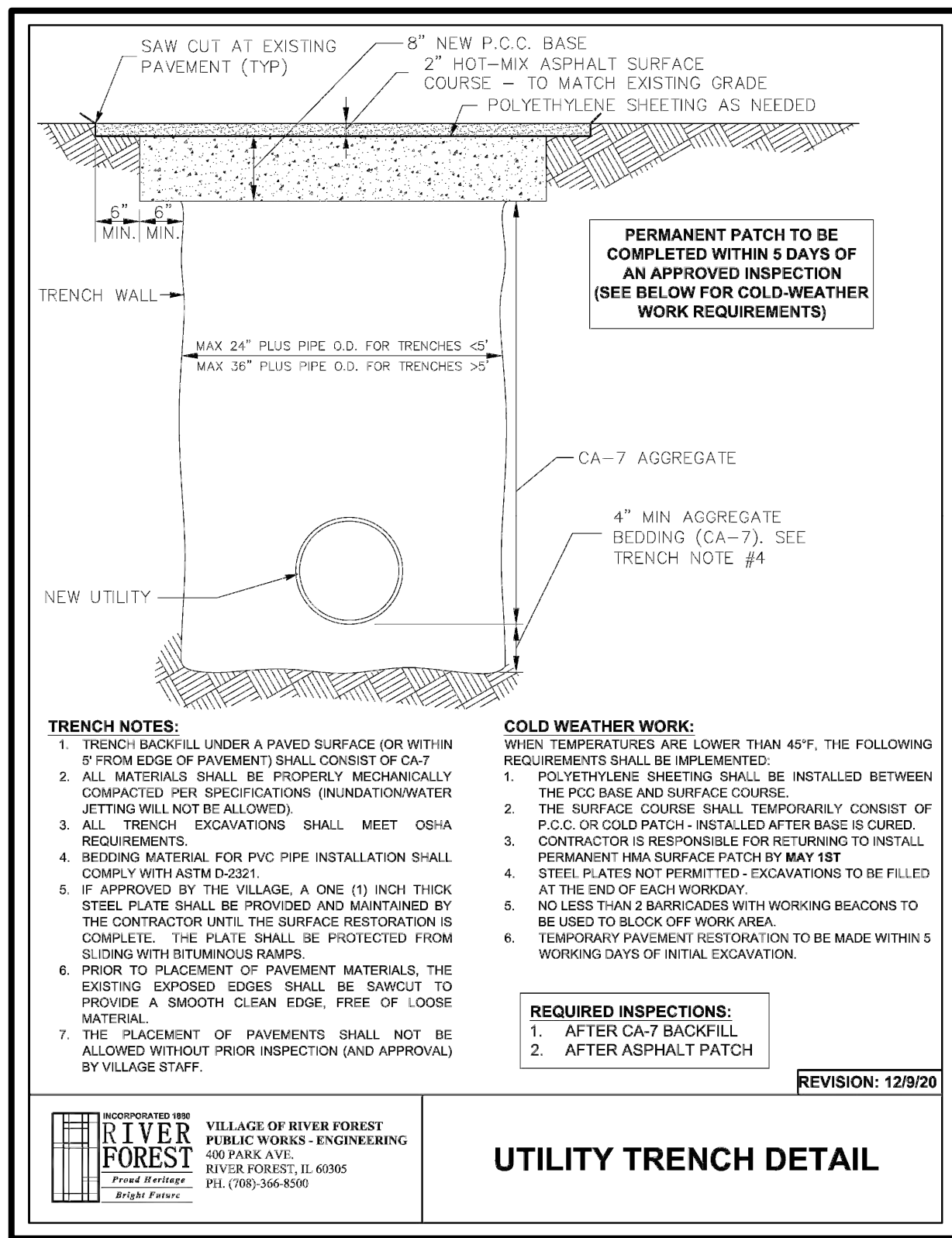
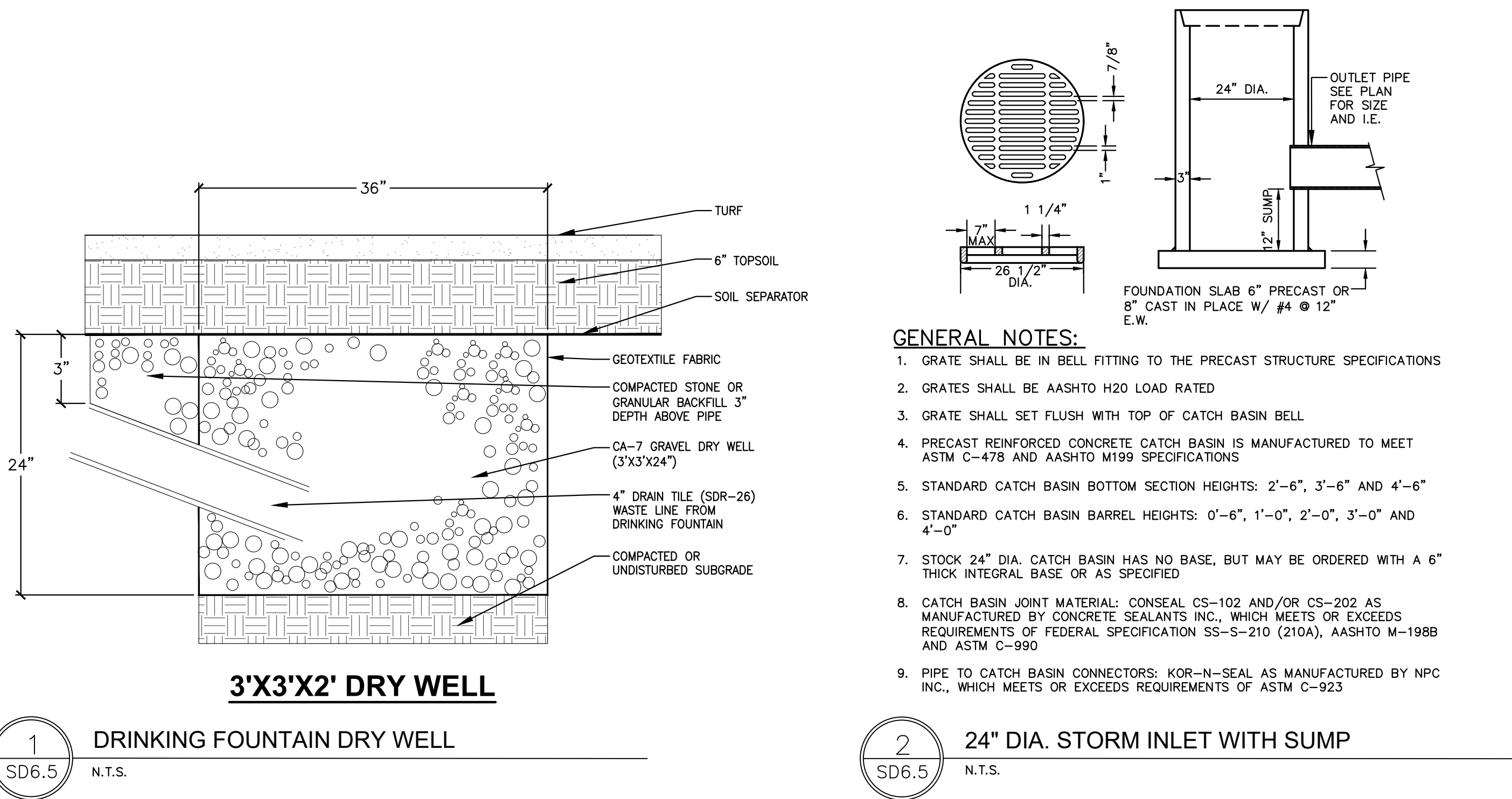
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CLIENT:

