



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois 60305

Dear Chairman Martin and the Development Review Board,

The River Forest Park District is in the process of seeking approval to move forward with the replacement of the 5 tennis courts and 4 batting cages in Keystone Park. The proposed project will be fully funded by the River Forest Park District out of the agency's Capital Projects Fund.

This project centers on the 5 Keystone tennis courts as their age and condition warrants replacement. The Park District sees the replacement of the tennis courts as an opportunity to maximize the use of the space on the east end of the park, and accommodate space for additional platform tennis courts at a future date. Additional platform tennis courts are not part of this application.

The scope of the project includes:

- Replace and reconfigure the 5 tennis courts with new LED sport lights. The new lights would be controlled by 3 separate switches to eliminate the lighting of unused courts. Each new tennis court will be dual lined with a pickle ball court.
- Relocate the tennis hitting walls to the east fence on the new south tennis court.
- Installation of 5 new 24"x18" facility use guidelines signs at the 5 entrance gates to the tennis courts and basketball hoops area. Signs to be hung on the fence.
- Replace and relocate the 4 lighted batting cages.
 - a. The first set of lighted cages would be permanently installed along Central Avenue, west of the Keystone Center. These 2 cages would be centrally located between the 2 baseball fields.
 - b. The second set of cages would be a temporary facility east of the synthetic infield, with a permeable surface and nets up only during the youth baseball season. The second set of cages will not be lighted.
- Relocate the 2 basketball hoops from inside the tennis courts to a dedicated fenced area along Central Avenue. The basketball hoop area will be lighted.
- New storm water drainage with a drainage swale located along Lake Street to accommodate MWRD requirements.
- Replace the flag pole with a new 30' lighted flag pole located adjacent to the synthetic ballfield scoreboard.

This project is scheduled for the fall of 2022.

Thank you for your consideration.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Applicant Information

To Whom It May Concern,

Project Address

Keystone Park East
7920 Central Avenue
River Forest, Illinois 60305

Property Owner & Applicant

River Forest Park District
401 Thatcher Avenue
River Forest, Illinois 60305

President

Lynn Libera
llybera@rfparks.com

Executive Director

Michael Sletten
msletten@rfparks.com

Engineering Firms

WT Group

Todd Abrams, Executive Vice President
todd.abrams@wtengineering.com

Fred Kolkman Tennis & Sport Surface

Fred Kolkman, Owner
courtbuilder@ameritech.net

Sincerely,

Lynn Libera
President

P.I.N. 15-12-113-001, 15-12-113-002

LEGAL DESCRIPTION: THE LEGAL DESCRIPTION OF THE PROPERTY IS AS FOLLOWS: PIN NOS: 15-12-113-001-0000, 15-12-113-002-0000. AS SHOWN ON PLAT OF SURVEY – RIVER FOREST PARK DISTRICT MUNICIPAL CORPORATION, AS TO PARCELS 1 AND 4, ALSO AS THAT PART OF PARCELS 2 AND 3 EXCEPT A TRACT OF LAND LOCATED IN BLOCK 18 IN PART OF RIVER FOREST A SUBDIVISION IN SECTIONS 11 AND 12, TOWNSHIP 39 NORTH, RANGE 12 EAST, OF THE THIRD PRINCIPAL MERIDIAN, CONSISTING OF PART OF LOTS 8,9, AND 10 IN SAID BLOCK 18, PART OF LOTS 2 AND 3 IN GRIFFIN'S ADDITION TO RIVER FOREST, PART OF VACATED CENTRAL AVENUE VACATED BY ORDINANCE RECORDED JULY 22, 1975 AS DOCUMENT NO. 23159661, AND PART OF VACATED CENTRAL AVENUE LYING SOUTH OF THE SOUTHERLY LINE OF DOCUMENT NO. 5265923 AND SOUTHERLY OF AFOREMENTIONED VACATED DOCUMENT NO. 23159661, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST LINE OF BLOCK 18 (BEING ALSO THE EAST LINE OF THATCHER AVENUE) AND THE SOUTH LINE OF THE NORTH HALF OF LOT 11 IN BLOCK 18 AFORESAID; THENCE SOUTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST ALONG THE WEST LINE OF BLOCK 18, AFORESAID, 45.67 FEET TO THE POINT OF BEGINNING OF LAND HEREIN DESCRIBED; THENCE SOUTH 82 DEGREES, 45 MINUTES, 40 SECONDS EAST, 189.20 FEET, THENCE; SOUTH 04 DEGREES, 31 MINUTES, 00 SECONDS WEST, 109.73 FEET; THENCE NORTH 82 DEGREES, 39 MINUTES, 00 SECONDS WEST, 180.54 FEET TO THE AFOREMENTIONED WEST LINE OF BLOCK 18; THENCE NORTH 00 DEGREES, 00 MINUTES, 00 SECONDS WEST ALONG SAID WEST LINE, 110.13 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

VILLAGE OF RIVER FOREST, A MUNICIPAL CORPORATION OF ILLINOIS, AS TO THAT PART OF PARCELS 2 AND 3 DESCRIBED AS FOLLOWS:

A TRACT OF LAND LOCATED IN BLOCK 18 IN PART OF RIVER FOREST, A SUBDIVISION IN SECTION 11 AND 12, TOWNSHIP 39 NORTH, RANGE 12 EAST, OF THE THIRD PRINCIPAL MERIDIAN, CONSISTING OF PART OF LOTS 8, 9, AND 10 IN SAID BLOCK 18, PART OF LOTS 2 AND 3 IN GRIFFIN'S ADDITION TO RIVER FOREST, PART OF VACATED CENTRAL AVENUE VACATED BY ORDINANCE RECORDED JULY 22, 1975 AS DOCUMENT 23159661, AND PART OF VACATED CENTRAL AVENUE LYING SOUTH OF THE SOUTHERLY LINE OF DOCUMENT NO. 5265923 AND SOUTHERLY OF AFOREMENTIONED VACATED DOCUMENT NO. 23159661, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE WEST LINE OF BLOCK 18 BEING ALSO THE EAST LINE OF THATCHER AVENUE) AND THE SOUTH LINE OF THE NORTH HALF OF LOT 11 IN BLOCK 18 AFORESAID; THENCE SOUTH 00 DEGREES, 00 MINUTES, 00 SECONDS EAST ALONG THE WEST LINE OF BLOCK 18, AFORESAID, 45.67 FEET TO THE POINT OF BEGINNING OF LAND HEREIN DESCRIBED; THENCE SOUTH 82 DEGREES, 45 MINUTES, 40 SECONDS EAST, 189.20 FEET; THENCE SOUTH 04 DEGREES, 31 MINUTES, 00 SECONDS WEST, 109.73 FEET; THENCE NORTH 82 DEGREES, 39 MINUTES, 00 SECONDS WEST, 180.54 FEET TO THE AFOREMENTIONED WEST LINE OF BLOCK 18; THENCE NORTH 00 DEGREES, 00 MINUTES, 00 SECONDS WEST ALONG SAID WEST LINE, 110.13 FEET TO THE POINT OF BEGINNING, IN COOK COUNTY, ILLINOIS.

THAT PART OF NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 39 NORTH, RANGE 12 EAST, FORMERLY KNOWN AS BLOCK 16 AND THE EAST HALF OF BLOCK 17 AND FOREST AVENUE LYING BETWEEN SAID BLOCKS 16 AND 17 IN RIVER FOREST A SUBDIVISION OF PARTS OF SECTIONS 11 AND 12, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LOTS 9 TO 16 IN BLOCK 17 LOTS 1 TO 7, LOTS 1 TO 7, LOTS 8 AND 9 (EXCEPT EAST 60.5 FEET OF SAID LOTS 8 AND 9) AND LOT 10 (EXCEPT EAST 60.5 FEET OF SOUTH 16 FEET AND EXCEPT EAST 30.5 FEET OF NORTH 34 FEET) AND SOUTH HALF OF LOT 11 (EXCEPT EAST 30.5 FEET) AND EAST 10 FEET NORTH HALF OF LOT 11 AND EAST 10 FEET OF SOUTH HALF LOT 12 EAST 15 FEET OF LOT 15 AND SOUTH 50 FEET OF LOT 15, LYING WEST OF EAST 15 FEET AND ALL OF LOTS 16 AND 18 BLOCK 18 IN SUBDIVISION OF PART OF RIVER FOREST A SUBDIVISION OF SECTION 11 AND 12 TOWNSHIP 39 NORTH, RANGE 12 EAST, ACCORDING TO MAP THEREOF RECORDED FEBRUARY 4, 1973 AS DOCUMENT 81938 IN COOK COUNTY, ILLINOIS.

LOTS 1, 2, AND 3 IN GRIFFIN'S ADDITION TO RIVER FOREST A RESUBDIVISION OF EAST 60.5 FEET OF LOTS 8 AND 9 AND THE EAST 60.5 FEET OF SOUTH 16 FEET OF LOT 10 AND EAST 30.5 FEET OF NORTH 34 FEET LOT 10 AND EAST 30.5 FEET OF SOUTH HALF OF LOT 11 AND ALL OF LOT 17 BLOCK 18 IN SUBDIVISION OF PART OF RIVER FOREST A SUBDIVISION AS AFORESAID.

KEYSTONE AVENUE LYING BETWEEN BLOCK 17 AND 18 AND CENTRAL AVENUE (RAILROAD AVENUE) LYING SOUTH OF ADJOINING BLOCK 18 AND SOUTH LINE OF BLOCK 18 EXTENDED EAST TO WEST LINE OF BLOCK 17 IN SUBDIVISION OF PART OF RIVER FOREST A SUBDIVISION AFORESAID.



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement Indicating Compliance with the Village of River Forest Comprehensive Plan

To Whom It May Concern,

The Keystone Project includes the replacement of 5 tennis courts, the addition of a basketball area and pickle play to the park, reconfigure space to allow for future recreation development, and adds storm water improvements. This project is in direct support of the Village of River Forest Comprehensive plan standards and objectives as follow:

Core Community Principles:

1. Strengthening our property values and enhancing our quality of life. *The replacement of the tennis court, addition of new recreation facilities, and the reconfiguration of the site to add future recreation opportunities will allow the Park District to increase its recreation program offerings for all age groups.*
2. Minimizing and stabilizing our property tax burden. *This project is entirely financed through the Park District's Capital Fund and no debt will be issued. This project centers around the needed replacement of the tennis courts; however, the reconfiguration of the courts maximizes the use of the space*

Land Use & Development Core Objectives

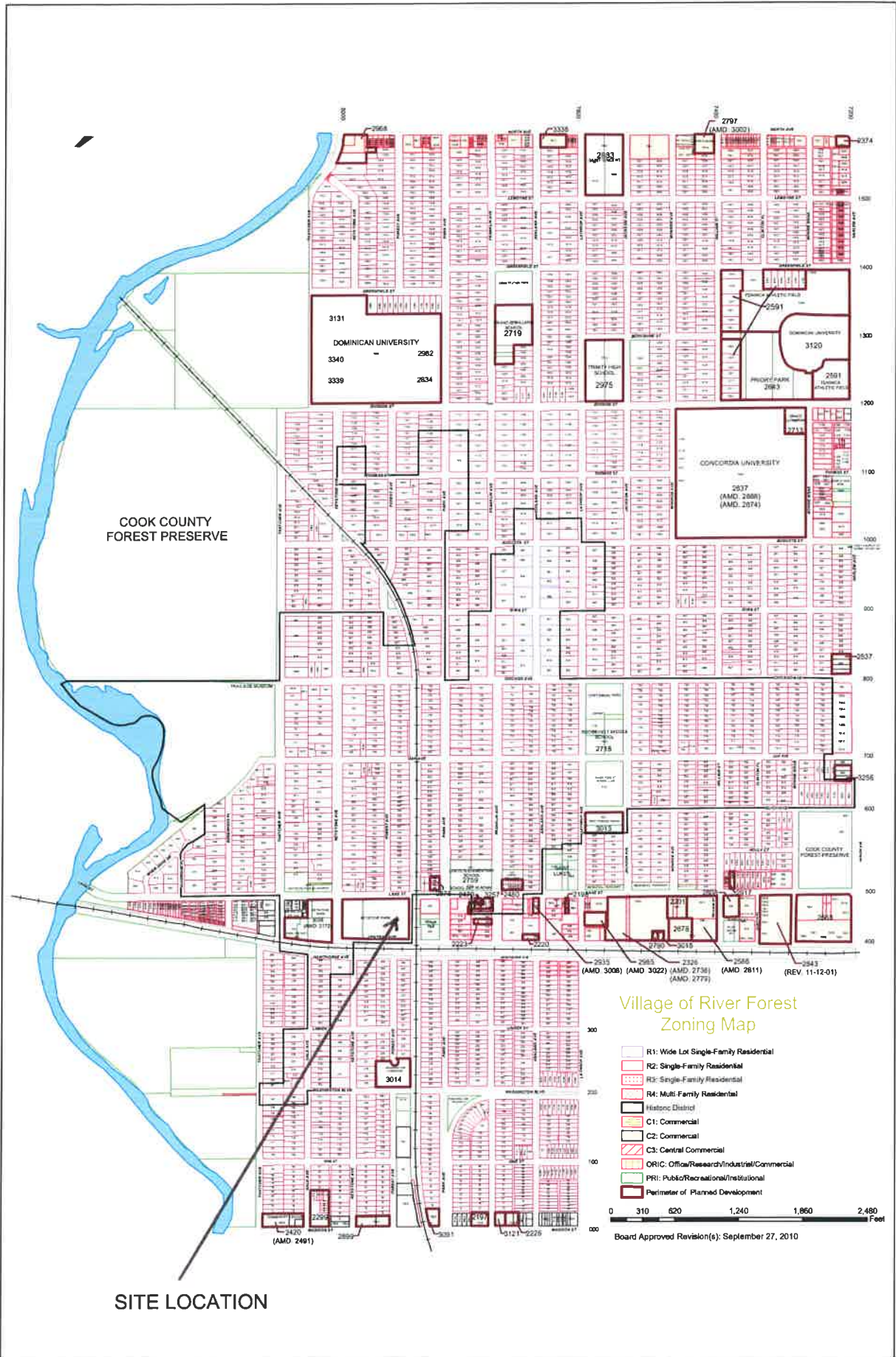
1. Ensure the quality, stability, and attractiveness of the residential neighbors. *This project includes a 38% reduction in chain-link fencing and a 9.1% decrease in concrete and asphalt surface area on the site. The tennis lights will be LED fixtures with less light spill to the surrounding area.*
2. Provide for public/quasi-public uses to continue the high quality of facilities and services within the community. *This project includes 5 new tennis courts, 5 pickle ball courts, 4 batting cages, and a basketball hoops area open for public use.*

Parks, Open Space & the Environment Core Objectives:

1. Continue to work with the Park District and the Forest Preserve District to address the Village storm water issues. *This project includes a new storm water system and drainage swale that will serve as a new retention system for the east side of the park, alleviating the Village storm water system during heavy rain storms.*