**RIVER FOREST  
PARK DISTRICT**

**River Forest  
Park District**

CLIENT ADDRESS:  
**401 THATCHER AVENUE  
RIVER FOREST, IL 60305**

PROJECT:

**CONSTITUTION  
PARK**

PROJECT LOCATION:  
**7715 GREENFIELD ST  
RIVER FOREST, IL 60305**

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Designed By:	SCD/EJD
Reviewed By:	LMV
Approved By:	LMV

SHEET TITLE:  
**CONSTRUCTION DETAILS**

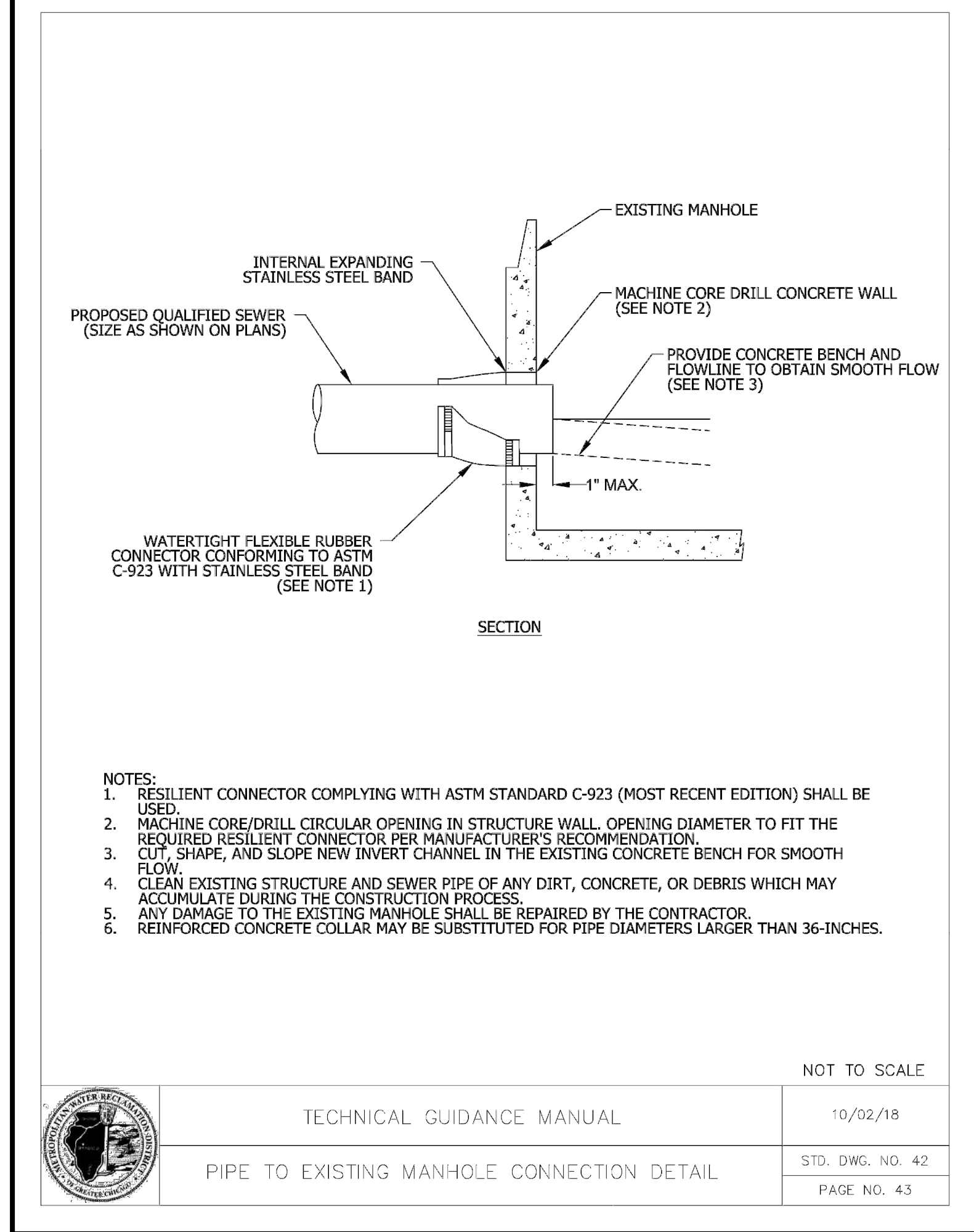
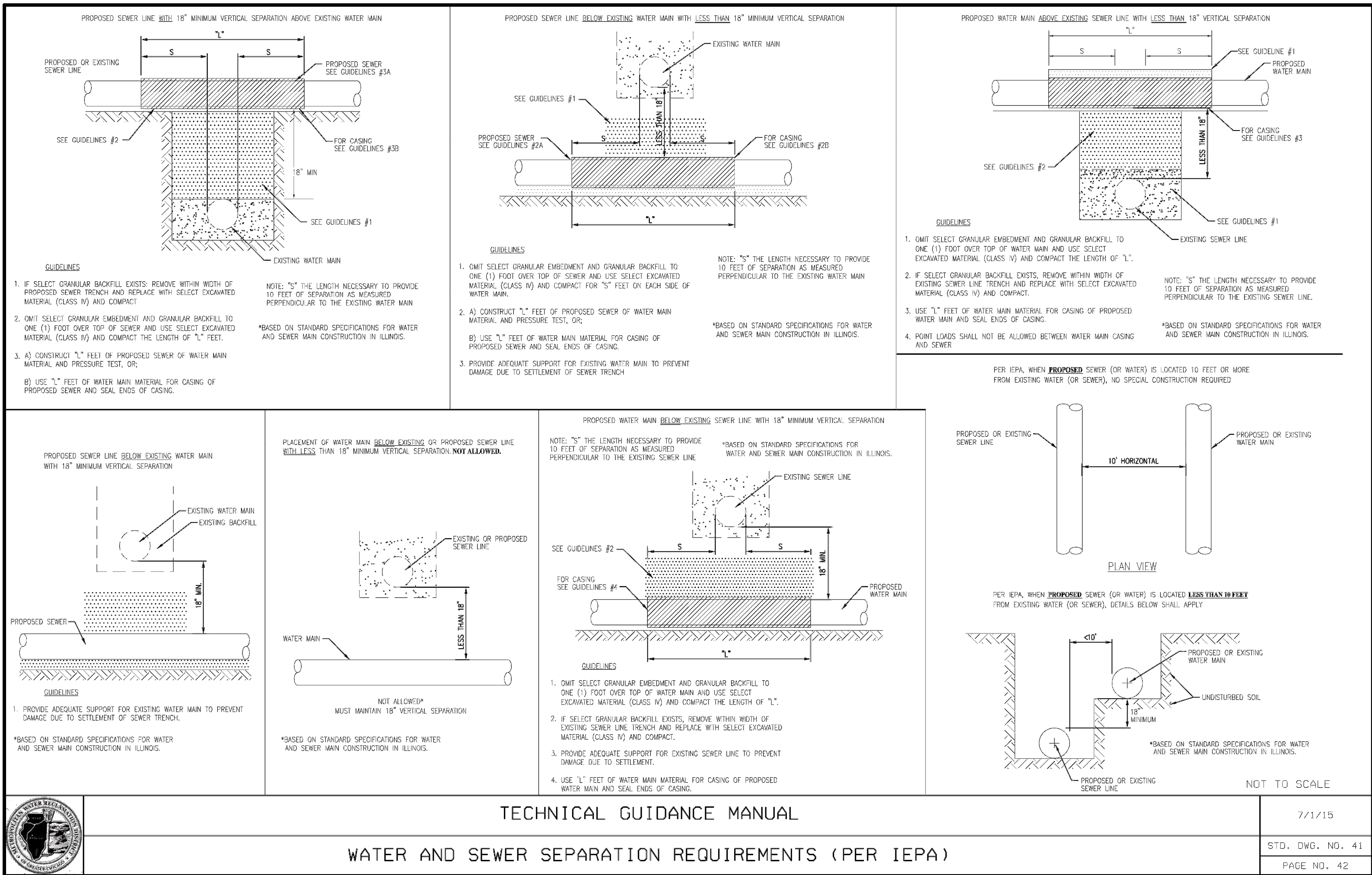
SHEET NUMBER:

**SD6.5**

JSD PROJECT NO: 24-14428

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PLAN MODIFICATIONS:		
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Designed By:	SCD/EJD
Reviewed By:	LMV
Approved By:	LMV



File: \JSD\Chicago projects\2024\2414428\DWG\Landscape Architecture\MWRD Submittals\24-14428 SD&0 Construction Details.dwg Layout: SD6.7 DETAILS User: eric.drakas Plotted: Jun 30, 2025 - 5:00pm Xref's:

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SD6.7

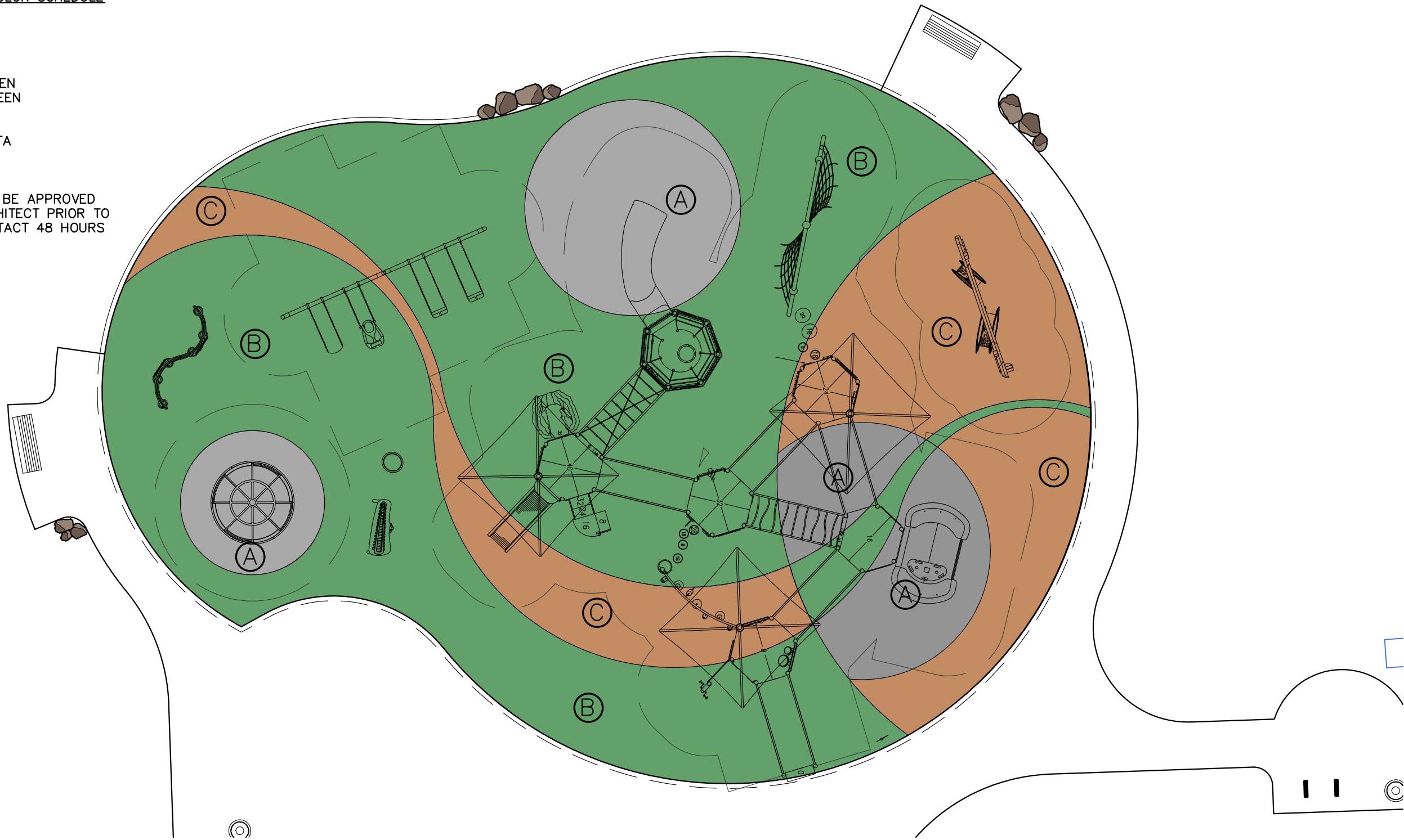
DUGOUT SHADES

NTS

POURED-IN-PLACE COLOR SCHEDULE

- A: 40% LIGHT GRAY  
25% DARK GRAY  
35% PEARL
- B: 60% BRIGHT GREEN  
20% HUNTER GREEN  
20% PEARL
- C: 50% TERRA COTTA  
30% GOLD  
20% PEARL

FIELD LAYOUT MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTACT 48 HOURS PRIOR.