Sincerely,

Lynn Libera
President



COOK COUNTY
FOREST PRESERVE

SITE LOCATION

Village of River Forest
Zoning Map

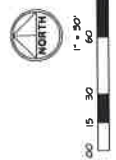
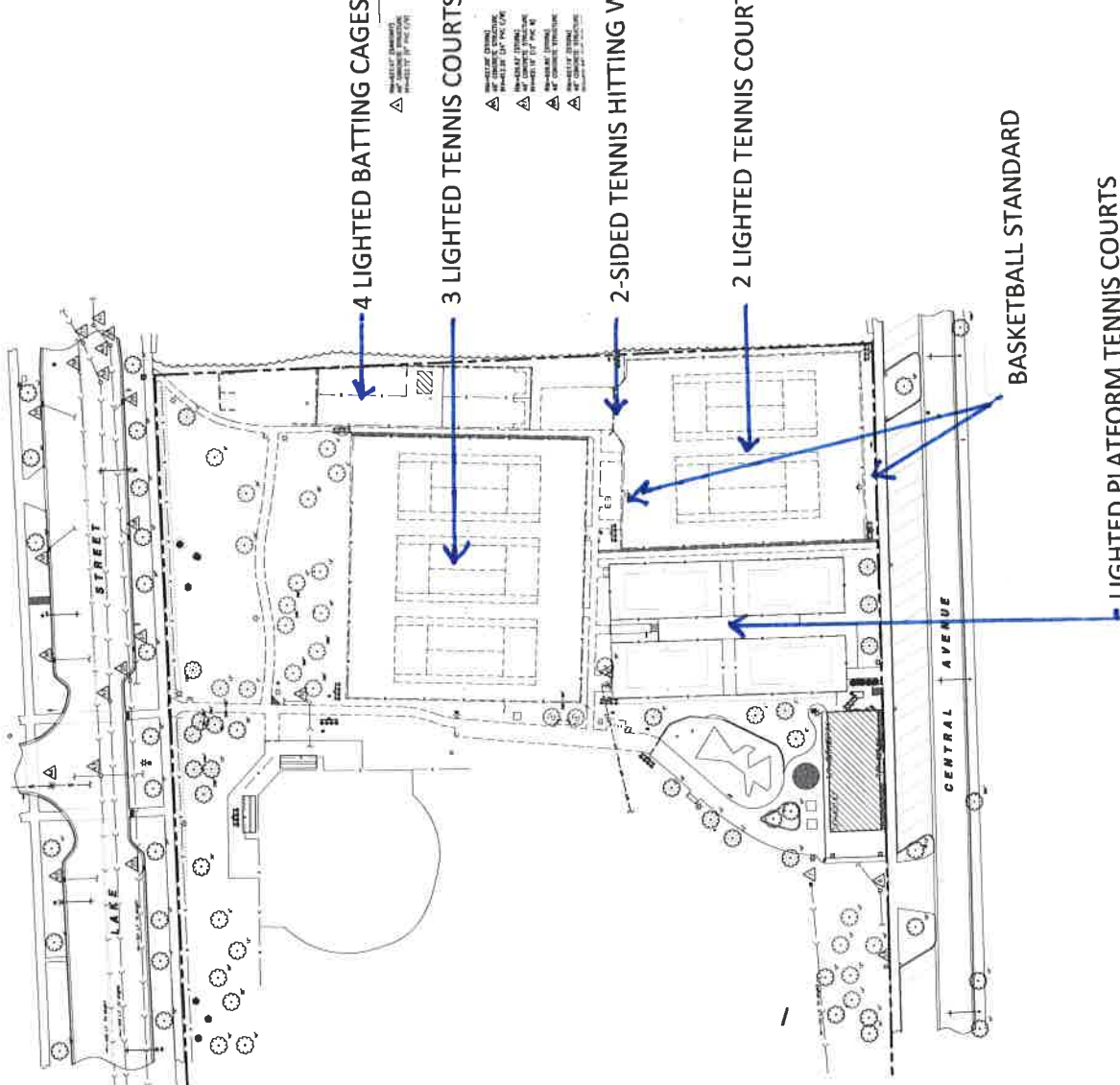
- R1: Wide Lot Single-Family Residential
 - R2: Single-Family Residential
 - R3: Single-Family Residential
 - R4: Multi-Family Residential
 - Historic District
 - C1: Commercial
 - C2: Commercial
 - C3: Central Commercial
 - ORIC: Office/Research/Industrial/Commercial
 - PR: Public/Recreational/Institutional
 - Perimeter of Planned Development
- 0 310 620 1,240 1,860 2,480 Feet

Board Approved Revision(s): September 27, 2010

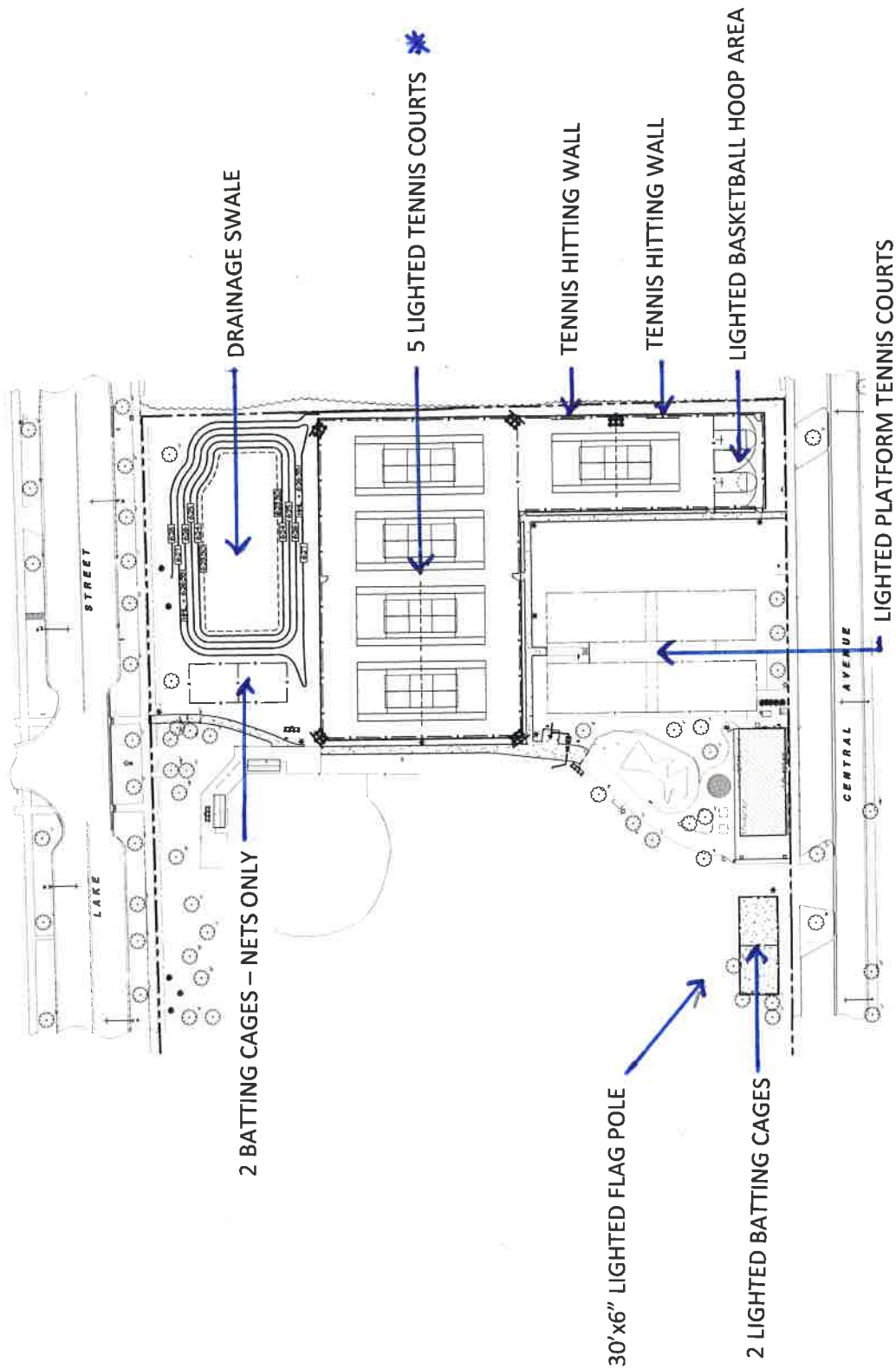
KEYSTONE PROJECT – EXISTING CONDITIONS

- DEMOLITION LEGEND**
- EXISTING SPORTS CENTER
 - EXISTING SANITARY SEWER
 - EXISTING WATER MAIN
 - EXISTING CLOSED MANHOLE
 - EXISTING OPEN GREASE MANHOLE
 - EXISTING SERVICE GREASE MANHOLE
 - EXISTING GROUND DUCT
 - EXISTING FIRE HYDRANT
 - EXISTING VALVE VAULT
 - EXISTING BLACK
 - EXISTING GAS VALVE

- EXISTING UTILITY DATA**
- EXISTING 12" WATER MAIN
 - EXISTING 12" SANITARY SEWER
 - EXISTING 12" GAS MAIN
 - EXISTING 12" GROUND DUCT
 - EXISTING 12" OPEN GREASE MANHOLE
 - EXISTING 12" SERVICE GREASE MANHOLE
 - EXISTING 12" GROUND DUCT
 - EXISTING 12" FIRE HYDRANT
 - EXISTING 12" VALVE VAULT
 - EXISTING 12" BLACK
 - EXISTING 12" GAS VALVE



KEYSTONE PROJECT - PROPOSED PLAN



* EACH TENNIS COURTS IS DUAL LINED FOR A PICKLE BALL COURT



River Forest Park District



PROPOSED TENNIS COURT LIGHTS PHOTOMETRICS

Keystone Park Baseball & Tennis River Forest, IL

GRID SUMMARY	
Name:	Blanket Grid
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

ILLUMINATION SUMMARY	
MOUNTING INFORMATION:	
Entire Grid	
Scan Average:	4.97
Maximum:	30
Minimum:	0
Max / Min:	-
UG (adjacent pole):	700.79
No. of Poles:	788
LUMINAIRE INFORMATION:	
Applied Circuits:	A, B
No. of Luminaires:	15
Total Load:	10.25 kW

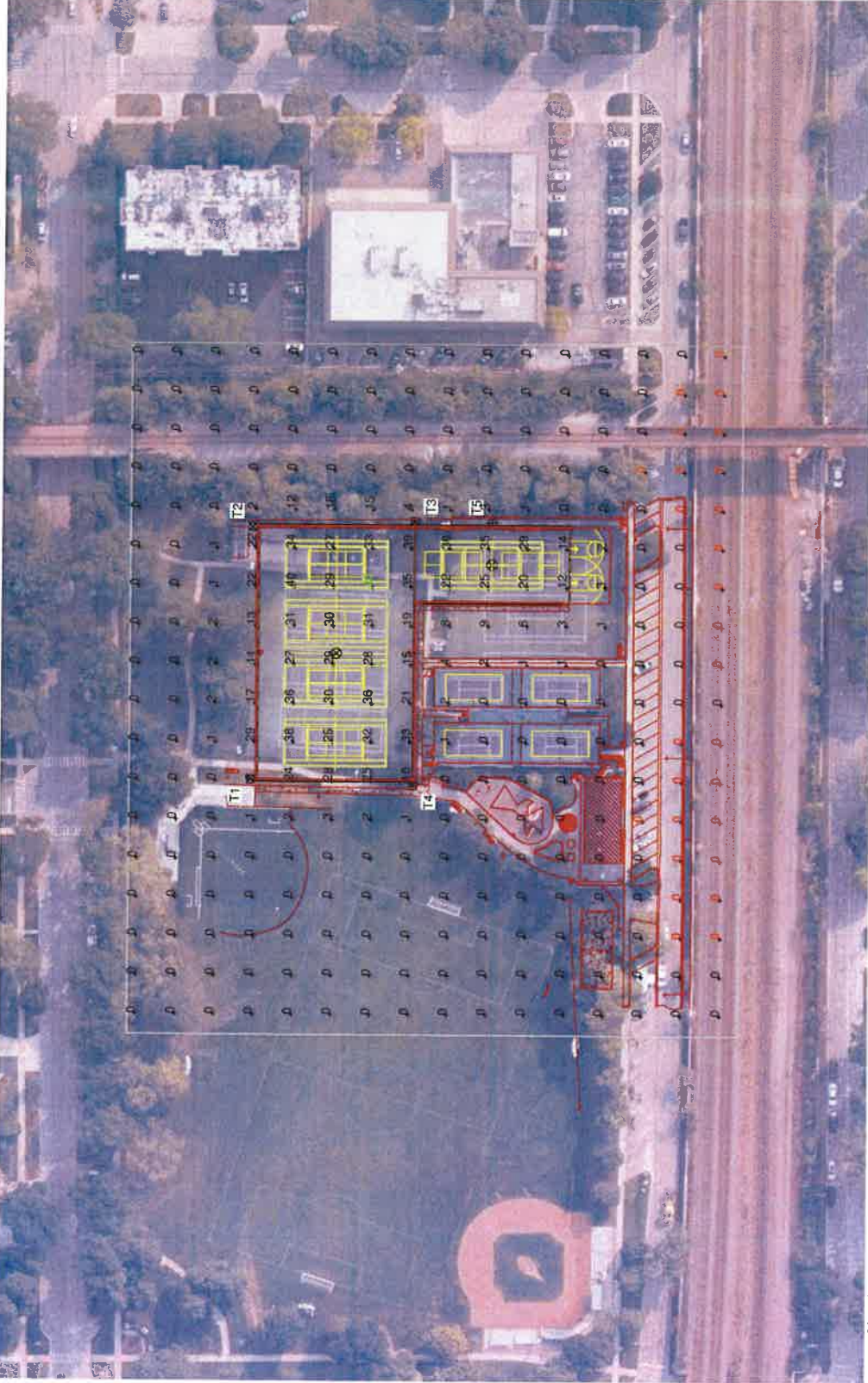
Guaranteed Performance: The ILLUMINATION described above is guaranteed per your Musco Warranty document and includes a 0.95 dirt depreciation factor.

Field Measurements: Individual field measurements may vary from computer-calculated predictions and should be taken in accordance with IESNA RP 6-15.

Electrical System Requirements: Refer to Ampage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

Installation Requirements: Results assume a 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

CITY	LOCATION	BLK	GRADE ELEVATION	LUMINAIRE			QTY / POLE	YEAR	OTHER
				TYPE	HEIGHT	OROS			
4	T1-T4	30'		TLC-LED 600	50'	0	2	0	
1	T5	30'		TLC-LED 900	50'	0	1	0	
5				TLC-LED 600	50'	0	2	0	
TOTALS							15	15	0



Pole locations: + dimensions are relative to 0 reference points

SCALE IN FEET 1 : 80
0' 20' 40' 60' 80'

ENGINEERED DESIGN By: Colin Lapacznek - File #20132682 - 11-Mar-22

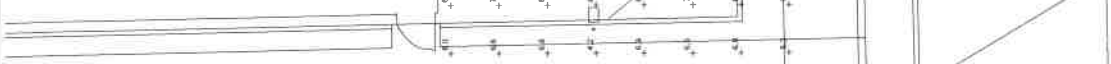
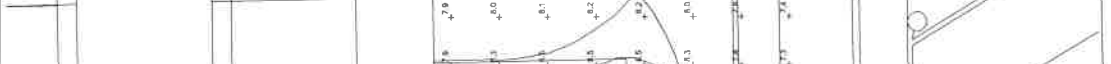


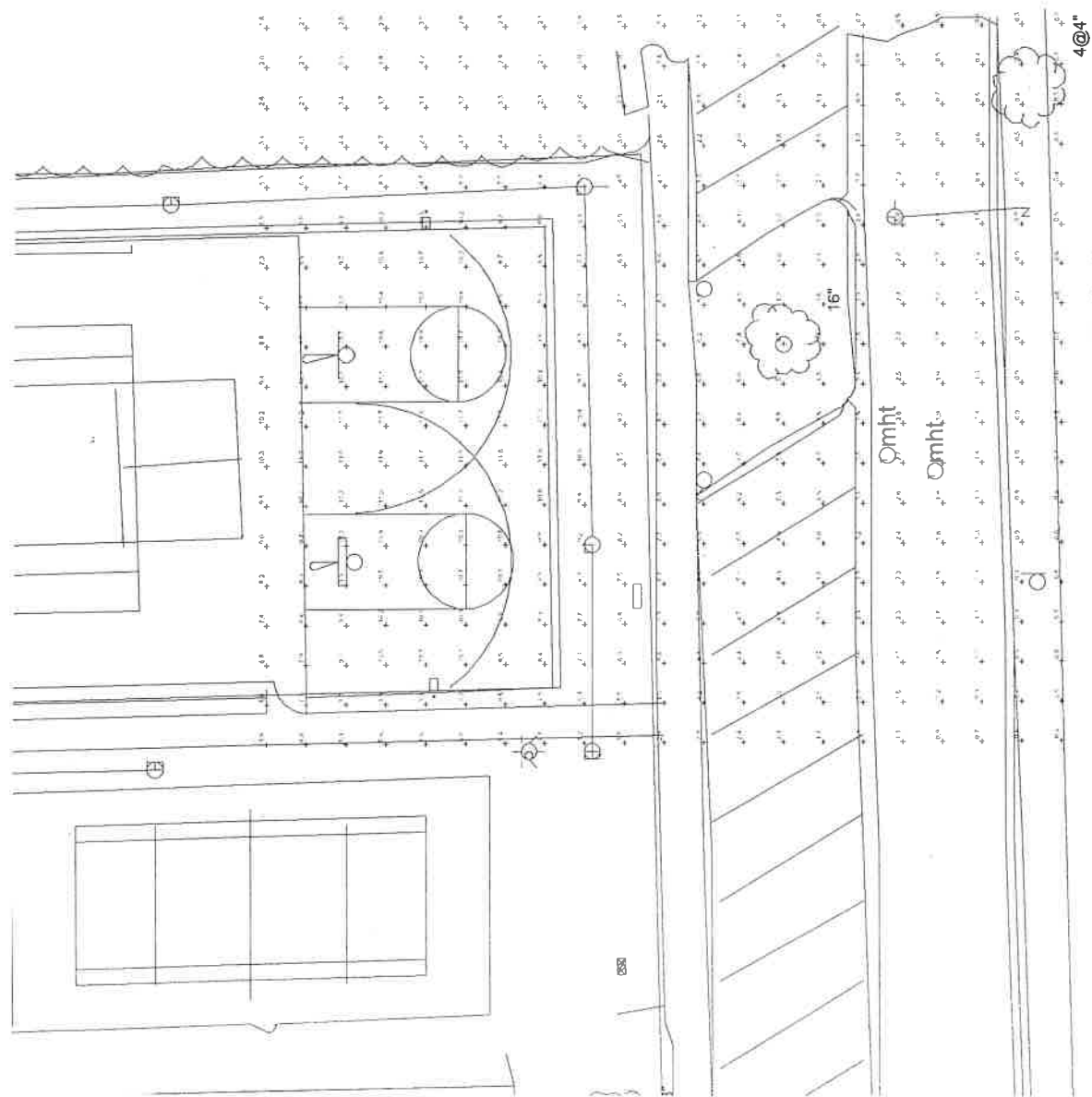
We Make It Happen
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ILLUMINATION SUMMARY

Symbol	Description	Symbol	Avg	Max	Min	Max/Min	Avgh/Min
+	Spot Elevation	+	7.75	8.25	7.25	7.15	7.81

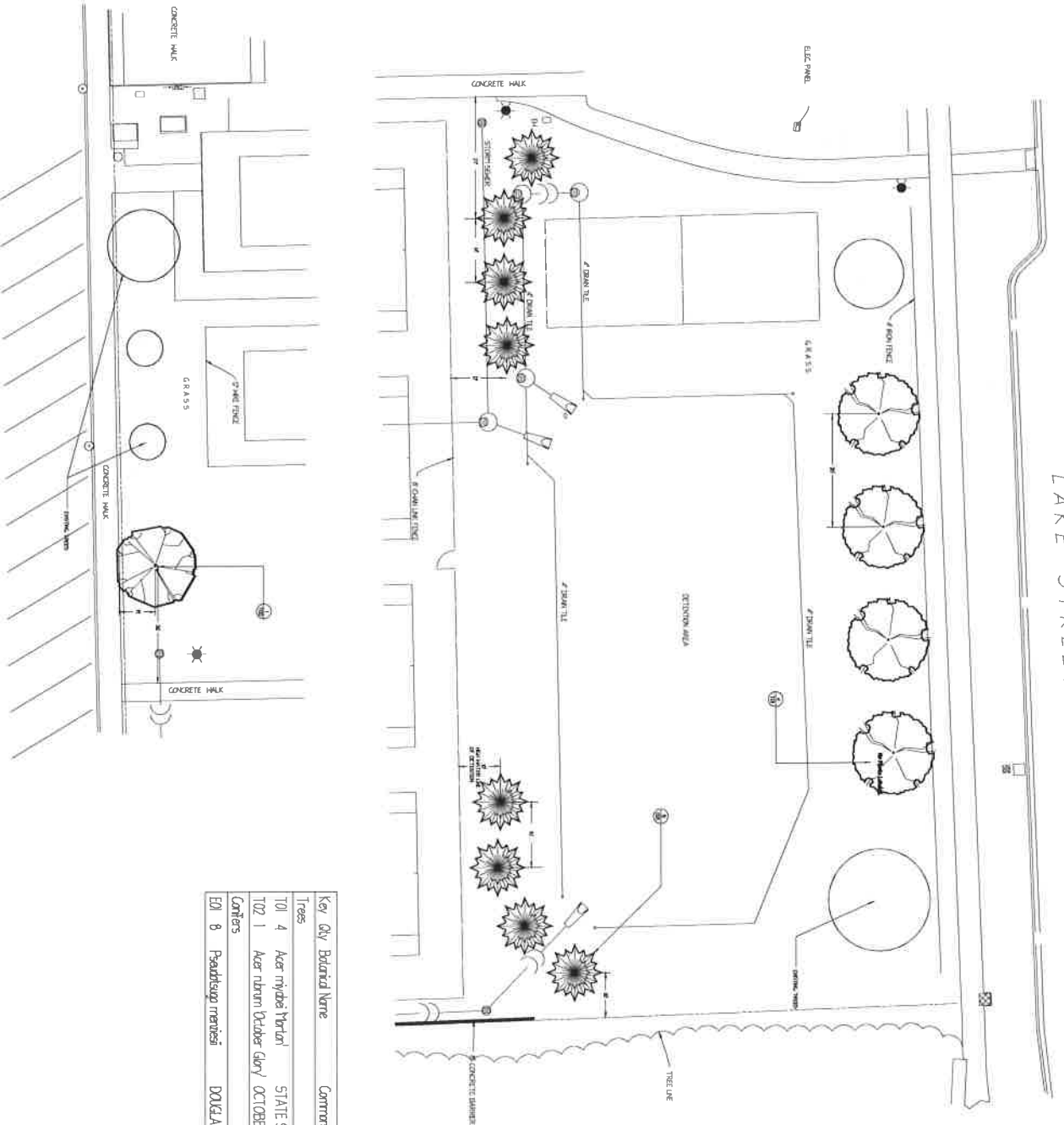
Symbol	Description	Symbol	Avg	Max	Min	Max/Min	Avgh/Min
○	Spot Elevation	○	7.75	8.25	7.25	7.15	7.81





KEYSTONE PROJECT - LANDSCAPE PLAN

LAKE STREET



Key Qty	Botanical Name	Common Name
Trees		
T01 4	Acer nyctodes 'horati'	STATE STREET NYCTAE MAPLE
T02 1	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE
Centers		
EO 8	Pendulocypripedium	DOUGLAS HR

© This plan is the property of McAdam Landscaping, Inc. Any unauthorized use is prohibited. Given scale is used as a guide, not an absolute.

DATE 3-14-2022 SCALE 1" = 8' DRAWN BY JDB SHEET R0 NORTH 	KEYSTONE PARK 430 KEYSTONE AVENUE RIVER FOREST, IL 60305 TENNIS CT IMPROVEMENTS	 McAdam Landscaping, Inc. 2001 Des Plaines Avenue Forest Park, Illinois 60130 Tel 708-771-2299 Fax 708-771-4653 www.mcadamlandscape.com	REVISION	BY



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Tree Replacement

To Whom It May Concern,

Fourteen (14) trees and six (6) multi-stem trees ranging from 5" to 20" will need to be removed. The total diameter loss of these trees is 194". Based on the Village's Tree Ordinance the lost trees will be replaced with 65-three inch trees in Keystone Park (or other River Forest parks if space does not permit). A landscape plan is included in the application.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Substance of Covenants, Easements, and Other Restrictions

To Whom It May Concern,

There are no covenants, easements or other restrictions imposed on the land.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Construction Schedule

To Whom It May Concern,

The Keystone Project construction schedule is September 1, 2022 to May 15, 2023.

Pre-Construction Phase: September 1-October 1: Construction of permanent batting cages.

Phase I, October 1-November 15: Demolition of facilities, excavation, storm sewer installation, asphalt paving & concrete, fence installation, installation of tennis athletic lights and path lights, construction of temporary batting cages, final grading with seed blanket, and installation of off-site trees.

Phase II, March 15-May 15: Paint and line tennis courts, pickle ball courts and basketball hoops area, install basketball standards, on site landscaping, installation of off site trees.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Recording

To Whom It May Concern,

The River Forest Park District is to record a certified copy of the zoning ordinance granting the planned development permit with the Cook County Recorder of Deed's office and provide evidence of said recording to the Village within 30 days of passage, in the event the proposed planned development is approved by the Village Board.

Sincerely,

Lynn Libera
President

Memorandum -DRAFT

To: Michael Sletten
River Forest Park District

From: Dan Brinkman, P.E., PTOE
Antonio Maravillas, E.I.T.

Date: May 2, 2022

Subject: Traffic & Parking Assessment
Keystone Park Renovations
River Forest, Illinois

Part I. Introduction and Project Context

Gewalt Hamilton Associates, Inc. (GHA) has conducted a Traffic and Parking Assessment for the proposed renovations of Keystone Park in River Forest, Illinois. The park is located between Lake Street and Central Avenue. Keystone Avenue divides the park into an east and west zone. West Keystone Park currently contains a playground, a baseball field, and a large open field which is typically used for soccer. East Keystone Park currently contains a playground, a baseball field, a soccer field, five lighted tennis courts, four lighted platform tennis courts, and four lighted batting cages.

As currently proposed, the five lighted tennis courts will be replaced and relocated. All five renovated tennis courts will also be dual lined for pickleball courts. In addition, two basketball hoops, which are currently shared on the tennis courts, will be moved to a dedicated area along Central Avenue. No changes in access operations or parking supply are proposed as part of the renovations. Currently, 47 dedicated parking spaces for the park are provided along Central Avenue.

The following provides a summary of site traffic characteristics and the analysis conducted, which includes a qualitative analysis of the development's impact on the surrounding roadway network and parking analysis. *Exhibits* and *Appendices* referenced are in the Technical Addendum at the end of this document.

Part II. Background Information

Site Location Map and Roadway Inventory

Exhibit 1 provides a location map and **Exhibit 2** provides a photo inventory of the site vicinity. Pertinent comments to the adjacent roadways include:

- **Central Avenue** is an east-west local route that operates with one-way (westbound) traffic flow adjacent to the site. Central Avenue provides a single travel lane in the westbound direction with angled parking generally provided along the north side of the street. Closer to Keystone Avenue, parallel parking spaces are provided instead. The parking spaces adjacent to the park are signed as "Daily Fee Parking", while the parking spaces to the southeast of the park are signed as "Municipal Vehicles Only" and are intended for use by the River Forest Police and Fire Department. Parking is prohibited along the south side of Central Avenue adjacent to the site. Central Avenue is stop controlled at its intersection with Keystone Avenue, and a standard (parallel line) crosswalk is striped across the westbound approach of the intersection.

- **Keystone Avenue** is a north-south local route that provides one travel lane in each direction. It is also signed as a bike route. Adjacent to the site, parking is prohibited along the east side of the roadway but allowed on the west side. Parking along the west side of the street is signed as three-hour parking, 6 AM to 2 PM, Monday through Friday. At its intersection with Central Avenue, a high-visibility (ladder) crosswalk is striped on the southbound approach of the intersection. Keystone Avenue is stop controlled at its intersection with Lake Street, and high-visibility (ladder) crosswalks are striped along both approaches of the intersection.
- **Lake Street** is an east-west minor arterial roadway that provides one travel lane in each direction. On-street parking is allowed along both sides of the street adjacent to the park and is signed as three-hour parking, 6 AM to 2 PM, Monday through Friday. High-visibility (ladder) crosswalks are striped along both approaches of its intersection with Lake Street, and standard pedestrian signage is posted at the crossings. High-visibility (ladder) crosswalks are also striped along both approaches of its intersection with Forest Avenue to the east, and rectangular rapid flashing beacons are provided for the crossing on the east leg of the intersection.

Existing Traffic

Existing peak period turning movement counts were conducted by GHA from 6 AM to 9 AM and 3 PM to 6 PM at the Central Avenue and Keystone Avenue intersection on Tuesday, April 12, 2022. The observed weekday morning peak hour occurred from 7:30 AM to 8:30 AM, and the observed weekday evening peak hour occurred from 4:45 PM to 5:45 PM. **Exhibit 3** illustrates the weekday morning and evening peak hour vehicle, bicycle, and pedestrian traffic volumes. The GHA traffic count summary sheets are included as **Appendix A**.

Existing Parking

Spot parking counts were conducted along Central Avenue at 1 PM on Tuesday, April 12, 2022, and at 12 PM on Thursday, April 21, 2022. **Table 1** summarizes the parking occupancy of both counts for the existing parking supply dedicated to the park. As can be seen, the highest observed parking demand was 27 spaces.

Table 1 – Existing Parking Observations

Parking Utilization	Supply	Occupied Spaces	
		Tue 1 PM 4/12/22	Thu 12 PM 4/21/22
Central Avenue	47	27	21
% Occupied		57%	45%

Aerial Photography (2015-21)

GHA reviewed available historic aerial photos of the site obtained from *Google Earth* and *Nearmap* between April 30, 2015, and July 25, 2021. **Table 2** provides a summary of the observed parking demand, and key findings are summarized below.

Table 2 – Historic Aerial Photo Parking Observations

Parking Utilization	Supply	Occupied Spaces											Average
		Thu 4/30/15	Sun 5/22/16	Fri 4/7/17	Sat 3/17/18	Wed 5/23/18	Mon 10/15/18	Sat 5/4/19	Tue 10/8/19	Fri 3/13/2020	Fri 3/12/2021	Sun 7/25/2021	
Central Avenue	47	24	35	9	21	30	41	21	28	19	15	4	22.5
% Occupied		51%	74%	19%	45%	64%	87%	45%	60%	40%	32%	9%	48%

- The peak parking demand for Keystone Park along Central Avenue was 41 vehicles on Monday, October 15, 2018, which is about 87 percent occupancy.

Part III. Traffic Evaluation

Proposed Plan

Exhibit 4 presents the Overall Site Plan prepared by WT Group and dated January 21, 2022. As currently proposed, the improvements to the park will include renovations to the five lighted tennis courts, tennis hitting walls, two lighted and two non-lighted batting cages, and two basketball hoops. All five lighted tennis courts will be dual lined for pickleball. The relocated basketball hoops, which currently share space with the tennis courts, will have a dedicated area along Central Avenue. The basketball hoops will not be lighted.

Some background information regarding pickleball includes; a total of 4 players typically occupies each court (pickleball is mostly played in doubles, 2 players on each team) for a total of 16 players occupying the courts. It is our understanding, majority of the pickleball play occurs in the morning, between 7 AM to 11 AM, with the season extending typically from May until mid-October. The typical demographic of players is age 55 and older. All play is anticipated to be informal, as there are no scheduled events/tournaments planned. The park district will not oversee or facilitate organized pickleball leagues.

No changes in parking supply or any other additions to the park are proposed as part of these renovations.

Trip Generation

There is no published ITE data for traffic generations for pickleball courts. Therefore, site traffic was estimated using the closest ITE land use, Tennis Courts, since it provides similar operational characteristics. Trip generation rates published by the Institute of Transportation Engineers (ITE) in the 11th Edition of the *Manual Trip Generation* were used to determine the anticipated traffic from the proposed recreational use (see **Appendix B**). The number of vehicle trips anticipated is displayed in **Table 3**.

Table 3 – Anticipated Pickleball Trip Generation

Land Use	Size	ITE Code	Weekday Peak Hours						Daily		
			Morning			Evening			In	Out	Sum
			In	Out	Sum	In	Out	Sum			
Pickleball (tennis)	5.0 ct	490	11	10	21	11	10	21	76	76	152

Source: ITE Trip Generation Manual, 11th Edition - See Appendix B

ITE 11th Edition data is not available for the weekday AM peak hour of generator; therefore, trip generation was assumed to be equal to the weekday PM Peak Hour based on the predominantly morning focused activity at pickleball courts.

As shown in **Table 3**, it is expected that the proposed pickleball courts will generate approximately 152 total trips (76 entering and 76 exiting) on a typical weekday / Saturday. During the peak hours, the development is expected to generate approximately 21 bi-directional trips (11 entering and 10 exiting). Based on our understanding of the typical usage of pickleball courts, and because the proposed pickleball courts will share the same space as the

tennis courts, we believe the estimated volumes represent a very conservative approach even though the popularity of pickleball will likely result in more activity than the existing tennis courts.

Traffic Increases

As shown in *Table 3*, the total (including both entering and exiting traffic) weekday morning, weekday evening, and Saturday midday peak hour vehicle trips of 21 are expected on the roadways leading beyond the study area, or one additional vehicle every 2-3 minutes. On a weekday daily basis, volume increases of 152 vehicles (total combined entering and exiting) are expected on the study area roadways. As previously noted, we feel these volumes are overstating the potential impacts of the development and that the actual amount of court-generated traffic is expected to have minimal effect on the operations of the adjacent street network.

Part IV. Parking Evaluation

Parking Demand Requirements

Based on the parking requirements outlined in the Village of River Forest Code of Ordinance (Section 10-16-9), one parking space is required for each five persons of design capacity of any facility in the park. Pickleball typically involves the same number of players as tennis. As discussed, no new courts will be added. The five existing tennis courts will be renovated and dual lined for pickleball. Accordingly, no additional parking spaces are required for the pickleball addition per Village code.