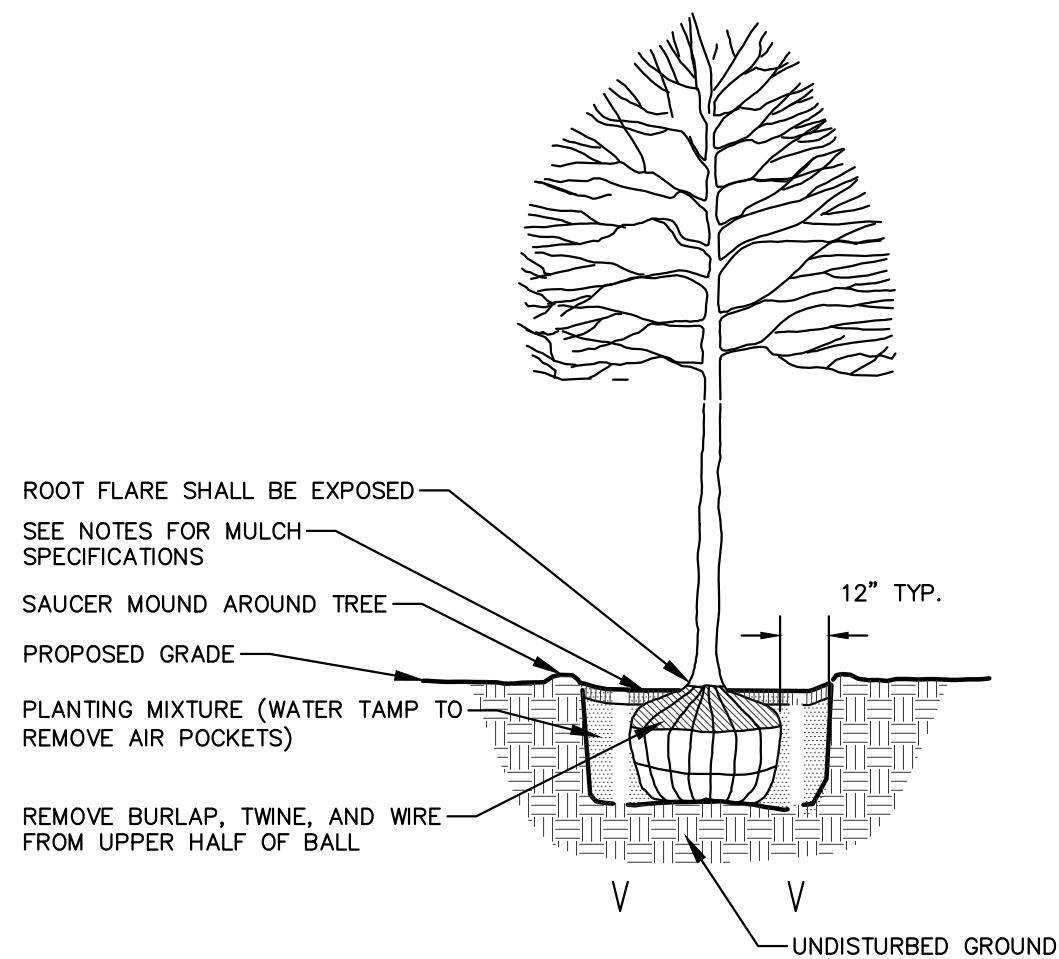


2

SD6.7

POURED-IN-PLACE RUBBER SURFACE COLOR LAYOUT

NTS



NOTE:

1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED

2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

3

SD6.7

DECIDUOUS TREE PLANTING

NTS



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PARK DISTRICT



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RIVER FOREST, IL 60305

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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

SD6.7

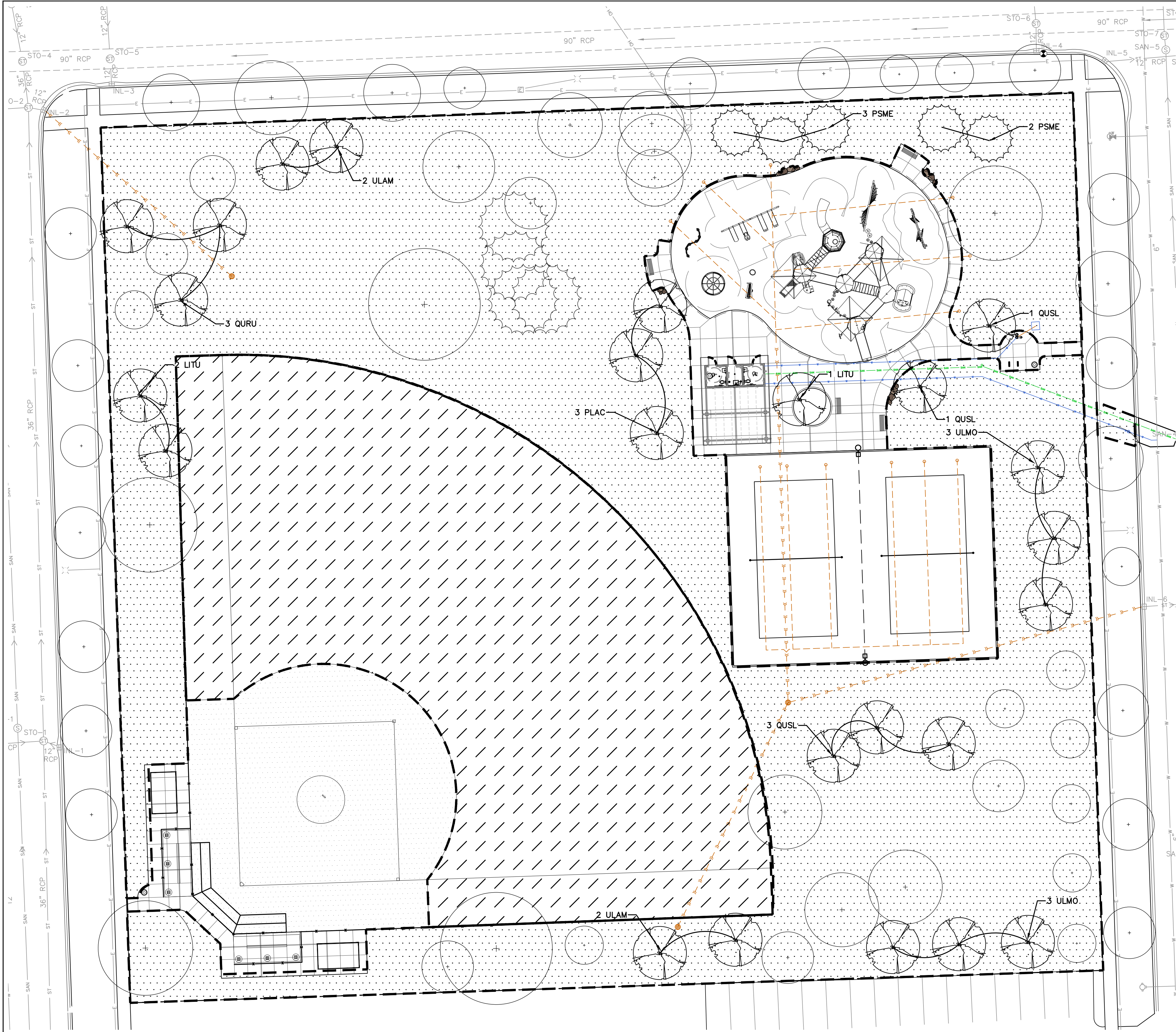
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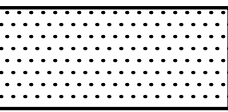
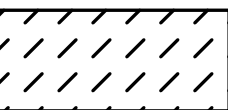
File: \\JSD\\Chicago projects\\2024\\2414428\\DWG\\Landscape Architecture\\MWRD Submittals\\24-14428 L1.0 Landscape Plan.dwg Layout: L1.0 LANDSCAPE User: eric.drahas Plotted: Jun 30, 2025 - 5:08pm Xrefs:



**LANDSCAPE & RESTORATION PLAN NOTES:**

1. FINE GRADE AND SEED DISTURBED AREA, INCLUDE EROSION CONTROL BLANKET. SEED LIMIT IS APPROXIMATE. SEED TO LIMITS OF GRADING AND DISTURBANCE. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ANY UNAUTHORIZED DISTURBANCE OUTSIDE OF DESIGNATED CONSTRUCTION AREA.
2. THE CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS FOR 60 DAYS AFTER INSTALLATION OR UNTIL A SATISFACTORY STAND OF GRASS HAS BEEN ESTABLISHED AND THE SITE HAS BEEN TURNED OVER TO THE OWNER.
3. ALL QUANTITIES ARE FOR REFERENCE. CONTRACTOR TO VERIFY QUANTITIES WITH PLANS PRIOR TO BIDDING.
4. ALL PLANTING BEDS SHALL HAVE A 3" CULTIVATED EDGE. CURVED BEDLINES ARE TO BE SMOOTH AND CONTINUOUS AND NOT SEGMENTED. SEE DETAIL.
5. SEE ALSO SPECIFICATIONS FOR PLANTING REQUIREMENTS.

**LEGEND**

-  KENTUCKY BLUEGRASS BLEND (SEED)
-  BALLFIELDS:  
CONSERVFS FIELD OF DREAMS GAMEDAY MIXTURE

**CUMULATIVE PLANT SCHEDULE:**

Code	Quantity	Size	Scientific Name	Common Name
Shade Trees				
LITU	3	3"	Liriodendron tulipifera	Tulip Tree
PLAC	3	3"	Platanus Acerifolia 'Morton Circle' Exclamation!	London Planetree, Exclamation
QURU	3	3"	Quercus rubra	Red Oak
QUSL	5	3"	Quercus x 'Scarlet Letter'	Scarlet Letter Oak
ULMO	6	3"	Ulmus x 'Morton'	Accolade® Elm
ULAM	4	3"	Ulmus americana 'Jefferson'	Jefferson American Elm
Evergreen Trees				
PSME	5	6'	Pseudotsuga Menziesii	Douglas Fir



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PARK DISTRICT**



CLIENT ADDRESS:  
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RIVER FOREST, IL 60305**

PROJECT:

**CONSTITUTION  
PARK**

PROJECT LOCATION:  
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:  
**LANDSCAPE &  
RESTORATION PLAN**

SHEET NUMBER:

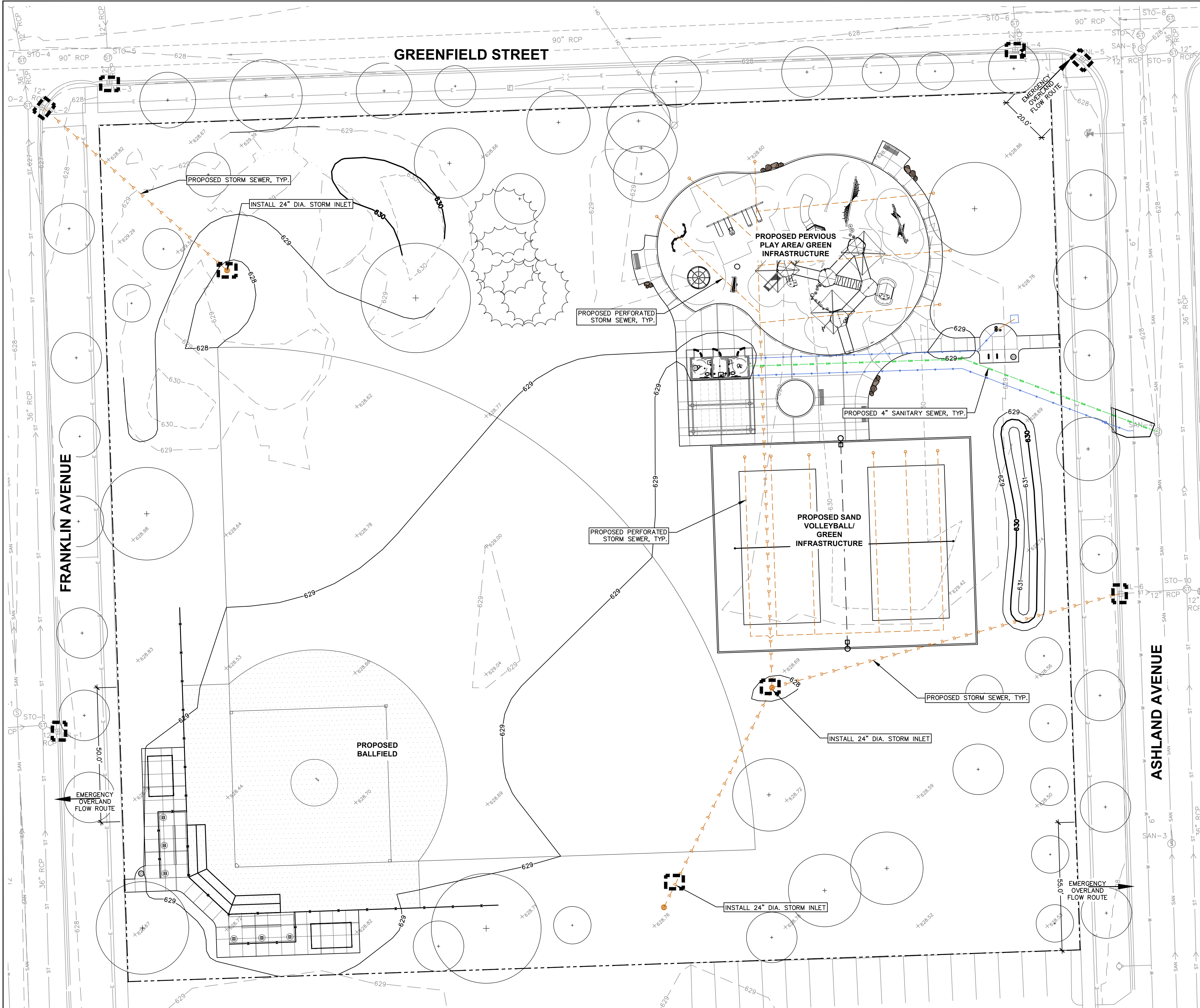
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JSD PROJECT NO: 24-14428

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File: \\JSD\\Chicago projects\\2024\\24-14428\\DWG\\Landscape Architecture\\MWRD Submittals\\24-14428 Exhibit R.dwg Layout: Exhibit R User: eric.drakas Plotted: Jun 30, 2025 - 5:05pm Xrefs:



LEGEND

- EDGE OF PAVEMENT
- 959 PROPOSED 1 FOOT CONTOUR
- 960 PROPOSED 5 FOOT CONTOUR
- 959 EXISTING 1 FOOT CONTOUR
- 960 EXISTING 5 FOOT CONTOUR
- DRAINAGE DIRECTION
- SPOT ELEVATION
  - EP - EDGE OF PAVEMENT
  - FG - FINISH GRADE
  - EC - EDGE OF CONCRETE
  - BC - BOTTOM OF CURB
  - TC - TOP OF CURB
  - MATCH - MATCH EXISTING GRADE
- FG: XXX.XX
- RIGID STORM SEWER
- PERFORATED STORM SEWER
- INLET PROTECTION

MAINTENANCE & MONITORING NOTES

THE RIVER FOREST PARK DISTRICT SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE ACTIVITIES ASSOCIATED WITH THE PROPOSED DEVELOPMENT AS SHOWN ON THIS EXHIBIT (EXHIBIT R).