For the basketball court, assuming two teams of five are playing simultaneously on the court, the design capacity would be 10 people. Thus, two additional parking spaces would be required per Village code.

Parking Demand Projections

Based on the parking demand observations for a typical weekday and weekend, there is sufficient parking supply for parkgoers. The existing parking demand can handle the two extra spaces required by Village code. Nearby on-street parking is available for when there are larger gatherings at the park, such as when the baseball or soccer fields are in use. Based on the characteristics of pickleball, the peak usage is not expected to coincide with the peak usage of the adjacent fields.

Part V. Recommendations and Conclusions

Qualitative traffic and parking analyses were performed for the proposed park renovations at the existing Keystone Park in River Forest, Illinois. Overall, the development is anticipated to have little effect on the operations of the area roadway network

Furthermore, based on the parking analysis, it can be concluded the existing parking supply is adequate to accommodate the anticipated parking demand for the new pickleball addition and dedicated basketball facility. Lastly, the proposed pickleball use's peak demand is not anticipated to coincide with the adjacent ballfield uses.

Part VI. Technical Addendum

The following *Exhibits* and *Appendices* were previously referenced. They provide technical support for our observations, findings and recommendations discussed in the text.

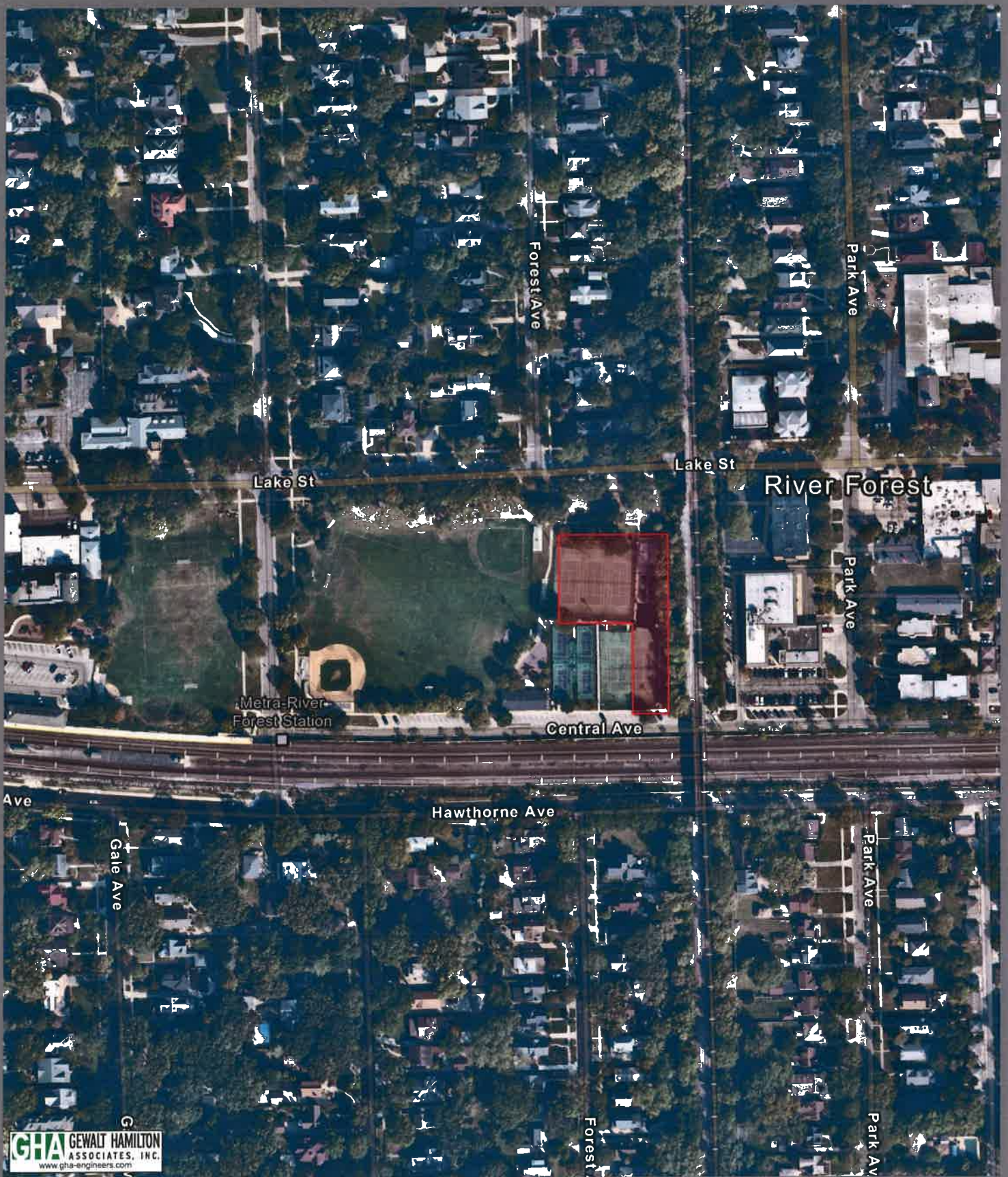
Exhibits

1. Location Map
2. Photo Inventory
3. Existing Traffic
4. Site Plan

Appendices

- A. Traffic Count Summary Sheets
- B. ITE Trip Generation Excerpts

5901.900 Keystone Park Traffic and Parking.docx



GHA GEWALT HAMILTON
ASSOCIATES, INC.
www.gha-engineers.com



1 inch = 300
Feet

Exhibit 1 - Location Map

Keystone Park Renovations
Proposed Pickleball Addition
River Forest, Illinois



Looking West along Central Avenue adjacent to Site



Looking East along Central Avenue adjacent to Site



Looking West along Central Avenue adjacent to Site



Looking East along Central Avenue adjacent to Site



Looking North along Keystone Avenue adjacent to Site



Looking South along Keystone Avenue towards Central Avenue



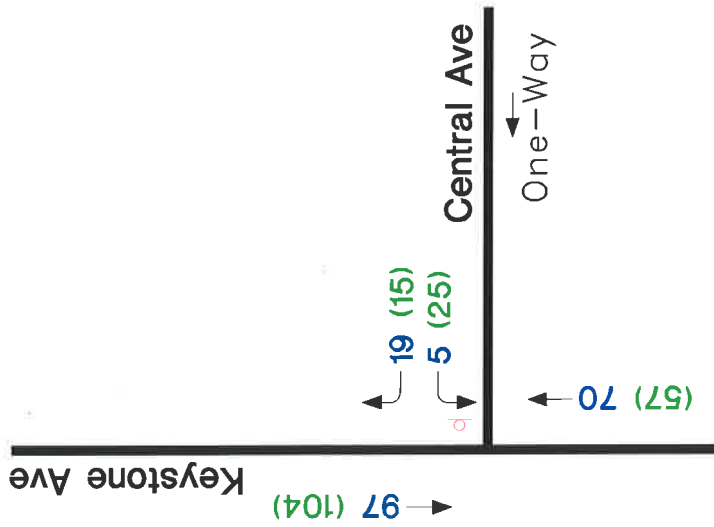
Parking signage South of existing tennis courts



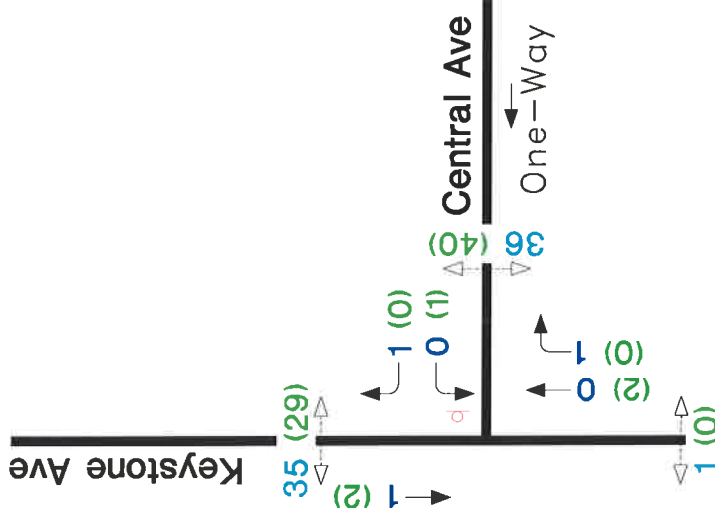
Parking signage South of existing tennis courts

Legend:

- XX — Weekday AM Peak Hour (7:30–8:30 AM)
- (XX) — Weekday PM Peak Hour (4:45–5:45 PM)
- XX-△ — AM Peak Hour Pedestrian Volumes
- (XX)-△ — PM Peak Hour Pedestrian Volumes
- △ — Existing Stop Sign



VEHICLE VOLUMES

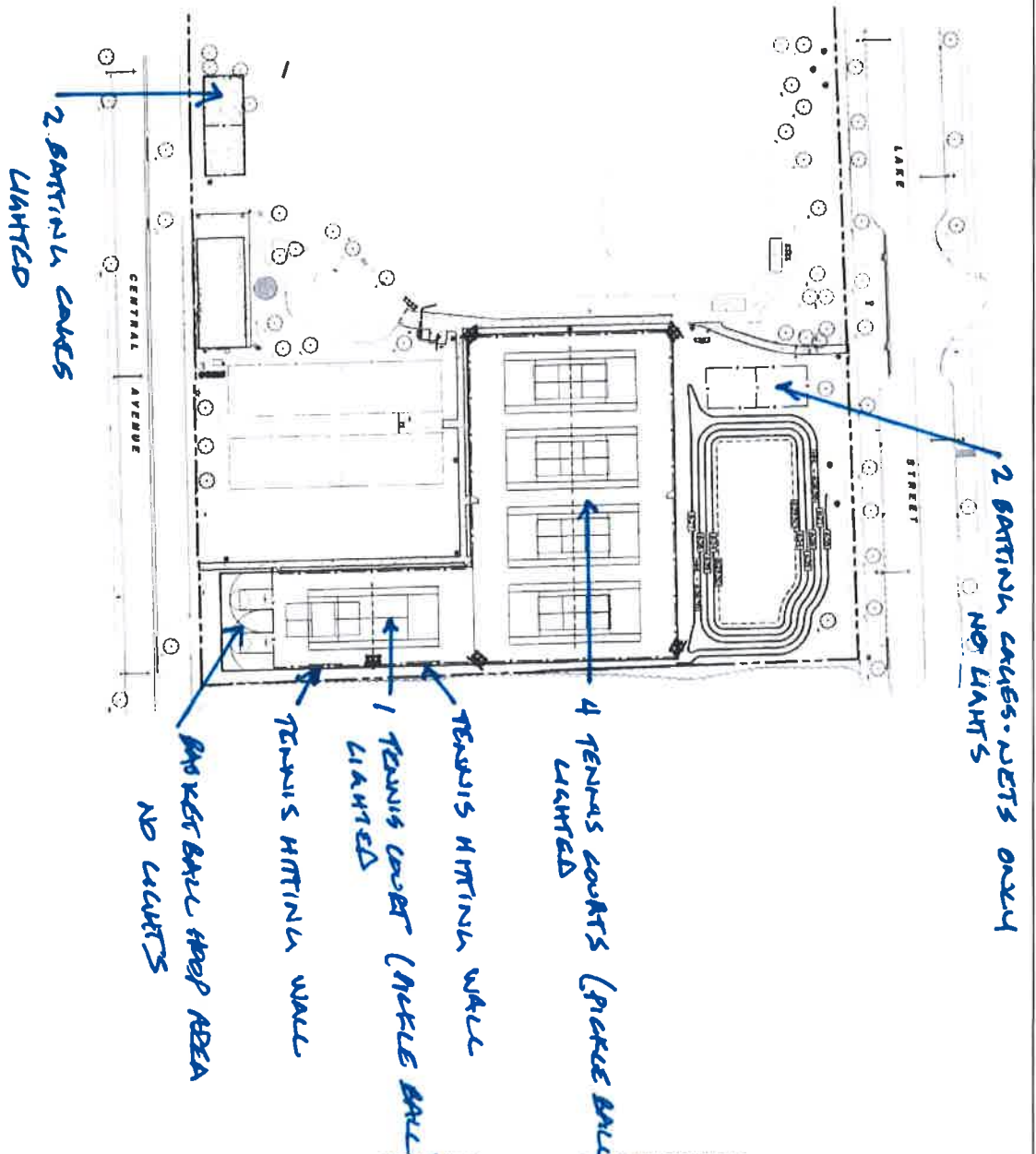


BICYCLE/PEDESTRIAN VOLUMES



Not to Scale

Proposed



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

TENNIS COURT IMPROVEMENTS
 430 KEYSTONE AVENUE
 RIVER FOREST, ILLINOIS 60395
KEYSTONE PARK

WT GROUP
 A Group of Professional Firms and Personnel
 1000 W. Lake Street, Suite 1000
 Chicago, Illinois 60606
 Phone: 312.467.1000
 Fax: 312.467.1001
 www.wtgroup.com

EX-20
 PROJECT CODE
 DATE: 07/17/10
 DRAWN BY: JDR/CLM
 CHECKED BY: JDR/CLM
 SCALE: AS SHOWN

Gewalt Hamilton Associates Inc.
625 Forest Edge Drive

Count Name: Central Ave at Keystone Ave
Site Code:
Start Date: 04/12/2022
Page No: 1

Central Ave at Keystone Ave
5901.900 Keystone Park
6:00AM - 9:00AM;3:00PM - 6:00PM
GHA Mio

Vernon Hills, Illinois, United States 60061
(947) 478-9700 poster@gha-engineers.com

Turning Movement Data

Start Time	Keystone Southbound				Central Westbound				Keystone Northbound					
	U-Turn	Left	Thru	Peds	U-Turn	Left	Right	Peds	U-Turn	Thru	Right	Peds	App. Total	Int. Total
6:00 AM	0	0	1	1	0	0	0	1	0	3	0	0	3	4
6:15 AM	0	0	4	5	0	1	1	10	2	0	0	1	3	9
6:30 AM	0	0	2	5	0	2	0	6	2	0	0	0	1	5
6:45 AM	0	1	5	7	0	2	1	2	3	0	0	0	5	14
Hourly Total	0	1	12	18	0	5	2	19	7	0	0	0	12	32
7:00 AM	0	0	8	1	0	2	1	1	3	0	0	0	8	19
7:15 AM	0	0	13	15	0	2	1	3	3	0	0	3	6	22
7:30 AM	0	0	19	0	0	0	4	0	4	0	0	0	13	36
7:45 AM	0	0	18	1	0	1	2	7	3	0	0	1	11	32
Hourly Total	0	0	58	17	0	5	8	11	13	0	0	4	38	109
8:00 AM	0	0	27	27	0	3	9	17	12	1	0	0	29	68
8:15 AM	0	0	33	7	0	1	4	12	5	0	0	0	19	57
8:30 AM	0	0	13	1	0	2	4	4	6	0	0	0	12	31
8:45 AM	0	0	13	3	0	4	5	2	9	0	0	0	11	33
Hourly Total	0	0	86	38	0	10	22	35	32	1	0	0	71	189
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	0	0	16	4	0	3	6	4	9	0	0	0	26	51
3:15 PM	0	0	36	0	0	7	4	14	11	0	0	0	10	57
3:30 PM	1	1	21	0	0	1	6	8	7	0	0	0	18	48
3:45 PM	0	0	20	3	0	3	5	8	8	0	0	2	14	42
Hourly Total	1	1	93	7	0	14	21	34	35	0	0	2	68	199
4:00 PM	0	0	16	17	0	8	4	5	12	0	0	1	11	39
4:15 PM	0	0	16	4	0	4	1	2	5	0	0	0	12	33
4:30 PM	0	1	16	3	0	3	6	1	9	0	0	1	7	33
4:45 PM	1	0	34	1	1	3	2	5	6	0	0	0	21	62
Hourly Total	1	1	82	25	1	18	13	13	32	0	0	2	51	167
5:00 PM	0	0	33	8	0	10	8	14	18	0	0	0	11	62
5:15 PM	0	0	17	10	0	4	1	7	5	0	0	0	10	32
5:30 PM	0	0	20	10	0	8	4	14	12	0	0	0	15	47
5:45 PM	0	0	34	5	0	3	2	3	5	0	0	0	18	57
Hourly Total	0	0	104	33	0	25	15	38	40	0	0	0	54	198
Grand Total	2	3	435	138	1	77	81	150	159	1	0	9	294	893
Approach %	0.5	0.7	96.9	-	0.6	48.4	50.9	-	-	0.3	99.3	0.3	-	-
Total %	0.2	0.3	48.7	-	0.1	8.6	9.1	-	17.8	0.1	32.7	0.1	-	32.9
Lights	2	1	415	-	1	74	77	-	152	1	283	0	-	284
% Lights	100.0	33.3	95.4	-	100.0	96.1	95.1	-	95.6	100.0	96.9	0.0	-	96.6
Mediums	0	0	12	-	0	1	2	-	3	0	3	0	-	3
% Mediums	0.0	0.0	2.8	-	0.0	1.3	2.5	-	1.9	0.0	1.0	0.0	-	1.0
Articulated Trucks	0	0	0	-	0	0	0	-	0	0	0	0	-	0