- GENERAL
  - 1.1. REGULAR INSPECTIONS AND ROUTINE MAINTENANCE OF GENERAL AREAS SHALL BE PERFORMED ON A MONTHLY OR AS-NEEDED BASIS. SPECIFIC ITEMS OF CONCERN INCLUDE:
    - LITTER AND DEBRIS SHALL BE CONTROLLED.
    - LANDSCAPED AREAS SHALL BE MAINTAINED WITH REGULAR MOWING AND RESTORED WITH APPROPRIATE SEEDING/VEGETATION AS NECESSARY.
    - ACCUMULATED SEDIMENT SHALL BE DISPOSED OF PROPERLY, ALONG WITH ANY WASTES GENERATED DURING MAINTENANCE OPERATIONS.
    - ROADS SHALL BE SWEEPED, VACUUMED AND/OR WASHED ON A REGULAR BASIS.
- STORMWATER COLLECTION SYSTEM
  - 2.1. THE OWNER SHALL PERFORM MONTHLY INSPECTIONS OF ALL COMPONENTS OF THE STORMWATER COLLECTION SYSTEM. THE MONTHLY INSPECTION SHALL OCCUR BETWEEN MARCH AND NOVEMBER AND INCLUDE THE FOLLOWING SPECIFIC AREAS OF CONCERN:

STORM INLET/MANHOLES

- REMOVE ACCUMULATED LEAVES AND OTHER DEBRIS FROM GRATES.
- RESET COVERS/LIDS ON AS-NEEDED BASIS.

STORM SEWERS

- VISUALLY INSPECT PIPES BY REMOVING MANHOLE/INLET LIDS, MAKE REPAIRS AS NECESSARY.
- STORM SEWERS SHALL BE CHECKED FOR SILTATION DEPOSITS AT INLETS, OUTLETS, AND WITHIN CONDUIT, CLEAN OUT AS NECESSARY.
- REPLANT AND RESEED ANY ERODED AREAS.

OVERLAND FLOW ROUTES (DITCHES/SWALES)

- ANNUAL VISUAL INSPECTIONS SHALL BE PERFORMED THAT VERIFY THE DESIGN CAPACITY OF THE OVERLAND FLOW ROUTES IS MAINTAINED.
- REMOVE ANY OBSTRUCTIONS THAT HAVE BEEN PLACED IN THE DRAINAGE PATH.
- SEED AND SOD ERODED AREAS.
- REGRADE TO PROVIDE POSITIVE DRAINAGE AS NECESSARY.
- REGULAR MOWING TO CONTROL VEGETATION.

- VEGETATED AREAS
  - NEED FOR PLANTING, RESEEDING, OR SODDING. SUPPLEMENT ALTERNATIVE NATIVE VEGETATION IF A SIGNIFICANT PORTION HAS NOT ESTABLISHED (50% OF THE SURFACE AREA AFTER SECOND GROWING SEASON); RESEED WITH ALTERNATIVE NATIVE GRASS SPECIES IF ORIGINAL GRASS COVER HAS NOT SUCCESSFULLY ESTABLISHED.
  - EVIDENCE OF GRAZING, MOTORBIKES, OR OTHER VEHICLES. REPAIR.
  - CHECK FOR INVASIVE VEGETATION, REMOVE WHEN POSSIBLE.
  - REGULAR MOWING TO CONTROL VEGETATION; IT IS RECOMMENDED THAT NATIVE VEGETATION REMAIN UNCUT.
  - DEAD OR DAMAGED NON-NATIVE GRASSY AREAS - REPAIR WITH SEEDING WITH FERTILIZATION OR SEEDING WITH MULCH.

PROJECT SITE SUMMARY

PROJECT LEGAL DESCRIPTION:  
SECTION 01, TOWNSHIP 39 NORTH, RANGE 12 EAST  
PROPERTY ADDRESS:  
7715 GREENFIELD STREET, RIVER FOREST, IL 60305  
PROPERTY INDEX NUMBER: 15-01-112-0001-0000  
TOTAL CONTIGUOUS OWNERSHIP: 2.8 ACRES  
PROJECT AREA: 2.5 ACRES

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	630.27	TOP OF NE FLANGE BOLT ON HYDRANT ON THE SE CORNER OF GREENFIELD AND FRANKLIN STREET
BM-2	628.07	CHISELED X IN CURB HEAD AT THE SW CORNER OF GREENFIELD AND ASHLAND AVE

\*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.



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RIVER FOREST  
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Designed By: SCD/EJD  
Reviewed By: LMV  
Approved By: LMV

SHEET TITLE:

MAINTENANCE &  
MONITORING PLAN

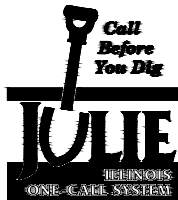
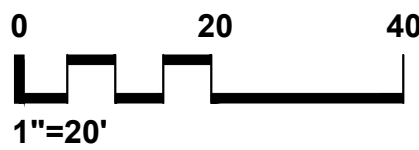
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EXHIBIT R