% Articulated Trucks	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Bicycles on Road	0	2	8	10	0	2	2	2	4	0	6	1	7	0	1	7	0	0	0	0	0	0	0	0
% Bicycles on Road	0.0	66.7	1.8	2.3	0.0	2.6	2.5	2.5	2.5	0.0	2.1	100.0	2.4	0.0	100.0	2.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.4
Bicycles on Crosswalk	-	-	-	4	-	-	-	-	17	-	-	-	0	-	-	-	-	-	-	-	-	-	-	-
% Bicycles on Crosswalk	-	-	-	2.9	-	-	-	-	11.3	-	-	-	0.0	-	-	-	-	-	-	-	-	-	-	-
Pedestrians	-	-	-	134	-	-	-	-	133	-	-	-	9	-	-	-	-	-	-	-	-	-	-	-
% Pedestrians	-	-	-	97.1	-	-	-	-	88.7	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-

Gewalt Hamilton Associates Inc.
625 Forest Edge Drive

Vernon Hills, Illinois, United States 60061
(847) 478-9700 poster@gha-engineers.com

Central Ave at Keystone Ave
5901.900 Keystone Park
6:00AM - 9:00AM; 3:00PM - 6:00PM
GHA MIO

Count Name: Central Ave at Keystone Ave
Site Code:
Start Date: 04/12/2022
Page No: 4

Turning Movement Peak Hour Data (7:30 AM)

Start Time	Keystone Southbound			Central Westbound			Keystone Northbound			Int. Total
	U-Turn	Left	Thru	U-Turn	Left	Right	U-Turn	Thru	Right	
7:30 AM	0	0	19	0	0	4	0	13	0	13
7:45 AM	0	0	18	0	1	2	0	11	0	11
8:00 AM	0	0	27	0	3	9	1	28	0	29
8:15 AM	0	0	33	0	1	4	0	18	1	19
Total	0	0	97	0	5	19	1	70	1	72
Approach %	0.0	0.0	100.0	0.0	20.8	79.2	1.4	97.2	1.4	-
Total %	0.0	0.0	50.3	0.0	2.6	9.8	0.5	36.3	0.5	37.3
PHF	0.000	0.000	0.735	0.000	0.417	0.528	0.250	0.625	0.250	0.621
% Lights	0	0	93	0	5	18	1	68	0	69
% Mediums	0	0	95.9	0	100.0	94.7	100.0	97.1	0.0	95.8
% Mediums	0	0	3	0	0	0	0	2	0	2
Articulated Trucks	0	0	3.1	0	0.0	0.0	0.0	2.9	0.0	2.8
% Articulated Trucks	0	0	0.0	0	0.0	0.0	0.0	0.0	0.0	0.0
Bicycles on Road	0	0	1	0	0	1	0	0	1	1
% Bicycles on Road	0	0	1.0	0.0	0.0	5.3	0.0	0.0	100.0	1.4
Bicycles on Crosswalk	0	0	0	0	0	0	0	0	0	0
% Bicycles on Crosswalk	0	0	0.0	0	0	0	0	0	0	0
Pedestrians	0	0	35	0	0	0	0	0	0	1
% Pedestrians	0	0	100.0	0	0	0	0	0	0	100.0

Gewalt Hamilton Associates Inc.
625 Forest Edge Drive

Count Name: Central Ave at Keystone Ave
Site Code:
Start Date: 04/12/2022
Page No: 6

Vernon Hills, Illinois, United States 60061
(847) 478-9700 poster@gha-engineers.com

Central Ave at Keystone Ave
5901.300 Keystone Park
6:00AM - 9:00AM; 3:00PM - 6:00PM
GHA Mio

Turning Movement Peak Hour Data (4:45 PM)

Start Time	Keystone Southbound				Central Westbound				Keystone Northbound							
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	Int. Total
4:45 PM	1	0	34	1	35	1	3	2	5	6	0	21	0	0	21	62
5:00 PM	0	0	33	8	33	0	10	8	14	18	0	11	0	0	11	62
5:15 PM	0	0	17	10	17	0	4	1	7	5	0	10	0	0	10	32
5:30 PM	0	0	20	10	20	0	8	4	14	12	0	15	0	0	15	47
Total	1	0	104	29	105	1	25	15	40	41	0	57	0	0	57	203
Approach %	1.0	0.0	99.0	-	-	2.4	61.0	36.6	-	-	0.0	100.0	0.0	-	-	-
Total %	0.5	0.0	51.2	-	51.7	0.5	12.3	7.4	-	20.2	0.0	28.1	0.0	-	28.1	-
PHF	0.250	0.000	0.765	-	0.750	0.250	0.625	0.469	-	0.569	0.000	0.679	0.000	-	0.679	0.819
Lights	1	0	102	-	103	1	24	15	-	40	0	55	0	-	55	198
% Lights	100.0	-	96.1	-	96.1	100.0	96.0	100.0	-	97.6	-	96.5	-	-	96.5	97.5
Medians	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Medians	0.0	-	0.0	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	-	-	0.0	0.0
Articulated Trucks	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0
% Articulated Trucks	0.0	-	0.0	-	0.0	0.0	0.0	0.0	-	0.0	-	0.0	-	-	0.0	0.0
Bicycles on Road	0	0	2	-	2	0	1	0	-	1	0	2	0	-	2	5
% Bicycles on Road	0.0	-	1.9	-	1.9	0.0	4.0	0.0	-	2.4	-	3.5	-	-	3.5	2.5
Bicycles on Crosswalk	-	-	-	1	-	-	-	-	1	-	-	-	-	0	-	-
% Bicycles on Crosswalk	-	-	-	3.4	-	-	-	-	2.5	-	-	-	-	0	-	-
Pedestrians	-	-	-	28	-	-	-	-	39	-	-	-	-	0	-	-
% Pedestrians	-	-	-	96.6	-	-	-	-	97.5	-	-	-	-	0	-	-

Tennis Courts (490)

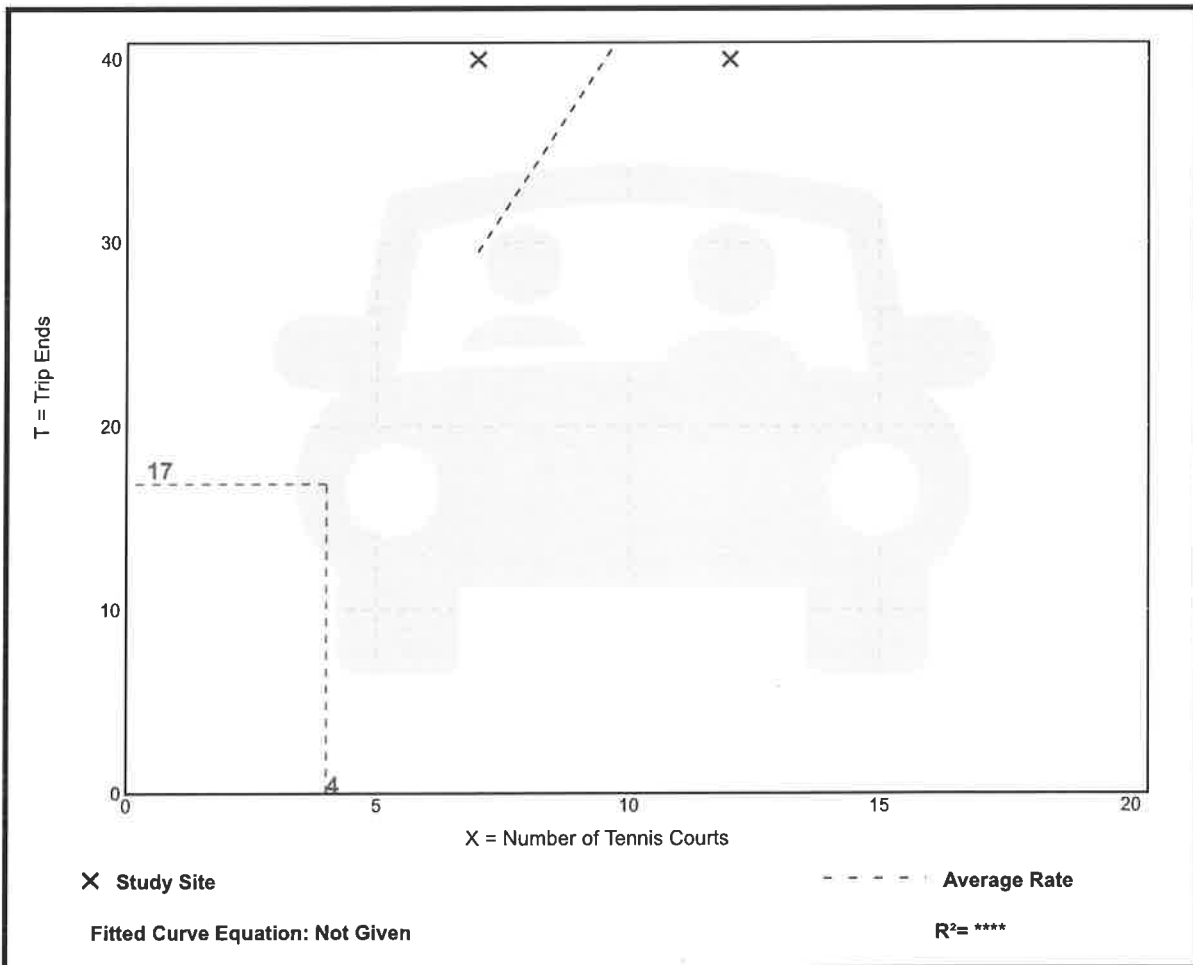
Vehicle Trip Ends vs: Tennis Courts
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 2
 Avg. Num. of Tennis Courts: 10
 Directional Distribution: Not Available

Vehicle Trip Generation per Tennis Court

Average Rate	Range of Rates	Standard Deviation
4.21	3.33 - 5.71	*

Data Plot and Equation

Caution – Small Sample Size



Tennis Courts (490)

Vehicle Trip Ends vs: Tennis Courts
On a: Weekday

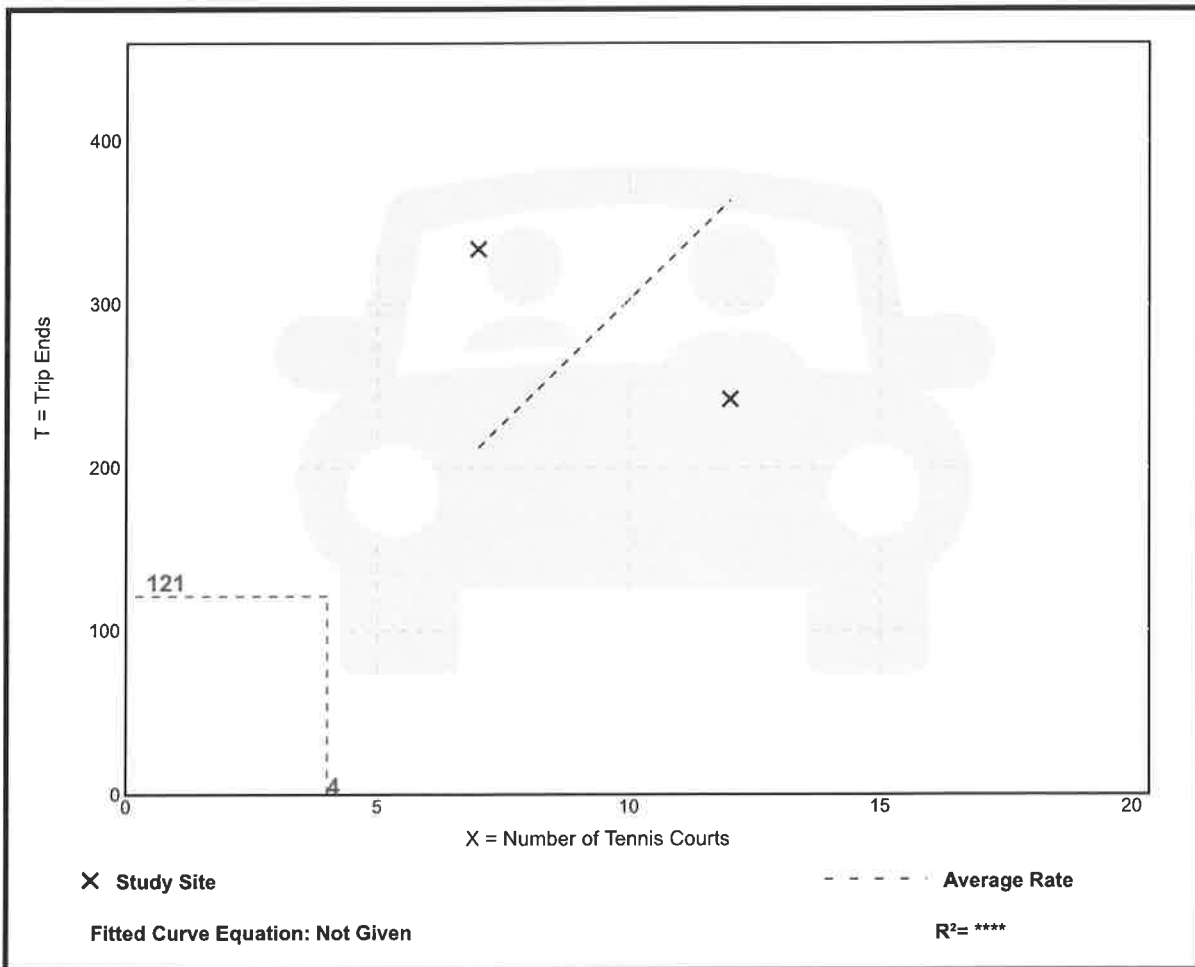
Setting/Location: General Urban/Suburban
Number of Studies: 2
Avg. Num. of Tennis Courts: 10
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Tennis Court

Average Rate	Range of Rates	Standard Deviation
30.32	20.17 - 47.71	*

Data Plot and Equation

Caution – Small Sample Size



**RIVER FOREST PARK DISTRICT
FINANCIAL STATEMENT
For the Month Ending
APRIL, 2022**

<u>LIQUID CASH</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
<u>ILLINOIS FUNDS MONEY MARKET</u>			
Beginning Balance			\$ 1,515,419.54
Received State Replacement Taxes	8,408.20		
Received Interest	597.66		
Transfer In			
<i>Total Revenue</i>	<u>9,005.86</u>		
Transfer Out			
<i>Total Disbursements</i>		<u>0.00</u>	
ENDING CASH IN BANK			<u><u>\$1,524,425.40</u></u>
<u>FOREST PARK NATIONAL BANK - GENERAL FUND</u>			
Beginning Balance			\$ 288,467.39
Deposits	35,364.18		
Received from Forest Park Money Market			
Voided Checks			
<i>Total Revenue</i>	<u>35,364.18</u>		
Disbursements		38,884.17	
Transfer to Forest Park Money Market			
Bank Fee			
<i>Total Disbursements</i>		<u>38,884.17</u>	
ENDING CASH IN BANK			<u><u>\$ 284,947.40</u></u>
<u>FOREST PARK NATIONAL BANK - PAYROLL</u>			
Beginning Balance			\$ 221,710.11
Received from MM	0.00		
Deferred Revenue (15)	10,523.00		
Program Revenue (42)	17,119.17		
Rental Revenue (43)	1,325.00		
Donations (44)	322.00		
Miscellaneous Revenue (45)	(35.40)		
Reimbursements	0.00		
Rec'd 125 Cafeteria Plan	612.16		
Reimbursements	0.00		
<i>Total Revenue</i>	<u>29,865.93</u>		
Transfer to FP MM		0.00	
CC & Transaction Fees		2,337.58	
Payroll Expenses		57,864.36	
Cafeteria Plan		612.16	
Stop Payment		0.00	
<i>Total Disbursements</i>		<u>60,814.10</u>	
ENDING CASH IN BANK			<u><u>\$ 190,761.94</u></u>
<u>FOREST PARK NATIONAL BANK - MONEY MARKET</u>			
Beginning Balance			\$ 2,595,696.32
Received Interest	618.70		
Received from Forest Park General Fund			
<i>Total Revenue</i>	<u>618.70</u>		
Transferred to General Fund			
Transferred from General Fund	1,250,000.00		
Paid Principal and Interest on Limited Bonds			
<i>Total Disbursements</i>		<u>0.00</u>	
ENDING CASH IN BANK			<u><u>\$ 3,846,315.02</u></u>

**RIVER FOREST PARK DISTRICT
FINANCIAL STATEMENT
For the Month Ending
APRIL, 2022**

<u>LIQUID CASH</u>	<u>DEBIT</u>	<u>CREDIT</u>	<u>BALANCE</u>
<u>EVERGREEN BANK - MONEY MARKET</u>			
Beginning Balance			\$ 259,093.68
Received Interest	42.59		
ENDING CASH IN BANK			<u>\$ 259,136.27</u>
<u>PAN AMERICAN BUSINESS - SAVINGS ACCOUNT</u>			
Beginning Balance			\$ 122,591.41
Mature CD			
Interest	20.83		
Transferred to Pan Am Investment CD			
Total Revenue	20.83	0.00	
ENDING CASH IN BANK			<u>\$ 122,612.24</u>
<u>IPDLAF CERTIFICATES OF DEPOSIT</u>			
Beginning Balance			\$ 392,979.30
Beginning Balance			\$ 499,272.76
Deposits			
Interest	108.74		
Total Revenue	108.74		
Disbursements			
Transaction Fees			
Transferred to IPDLAF CD			
Total Disbursements		0.00	
ENDING CASH IN BANK			<u>\$ 892,360.80</u>
TOTAL LIQUID ENDING CASH IN BANK			<u>\$7,120,559.07</u>
<u>INVESTMENTS</u>			<u>BALANCE</u>
<u>BYLINE BANK - CERTIFICATES OF DEPOSIT</u>			
1 Year CD @ 0.095% - Maturity 3/20/2023- 613155528			78,966.23
6 Month CD @ 0.046% - Maturity 5/20/2022-613155530			80,756.30
1 Year CD @ 0.095% - Maturity 11/20/2022- 613155529			79,055.83
TOTAL BYLINE BANK INVESTMENTS			<u>\$ 238,778.36</u>
TOTAL MONIES AS OF APRIL 30, 2022			<u>\$ 7,359,337.43</u>

updated 4/1/22

Projected FY 21/22 Balance	General/ Corporate	Recreation	Playgrnd & Rec	IMRF	Debt Service	Special Recreation	Liability	Audit	Capital	Totals
Actual Audit Balance 4/30/21	596,347	610,273		45,194	14,797	101,444	44,342	12,382	2,812,677	4,237,456
Actual Levy 2021	1,127,718	400,000		25,000	0	77,998	25,000	10,000	0	1,665,716
Actual Prior Year Taxes	0	0		0	0	0	0	0	0	0
FY Estimated Other Revenue	143,998	318,518		0	0	900	1,500		39,000	503,886
FY Estimated Expenses	(579,458)	(504,556)		(47,551)		(113,000)	(43,500)	(13,410)	(114,827)	(1,416,312)
Fund Balance w/o transfers	1,288,565	824,235		22,643	14,797	67,342	27,342	8,972	2,736,850	
Transfers	(500,000)					10,000			490,000	0
Ending Fund Balance w/transfers 4/30/22	788,565	824,235		22,643	14,797	77,342	27,342	8,972	3,226,850	4,990,746
Recommended Fund Balances	350,000	400,000		25,000	NA	60,000	12,500	7,000		854,500

Projected FY 22/23 Balance	General/ Corporate	Recreation	Playgrnd & Rec	IMRF	Debt Service	Special Recreation	Liability	Audit	Capital	Totals
Projected Audit balance 4/30/22	788,565	824,235	0	22,643	14,797	77,342	27,342	8,972	3,226,850	4,990,746
Projected Levy 2022	1,078,842	400,000		75,000	0	81,462	45,000	10,000		1,690,304
Actual Prior Years Taxes	0	0		0	0	0	0	0	0	0
FY 22/23 Other Revenue	206,750	553,800		0	0	0	1,500		42,500	804,550
FY 22/23 Expenses	(761,240)	(343,250)		(60,000)		(120,000)	(47,500)	(11,910)	(1,330,459)	(3,174,389)
Fund Balance w/o transfers	1,312,917	934,785		37,643	14,797	38,804	26,342	7,062	1,938,861	4,311,211
Transfers	(950,000)	(500,000)				25,000			1,425,000	1,450,000
Ending Fund Balance w/transfers 4/30/23	362,917	434,785		37,643	14,797	63,804	26,342	7,062	3,363,861	4,311,211
Recommended Fund Balances	350,000	400,000		30,000	NA	60,000	25,000	5,000	NA	
(based off of expense amount)	6 mos	6 mos		6 mos		6 mos	6 mos	6 mos		

Excess Fund Balance above recommended Capital Expenses direct from the Capital Budget

2,062

3,804

7,643

34,785

12,917

1,342

6 mos

6 mos

6 mos



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Economic Analysis

To Whom It May Concern,

There is no economic impact that the proposed development will have upon the Village.

Sincerely,

Lynn Libera
President



May 3, 2022

**River Forest Park District
401 Thatcher Avenue
River Forest, Illinois 60305**

Attn: Michael J Sletten - Executive Director

**Re: Keystone Park Tennis Court Improvements- Environmental Impact
River Forest, IL
WTCE Project No.: C2100009**

Dear Mr. Sletten:

It is my understanding that the Village of River Forest requires that an environmental impact study be provided as part of the Village DRB application process. As you know, WT Group has completed several site improvements projects on site since 2007 including the re-grading of the existing soccer field, construction of the two (2) platform tennis courts, the installation of a new synthetic turf infield, a building addition, and reconstruction of the tennis courts. On all projects completed there have been no signs of on-site contamination. Additionally, environmental testing of soils have come back clean on all projects.

The proposed project will include the construction of a new detention pond and infiltration system. The detention pond will significantly reduce storm water discharge from the property and the infiltration system will reduce total suspended solids and other pollutants from draining into the existing offsite storm water system.

Based on my past experience on site, and based on the improvements being provided as part of this project, it is my opinion that an environmental impact statement is not required for this project.

Feel free to contact me if you have any questions or comments.

Respectfully Submitted,

The W-T Group, LLC

A handwritten signature in black ink, appearing to read 'Todd O. Abrams'.

**Todd O. Abrams, PE, CFM
Executive Vice President, Civil Engineering**



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Demand on Village Services

To Whom It May Concern,

There is no anticipated demand on any Village services that the proposed development will have.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Demand on Local Schools

To Whom It May Concern,

There is no anticipated demand on the local schools that the proposed development will have.

Sincerely,

Lynn Libera
President



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Statement of Off-Site Utility Improvements to Serve the Planned Development

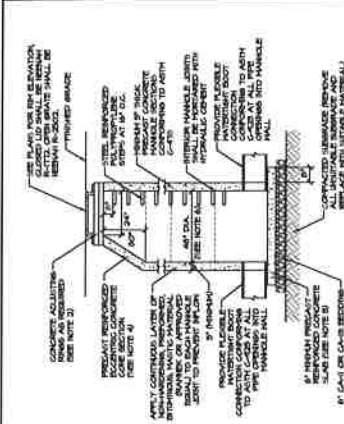
To Whom It May Concern,

There are no off-site improvements that the proposed development will have.

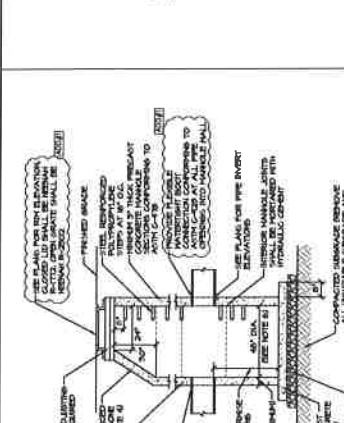
Sincerely,

A handwritten signature in cursive script that reads "Lynn Libera".

Lynn Libera
President



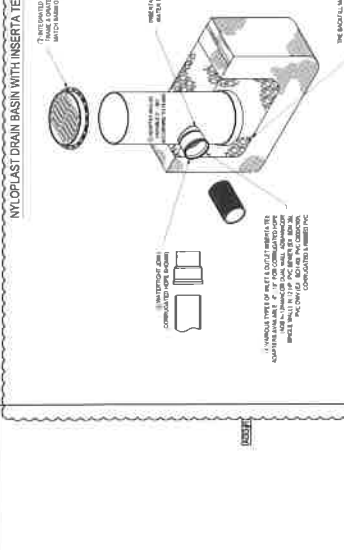
- NOTES:**
1. PRECAST REINFORCED CONCRETE COLE ACTION AND ADJUSTING RINGS SHALL CONFORM TO ASTM C1372.
 2. MANHOLE JOINTS SHALL BE REINFORCED WITH STEEL BARS AND SHALL BE PROTECTED WITH BITUMASTO MATING MATERIAL.
 3. PRECAST REINFORCED CONCRETE COLE ACTION SHALL BE CAST IN PLACE WITH MANHOLE JOINTS TO PREVENT SEEPAGE.
 4. PRECAST REINFORCED CONCRETE COLE ACTION SHALL BE CAST IN PLACE WITH MANHOLE JOINTS TO PREVENT SEEPAGE.
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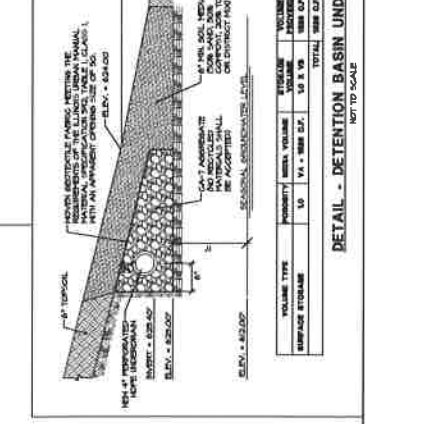
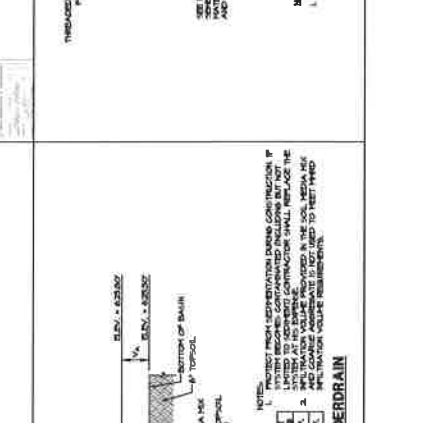
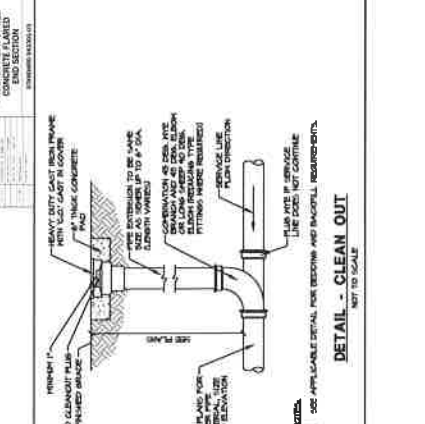
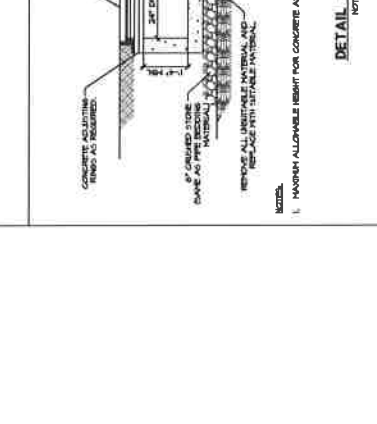
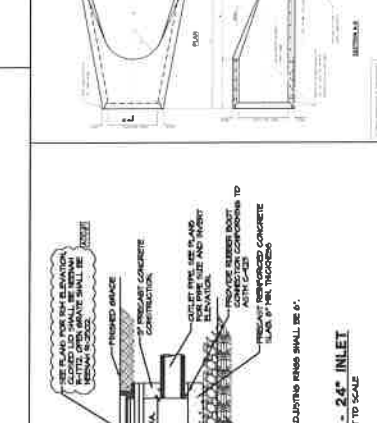
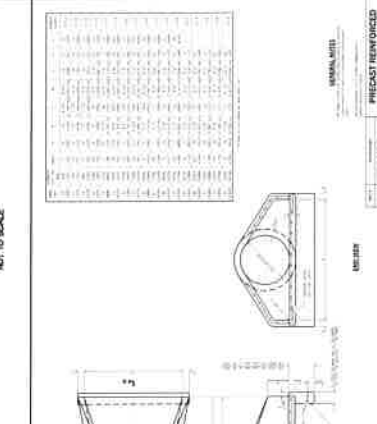
- NOTES:**
1. MANHOLE ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 6\"/>



NOTES:

1. MANHOLE ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 6\"/>

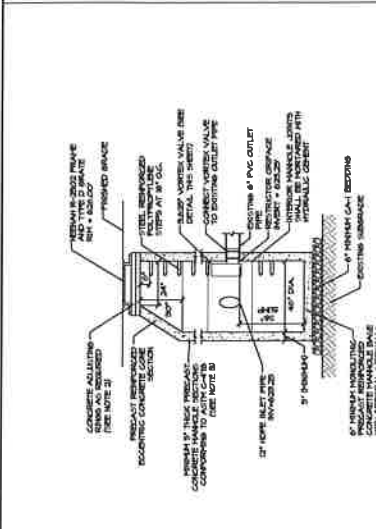
VOLUME TYPE	PRIORITY	AREA	VOLUME	STORAGE	PROVIDER	MIN. DO.	TOTAL	MIN. DO.
EMERGENCY STORAGE	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
		TOTAL		MIN. DO.				



NOTES:

1. PRECAST REINFORCED CONCRETE COLE ACTION AND ADJUSTING RINGS SHALL CONFORM TO ASTM C1372.
2. MANHOLE JOINTS SHALL BE REINFORCED WITH STEEL BARS AND SHALL BE PROTECTED WITH BITUMASTO MATING MATERIAL.
3. PRECAST REINFORCED CONCRETE COLE ACTION SHALL BE CAST IN PLACE WITH MANHOLE JOINTS TO PREVENT SEEPAGE.
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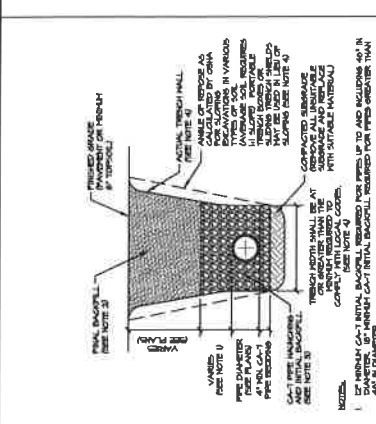
VOLUME TYPE	PRIORITY	AREA	VOLUME	STORAGE	PROVIDER	MIN. DO.	TOTAL	MIN. DO.
EMERGENCY STORAGE	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
		TOTAL		MIN. DO.				



DETAIL - 48" CATCH BASIN WITH 3.925" VORTEX
 NOT TO SCALE

NOTES:

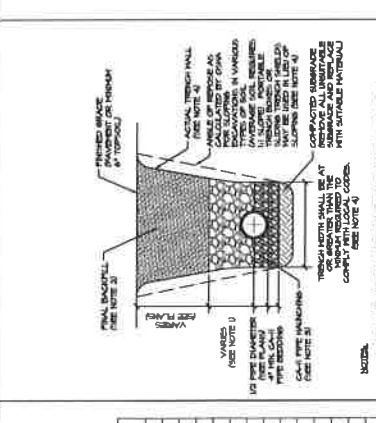
1. PRECAST REINFORCED CONCRETE CORE SECTION AND ADJUSTING RINGS SHALL CONFORM TO AUST C-01 COMPRESSION.
2. MAJORITY ALLOWABLE REBAR FOR CONCRETE ADJUSTING RINGS SHALL BE 4".
3. REBAR SHALL BE PLACED IN 1" SPACING AT TOP AND BOTTOM OF EACH RING.
4. REINFORCED CONCRETE ADJUSTING RINGS SHALL BE FABRICATED IN STABILIZED STEEL. PLATE SHALL BE CENTERED ON RING AND FASTENED WITH 4" DIA. BOLTS. BOLTS SHALL BE PLACED IN 1" SPACING.
5. PLATE FOR REINFORCED CONCRETE SHALL BE FABRICATED IN 1" SPACING.
6. ALL STEEL PARTS AND MATERIALS SHALL BE GALVANNEAL WITH A MINIMUM OF 100% ZINC COATING.