JSD PROJECT NO: 24-14428

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EX.R

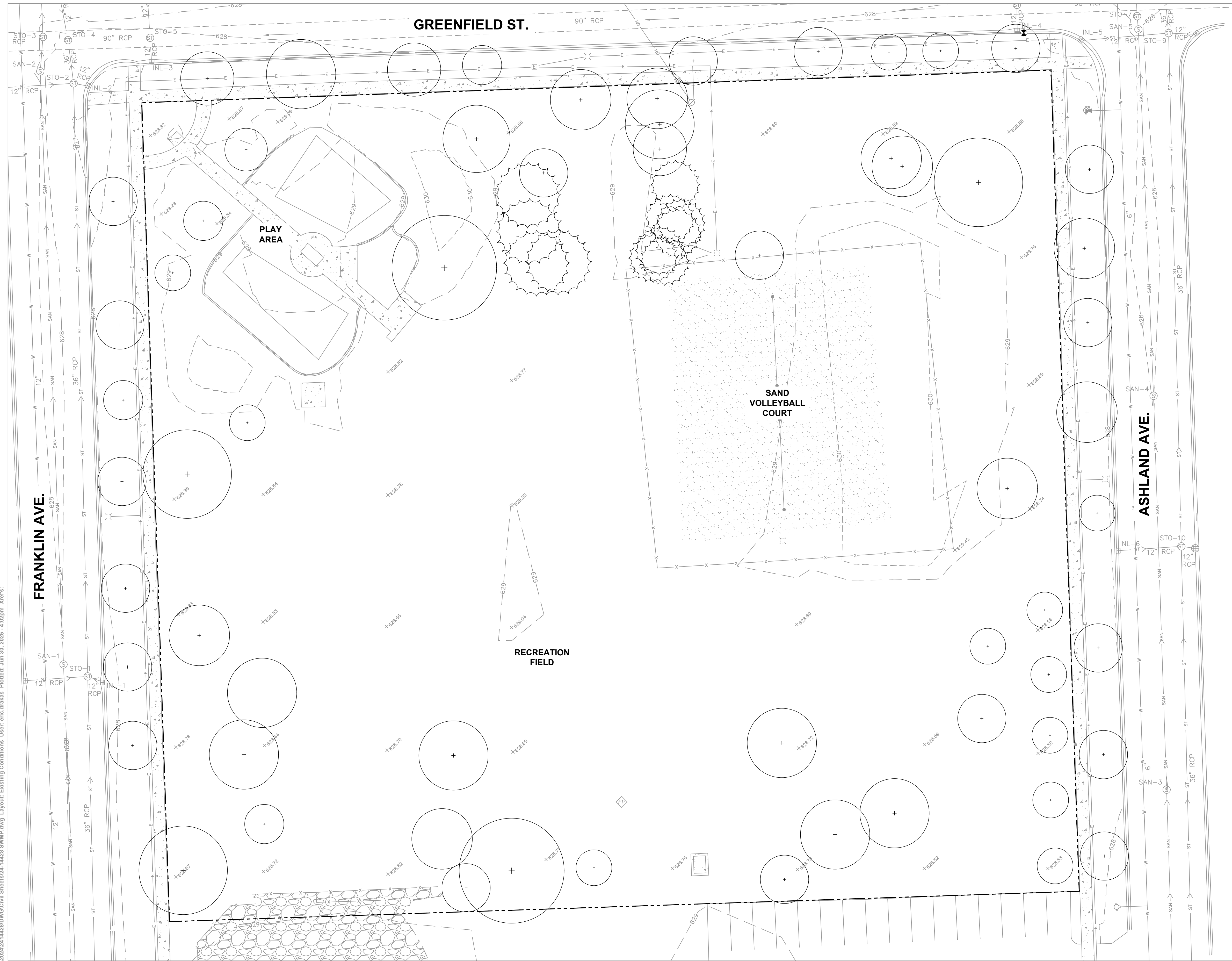
MAINTENANCE & MONITORING PLAN



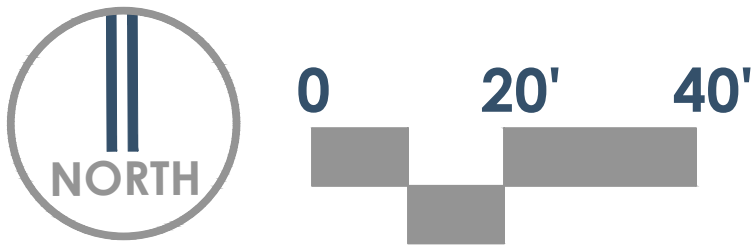
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File: I:\USIN\Chicago projects\2024\24-14428\DWG\Civil Sheets\24-14428 SWMP.dwg Layout: Existing Conditions User: efc:drakes Plotted: Jun 30, 2025 - 4:02pm Xrefs:



<b>SITE COVERAGE DATA</b>	
<b>ADDRESS: 7715 GREENFIELD STREET, RIVER FOREST, IL</b>	
<b>PIN: 15-01-112-001-0000</b>	
<b>TOTAL CONTIGUOUS PARCEL AREA:</b>	<b>120,783 SF OR 2.8± AC.</b>
<b>EXISTING CONDITIONS</b>	
<b>IMPERVIOUS AREA:</b>	<b>1,444 SF</b>
<b>PERVIOUS AREA:</b>	<b>119,339 SF</b>





File: I:\SDIN\Chicago projects\2024\2414428\DWG\Civil Sheets\24-14428 SWMP.dwg Layout: Proposed Conditions User: enric.drakas Plotted: Jun 30, 2025 - 4:02pm Xref's:



**PROPOSED WATERSHED AREAS**

**WATERSHED A**  
IMPERVIOUS AREA: 944 SF (ALL OPEN SPACE DEVELOPMENT)  
PERVIOUS AREA: 43,144 SF

TIME OF CONCENTRATION: 18.6 MIN.

WEIGHTED CN VALUE: 80 CN

DEVELOPMENT WITHIN WATERSHED: NEW BALLFIELD AREA AND STORM INSTALLATION.  
WMO STORMWATER REQUIREMENTS: SUBJECT TO 502 RUNOFF PROVISIONS.

**WEIR CAPACITY CALCULATION**  
PEAK RUNOFF GENERATED FROM SITE: 4.49 CFS

$Q_c = C_w * L * H^{1.5}$

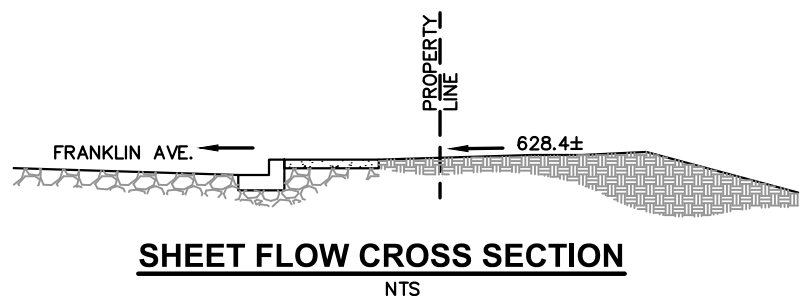
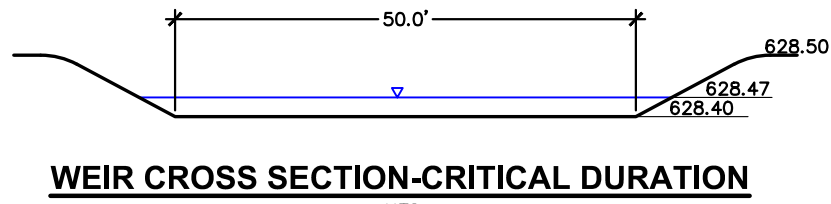
$Q_c$  = FLOW CAPACITY OF WEIR  
 $C_w$  = WEIR COEFFICIENT  
 $L$  = LENGTH OF WEIR  
 $H$  = HEIGHT OF WEIR

$Q = (3.09) * (50) * (0.10)^{1.5}$

$Q_c = 4.89$  CFS (CAPACITY OF THE WEIR)

4.89 CFS > 4.49 CFS

CAPACITY OF THE WEIR > PEAK RUNOFF



**PROPOSED WATERSHED AREAS**

**WATERSHED B**  
IMPERVIOUS AREA: 2,361 SF (ALL OPEN SPACE DEVELOPMENT)  
PERVIOUS AREA: 16,833 SF

TIME OF CONCENTRATION: 6.0 MIN.