DETAIL - FLEXIBLE PIPE TRENCH
 NOT TO SCALE

NOTES:

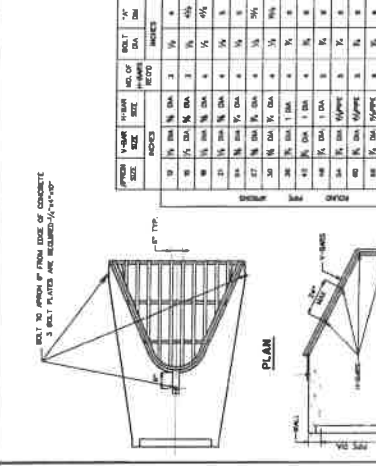
1. 12" MINIMUM C-11 RIBBED BENCHALL REQUIRED FOR PIPS 18" TO AND INCLUDING 48" IN DIA. 18" DIA. PIPES SHALL BE 12" MINIMUM.
2. WITH 2" OF PAVEMENT ABOVE C-11 BENCHALL MATERIAL IS REQUIRED. THE TOP OF BENCHALL SHALL BE 2" ABOVE FINISH GRADE.
3. ALL BENCHALL MATERIALS SHALL BE PROPERLY COMPACTED ACCORDING TO THE SPECIFICATIONS FOR SAND AND WATER CONSTRUCTION IS 100%.
4. ALL TRENCH ENHANCEMENTS SHALL BE PROTECTED IN ACCORDANCE WITH APPROPRIATE SPECIFICATIONS FOR SAND AND WATER CONSTRUCTION IS 100%.
5. ALL STEEL PARTS AND MATERIALS SHALL BE GALVANNEAL WITH A MINIMUM OF 100% ZINC COATING.



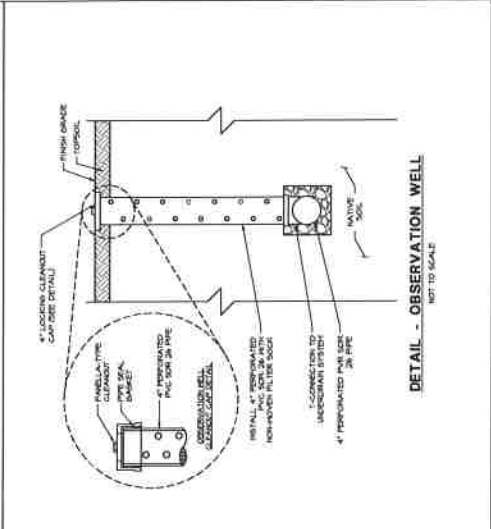
DETAIL - RIGID PIPE TRENCH
 NOT TO SCALE

NOTES:

1. 12" MINIMUM C-11 RIBBED BENCHALL REQUIRED OVER TOP OF PIPE.
2. BENCHALL TRENCH WITH REINFORCED ENHANCED MATERIAL, EXCEPT MATERIAL IS REQUIRED.
3. WITH 2" OF PAVEMENT ABOVE C-11 BENCHALL MATERIAL IS REQUIRED.
4. ALL TRENCH ENHANCEMENTS SHALL BE PROTECTED IN ACCORDANCE WITH APPROPRIATE SPECIFICATIONS FOR SAND AND WATER CONSTRUCTION IS 100%.
5. ALL STEEL PARTS AND MATERIALS SHALL BE GALVANNEAL WITH A MINIMUM OF 100% ZINC COATING.



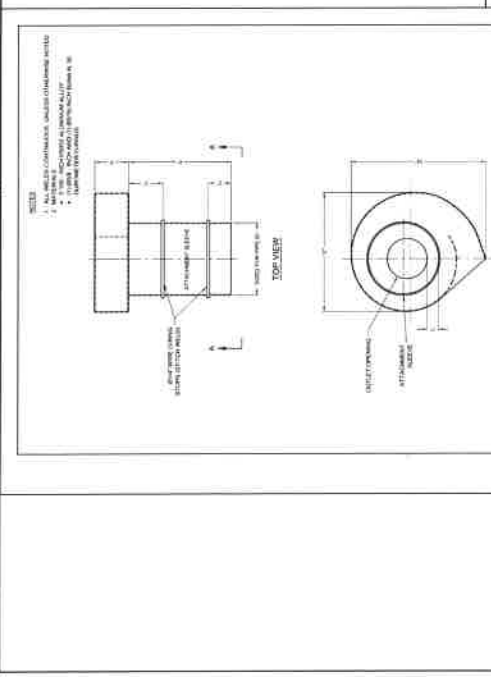
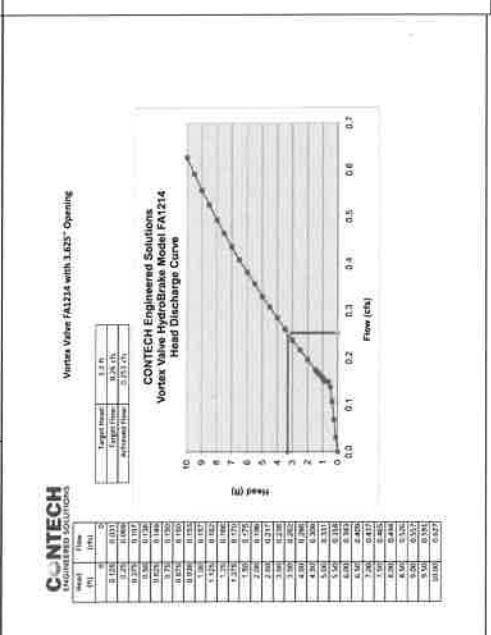
PIPE SIZE	PIPE DIA.	PIPE WALL THICKNESS	PIPE WEIGHT PER FOOT	PIPE SLOPE	PIPE LENGTH
18"	18.00"	0.1875"	11.00	1/4"	10'
24"	24.00"	0.2500"	16.00	1/4"	10'
30"	30.00"	0.3125"	21.00	1/4"	10'
36"	36.00"	0.3750"	26.00	1/4"	10'
42"	42.00"	0.4375"	31.00	1/4"	10'
48"	48.00"	0.5000"	36.00	1/4"	10'
54"	54.00"	0.5625"	41.00	1/4"	10'
60"	60.00"	0.6250"	46.00	1/4"	10'
66"	66.00"	0.6875"	51.00	1/4"	10'
72"	72.00"	0.7500"	56.00	1/4"	10'
78"	78.00"	0.8125"	61.00	1/4"	10'
84"	84.00"	0.8750"	66.00	1/4"	10'
90"	90.00"	0.9375"	71.00	1/4"	10'



DETAIL - OBSERVATION WELL
 NOT TO SCALE

NOTES:

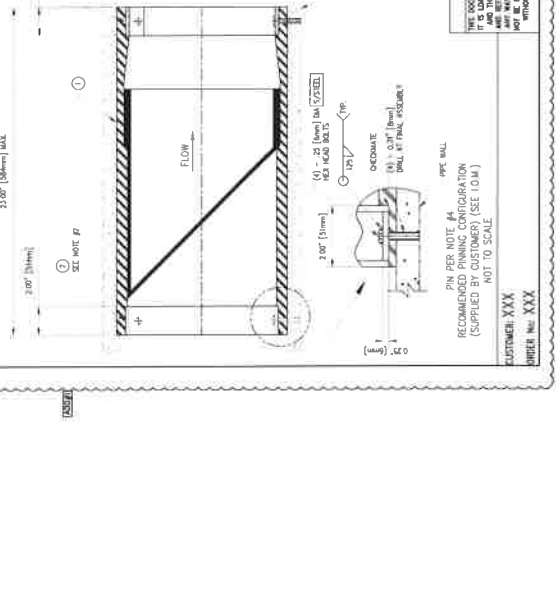
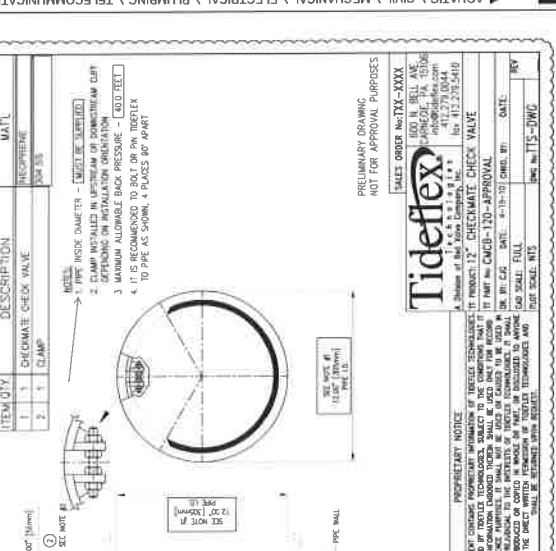
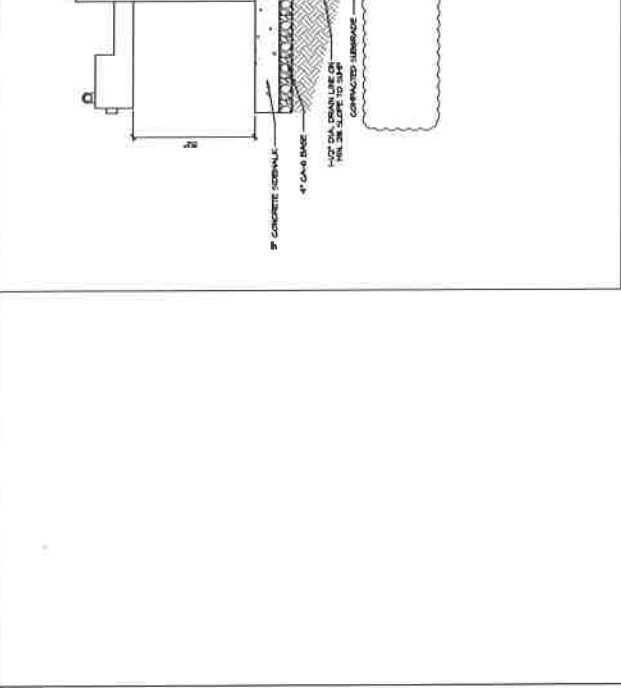
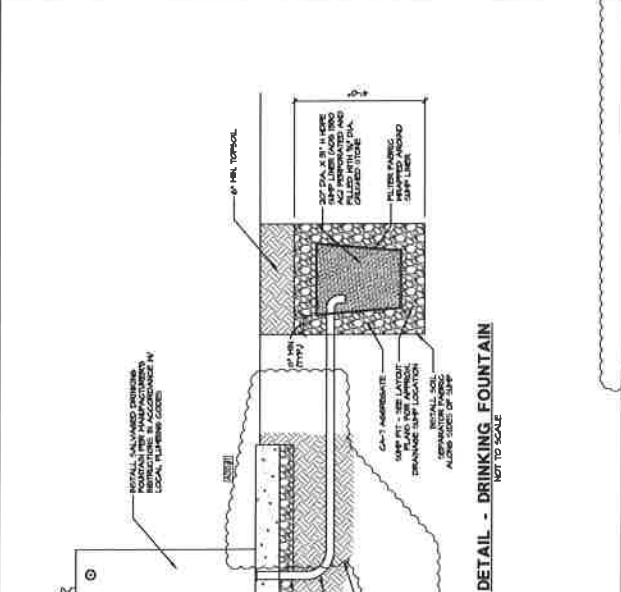
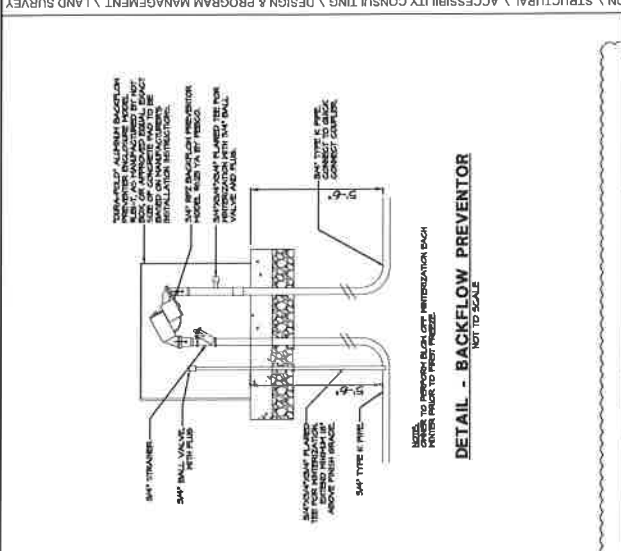
1. 4" LUCERNE CLEANOUT CAP (SEE DETAIL).
2. 4" PERFORATED PVC SOLE IN PIPE.
3. 4" PERFORATED PVC SOLE IN PIPE.
4. CONNECTION TO JACK-O-MATEL SYSTEM.
5. 4" PERFORATED PVC SOLE IN PIPE.



CONTECH ENGINEERED SOLUTIONS

1100 N. WILSON AVENUE, SUITE 100
 CHICAGO, ILLINOIS 60642
 (773) 399-1100
 WWW.CONTECHES.COM

PROJECT: TENNIS COURT IMPROVEMENTS
 SHEET: C-4.2
 DATE: 10/20/2011



PRELIMINARY DRAWING
 NOT FOR APPROVAL PURPOSES
Tideflex
 1200 S. FULLER ST.
 CHICAGO, IL 60607
 TEL: 773.329.5418
 FAX: 773.329.5419
 WWW.TIDEFLEX.COM

SHEET ORDER No: TXX-XXXX
 PROJECT: 15-010-01
 SHEET: 15-010-01
 DATE: 11/11/15

ITEM #	DESCRIPTION	MAT'L
1	CHEMHAIT CHECK VALVE	RESIN/BRASS
2	CLAMP	STAINLESS

NOTES TO REMOVE BACKFLOW INTERVENTION BACK FROM PIPING TO PUMP PRESSURE.

DETAIL - BACKFLOW PREVENTOR
 NOT TO SCALE

NOTES TO REMOVE BACKFLOW INTERVENTION BACK FROM PIPING TO PUMP PRESSURE.

DETAIL - DRINKING FOUNTAIN
 NOT TO SCALE

NOTES TO REMOVE BACKFLOW INTERVENTION BACK FROM PIPING TO PUMP PRESSURE.

DETAIL - BACKFLOW PREVENTOR
 NOT TO SCALE

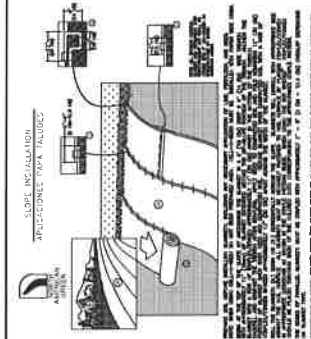
PROPERTY NOTICE: THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF TIDEFLEX. SIGNATURES OF THE USER SHALL BE LIMITED TO THE USER'S NAME AND COMPANY NAME. ANY REPRODUCTION OR DISTRIBUTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF TIDEFLEX IS STRICTLY PROHIBITED.

RECOMMENDED FINISH CONFIGURATION (SUPPLIED BY USER) (SEE 1.0.4)
 NOT TO SCALE
 PROJECT: XXX
 SHEET: XXX



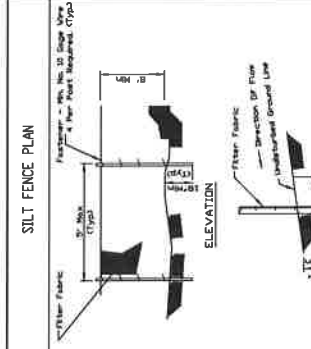
DETAIL - ROOT ZONE PROTECTION FENCE
NOT TO SCALE

SHALL BE HANDMADE THROUGHOUT CONSTRUCTION PERIOD. FINAL PLACEMENT APPROVED BY GEOTECHNICAL ENGINEER.



DETAIL - EROSION CONTROL BLANKET
NOT TO SCALE

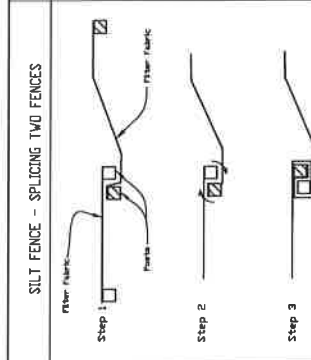
1. EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES WITH A GRAD OF 1:1 OR STEEPER. 2. EROSION CONTROL BLANKET SHALL BE INSTALLED OVER A 2-4 INCH LAYER OF AGGREGATE. 3. EROSION CONTROL BLANKET SHALL BE INSTALLED OVER A 2-4 INCH LAYER OF AGGREGATE. 4. EROSION CONTROL BLANKET SHALL BE INSTALLED OVER A 2-4 INCH LAYER OF AGGREGATE. 5. EROSION CONTROL BLANKET SHALL BE INSTALLED OVER A 2-4 INCH LAYER OF AGGREGATE.