WEIGHTED CN VALUE: 82 CN

DEVELOPMENT WITHIN WATERSHED: PERVIOUS PLAY AREA, WALKWAYS, RESTROOMS, AND UNDERDRAINAGE STORM INSTALLATION.  
WMO STORMWATER REQUIREMENTS: SUBJECT TO 502 RUNOFF PROVISIONS.

**WEIR CAPACITY CALCULATION**  
PEAK RUNOFF GENERATED FROM SITE: 2.94 CFS

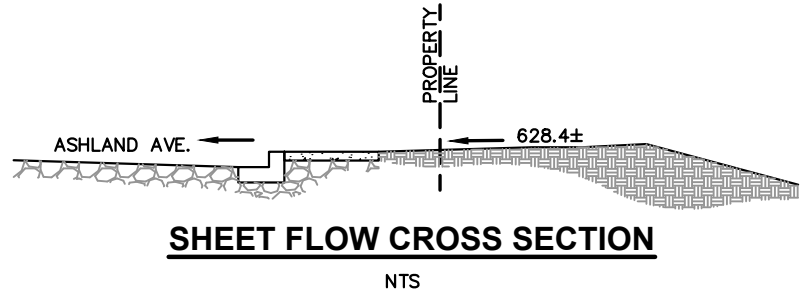
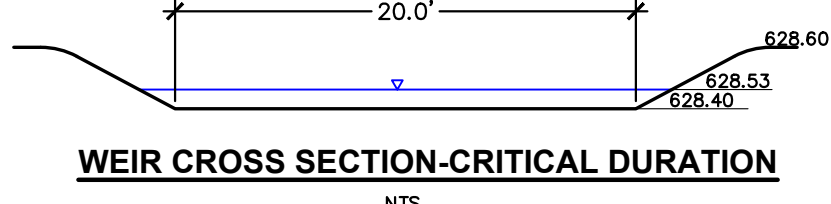
$Q_c = C_w * L * H^{1.5}$   
 $Q_c$  = FLOW CAPACITY OF WEIR  
 $C_w$  = WEIR COEFFICIENT  
 $L$  = LENGTH OF WEIR  
 $H$  = HEIGHT OF WEIR

$Q = (3.09) * (20) * (0.1)^{1.5}$

$Q_c = 5.53$  CFS (CAPACITY OF THE WEIR)

5.53 CFS > 2.94 CFS

CAPACITY OF THE WEIR > PEAK RUNOFF



**PROPOSED WATERSHED AREAS**

**WATERSHED C**  
IMPERVIOUS AREA: 2,863 SF (ALL OPEN SPACE DEVELOPMENT)  
PERVIOUS AREA: 54,638 SF

TIME OF CONCENTRATION: 12.7 MIN.

WEIGHTED CN VALUE: 81 CN

DEVELOPMENT WITHIN WATERSHED: NEW BALLFIELD AREA, SAND VOLLEYBALL, OPEN AIR SHELTER, AND STORM INSTALLATION.  
WMO STORMWATER REQUIREMENTS: SUBJECT TO 502 RUNOFF PROVISIONS.

**WEIR CAPACITY CALCULATION**  
PEAK RUNOFF GENERATED FROM SITE: 7.08 CFS

$Q_c = C_w * L * H^{1.5}$

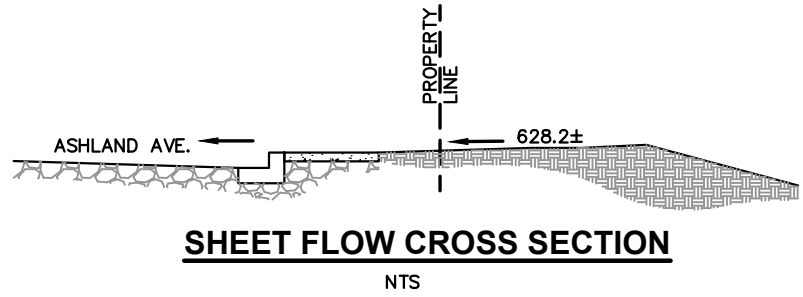
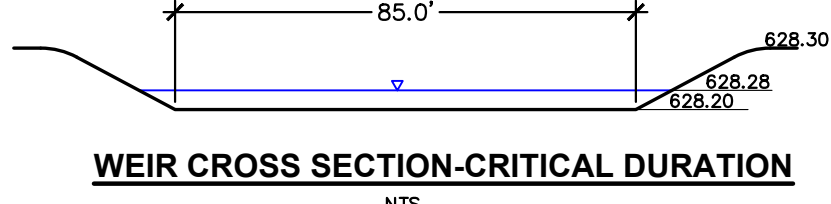
$Q_c$  = FLOW CAPACITY OF WEIR  
 $C_w$  = WEIR COEFFICIENT  
 $L$  = LENGTH OF WEIR  
 $H$  = HEIGHT OF WEIR

$Q = (3.09) * (55) * (0.1)^{1.5}$

$Q_c = 8.31$  CFS (CAPACITY OF THE WEIR)

8.31 CFS > 7.08 CFS

CAPACITY OF THE WEIR > PEAK RUNOFF



<b>SITE COVERAGE DATA</b>	
ADDRESS: 7715 GREENFIELD STREET, RIVER FOREST, IL	
PIN: 15-01-112-001-0000	
TOTAL CONTIGUOUS PARCEL AREA:	120,783 SF OR 2.8± AC.
PROJECT AREA (TOTAL DISTURBANCE):	108,770 SF OR 2.5 AC.
<b>EXISTING CONDITIONS</b>	
IMPERVIOUS AREA:	1,444 SF
PERVIOUS AREA:	119,339 SF
<b>PROPOSED CONDITIONS</b>	
IMPERVIOUS AREA:	6,168 SF
PERVIOUS AREA:	114,615 SF
<b>IMPERVIOUS COVERAGE: 5.1%</b>	
(LESS THAN 30% IMPERVIOUS COVERAGE AND ONLY OPEN SPACE IMPERVIOUS IS PROPOSED	
VOLUME CONTROL REQUIREMENTS DO NOT APPLY TO THE PROPOSED IMPERVIOUS DEVELOPMENTS)	

- OPEN SPACE DEVELOPMENT  
WALKWAYS UNDER 14'
- OPEN SPACE DEVELOPMENT  
OUTDOOR ACCESSORY FEATURE

**STORMWATER NOTE:**  
STORMWATER FROM THE SITE TIES INTO EXISTING INLETS AND ROUTES TO 90" STORM LINE WITHIN GREENFIELD ST. WHERE IT FLOWS WEST AND DISCHARGES INTO THE DES PLAINES RIVER. REMAINING SEPARATE FROM HE COMBINED SEWER ITS ENTIRE ROUTE.