DETAIL - SILT FENCE
NOT TO SCALE

NOTES
1. Temporary silt fence shall be installed prior to any grading work. 2. Temporary silt fence shall be removed during construction period and replaced in conjunction with the final grading. 3. Silt fence shall meet the requirements of standard specification. 4. Silt fence shall be installed in accordance with the standard specification. 5. Silt fence shall be installed in accordance with the standard specification.

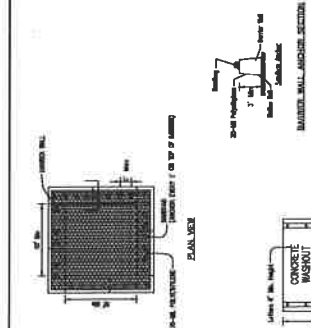
Project No.	100-000000
Sheet No.	100-000000
Revision No.	100-000000
Revision Description	100-000000



DETAIL - SPLICING TWO FENCES

NOTES
1. Place the end point of the second fence inside the end point of the first fence. 2. Place the end point of the second fence inside the end point of the first fence. 3. Place the end point of the second fence inside the end point of the first fence. 4. Place the end point of the second fence inside the end point of the first fence. 5. Place the end point of the second fence inside the end point of the first fence.

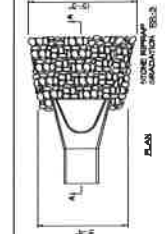
Project No.	100-000000
Sheet No.	100-000000
Revision No.	100-000000
Revision Description	100-000000



DETAIL - CONCRETE WASHOUT FACILITY

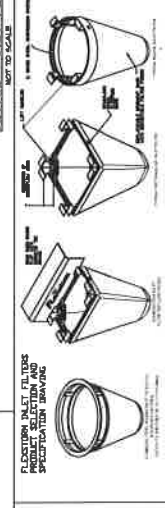
NOTES
1. Washout facility shall be installed prior to any concrete placement. 2. Washout facility shall be installed prior to any concrete placement. 3. Washout facility shall be installed prior to any concrete placement. 4. Washout facility shall be installed prior to any concrete placement. 5. Washout facility shall be installed prior to any concrete placement.

Project No.	100-000000
Sheet No.	100-000000
Revision No.	100-000000
Revision Description	100-000000



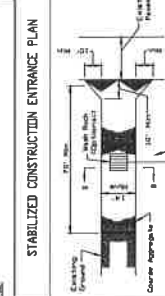
DETAIL - PIPE OUTLET PROTECTION - FLAT AREA
NOT TO SCALE

1. PIPE OUTLET PROTECTION SHALL BE INSTALLED IN ALL PIPE OUTLETS. 2. PIPE OUTLET PROTECTION SHALL BE INSTALLED IN ALL PIPE OUTLETS. 3. PIPE OUTLET PROTECTION SHALL BE INSTALLED IN ALL PIPE OUTLETS. 4. PIPE OUTLET PROTECTION SHALL BE INSTALLED IN ALL PIPE OUTLETS. 5. PIPE OUTLET PROTECTION SHALL BE INSTALLED IN ALL PIPE OUTLETS.



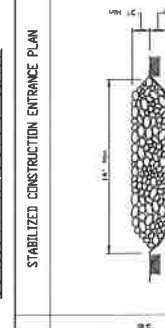
DETAIL - FLEXSTORM INLET PROTECTION
NOT TO SCALE

Product Name	Manufacturer	Material	Color	Weight	Dimensions
Flexstorm Inlet Protection	Flexstorm	Concrete	Grey	100 lbs	18" x 18" x 4"
Flexstorm Inlet Protection	Flexstorm	Concrete	Grey	100 lbs	18" x 18" x 4"
Flexstorm Inlet Protection	Flexstorm	Concrete	Grey	100 lbs	18" x 18" x 4"



DETAIL - STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTES
1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES. 2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES. 3. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES. 4. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES. 5. STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.



DETAIL - STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

NOTES
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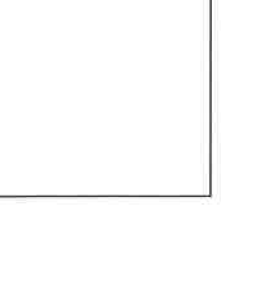
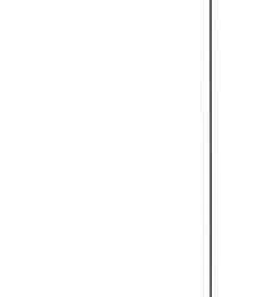
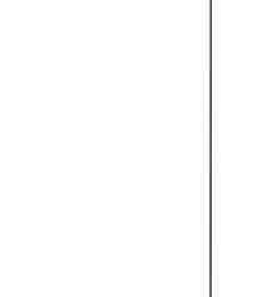
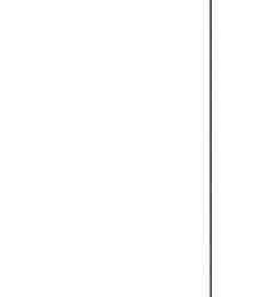
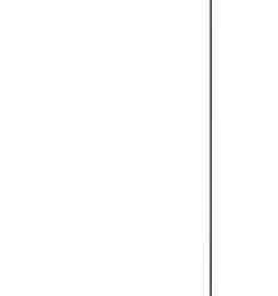
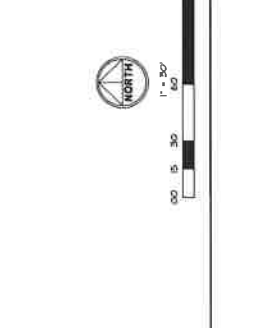
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Revision Description	100-000000

Project No.	100-000000
Sheet No.	100-000000
Revision No.	100-000000
Revision Description	100-000000



WATER SERVICES AND CONNECTIONS

1. ALL WATER SERVICE PIPES AND FITTINGS SHALL BE INSTALLED AND INSTALLED IN ACCORDANCE WITH DIVISION III OF THE STANDARD SPECIFICATIONS.
2. ALL MAIN WATER CONNECTIONS TO MAIN BUILDINGS SHALL BE CONSTRUCTED WITH THE CONNECTION AND CROSS STEPS OR BETWEEN THE CROSS STEPS AND THE CONNECTION AND CROSS STEPS OR BETWEEN THE CROSS STEPS AND THE CONNECTION AND CROSS STEPS.
3. ALL MAIN WATER CONNECTIONS TO MAIN BUILDINGS SHALL BE CONSTRUCTED WITH THE CONNECTION AND CROSS STEPS OR BETWEEN THE CROSS STEPS AND THE CONNECTION AND CROSS STEPS.
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WATER MAINS AND SEWERS HORIZONTAL SEPARATION REQUIREMENTS

1. WATER MAINS SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER MAINS.
2. WATER MAINS MAY BE LOCATED CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN:
 - a. LOCAL CONDITIONS PREVENT A VERTICAL SEPARATION OF TEN (10) FEET;
 - b. THE WATER MAIN IS AT LEAST FIFTEEN (15) FEET ABOVE THE SEWER MAIN;
 - c. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH AS THE SEWER MAIN BUT LOCATED TO ONE SIDE OF THE SEWER MAIN;
 - d. WHEN IT IS IMPROBABLE TO JUMP TO OR 2' ABOVE BOTH THE WATER MAIN AND SEWER MAIN, THE WATER MAIN SHALL BE LOCATED TO ONE SIDE OF THE SEWER MAIN AND THE SEWER MAIN SHALL BE LOCATED TO ONE SIDE OF THE WATER MAIN.

WATER MAINS AND SEWERS VERTICAL SEPARATION REQUIREMENTS

1. WATER MAINS SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS AT LEAST TEN (10) FEET ABOVE THE SEWER MAIN. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS SO THAT THEIR INVERT IS AT LEAST TEN (10) FEET BELOW THE WATER MAIN. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.
2. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS SO THAT THEIR INVERT IS AT LEAST TEN (10) FEET BELOW THE WATER MAIN.
3. IT IS IMPROBABLE TO OBTAIN THE PROPOSED VERTICAL SEPARATION AS REQUIRED BY THIS SECTION.
4. THE WATER MAIN INVERTS SHALL BE AT LEAST TEN (10) FEET ABOVE THE SEWER MAIN INVERTS.
5. A VERTICAL SEPARATION OF SEWER MAINS FROM WATER MAINS SHALL BE OBTAINED BY EITHER A VERTICAL SEPARATION OF SEWER MAINS FROM WATER MAINS OR BY A VERTICAL SEPARATION OF WATER MAINS FROM SEWER MAINS.
6. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.
7. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.
8. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.
9. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.
10. THE WATER MAIN SHALL BE LOCATED WITHIN TEN (10) FEET OF THE SEWER MAIN.

WATER MAINS

1. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER CONNECTIONS IN DIVISION III OF THE STANDARD SPECIFICATIONS. IN CASE OF CONFLICT, THE STANDARD SPECIFICATIONS SHALL PREVAIL.
2. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER CONNECTIONS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
3. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER CONNECTIONS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
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10. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER MAINS AND SEWER CONNECTIONS IN DIVISION III OF THE STANDARD SPECIFICATIONS.

SANITARY SEWERS

1. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS. IN CASE OF CONFLICT, THE STANDARD SPECIFICATIONS SHALL PREVAIL.
2. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
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11. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
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14. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
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16. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
17. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
18. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
19. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.
20. ALL SANITARY SEWER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SANITARY SEWERS IN DIVISION III OF THE STANDARD SPECIFICATIONS.

ALL REQUIRED REF ADJUSTMENTS SHALL BE MADE WITH PRECAST OR OVERLAP REBAR. A PORTION OF THE ADJUSTMENT SHALL BE ALLOWED TO BE MADE WITH REBAR. ALL ADJUSTMENTS SHALL BE MADE WITH PRECAST OR OVERLAP REBAR. A PORTION OF THE ADJUSTMENT SHALL BE ALLOWED TO BE MADE WITH REBAR.



ISSUE	DATE
NO. SET	REVISED

LIGHTING LEGEND

UPPER CASE LETTERS
 INDICATE LIGHTING FIXTURE TYPE
 LOWER CASE LETTERS
 INDICATE LIGHTING FIXTURE TYPE
 EXISTING FIXTURE TYPE

LETTERS A THROUGH
 INDICATE LIGHTING
 FIXTURES TO BE
 REMOVED

LETTERS I THROUGH
 INDICATE LIGHTING
 FIXTURES TO BE
 INSTALLED

GENERAL NOTES:

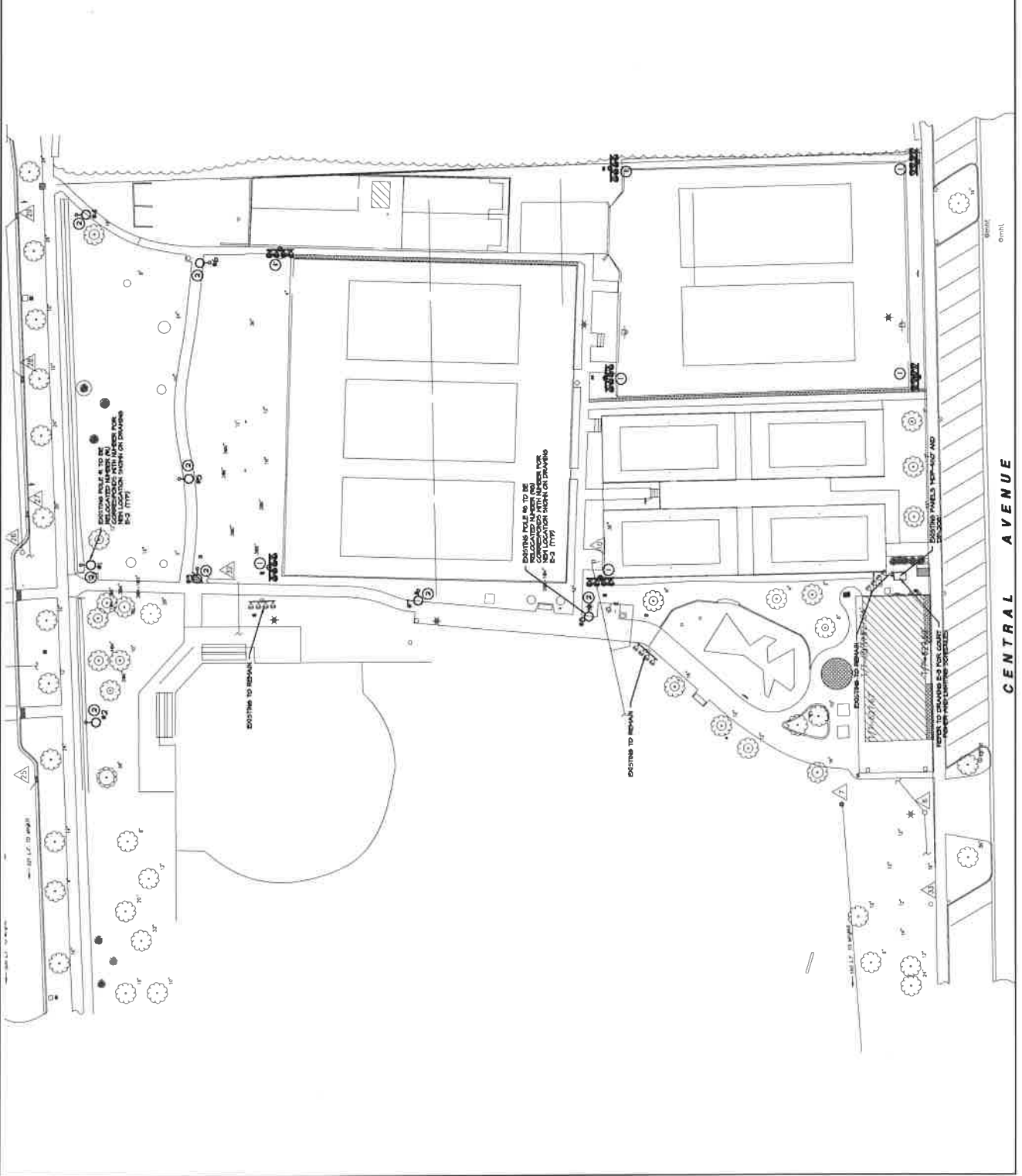
1. ALL LIGHTING SHALL BE 120V, 60 HZ, 15 AMP.
2. ALL LIGHTING SHALL BE 30" HIGHER THAN THE EXISTING LIGHTING.
3. CONTRACTOR SHALL VERIFY ALL LIGHTING LOCATIONS AND TYPES TO BE REMOVED OR INSTALLED. CALL OUT ON DRAWING E-1, PROVIDE NEW BASE PER DRAWING E-2.

KEYED NOTES:

1. REMOVE THE EXISTING POLE BASE AND ALL ASSOCIATED EQUIPMENT BACK TO SOURCE. REFER TO DRAWING E-1 FOR NEW HEIGHTS. SPORTS LIGHTING LAYOUT.
2. REMOVE EXISTING POLE BASE AND ALL ASSOCIATED EQUIPMENT BACK TO SOURCE. REFER TO DRAWING E-1 FOR NEW HEIGHTS. SPORTS LIGHTING LAYOUT.
3. CONTRACTOR SHALL VERIFY ALL LIGHTING LOCATIONS AND TYPES TO BE REMOVED OR INSTALLED. CALL OUT ON DRAWING E-1, PROVIDE NEW BASE PER DRAWING E-2.

DEMOLITION GENERAL NOTES:

1. COORDINATE DEMOLITION AND PREPARATION WORK TO MINIMIZE DISTURBANCE TO THE OPERATIONS OF THE EXISTING FACILITY. ALL DEMOLITION WORK SHALL BE COMPLETED AND DUST PARTITIONS AS REQUIRED.
2. ITEMS REMOVED AND SALVAGED SHALL BE TURNED OVER TO THE OWNER OR AS DIRECTED BY THE ARCHITECT.
3. ELECTRICAL DEMOLITION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. ALL ELECTRICAL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. ALL ELECTRICAL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
4. DEMOLITION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) AND NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.



EXISTING POLE #1 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #2 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #3 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #4 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #5 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #6 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #7 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)

EXISTING POLE #8 TO BE RELOCATED TO NEW LOCATION SHOWN ON DRAWING E-1 (11/17)



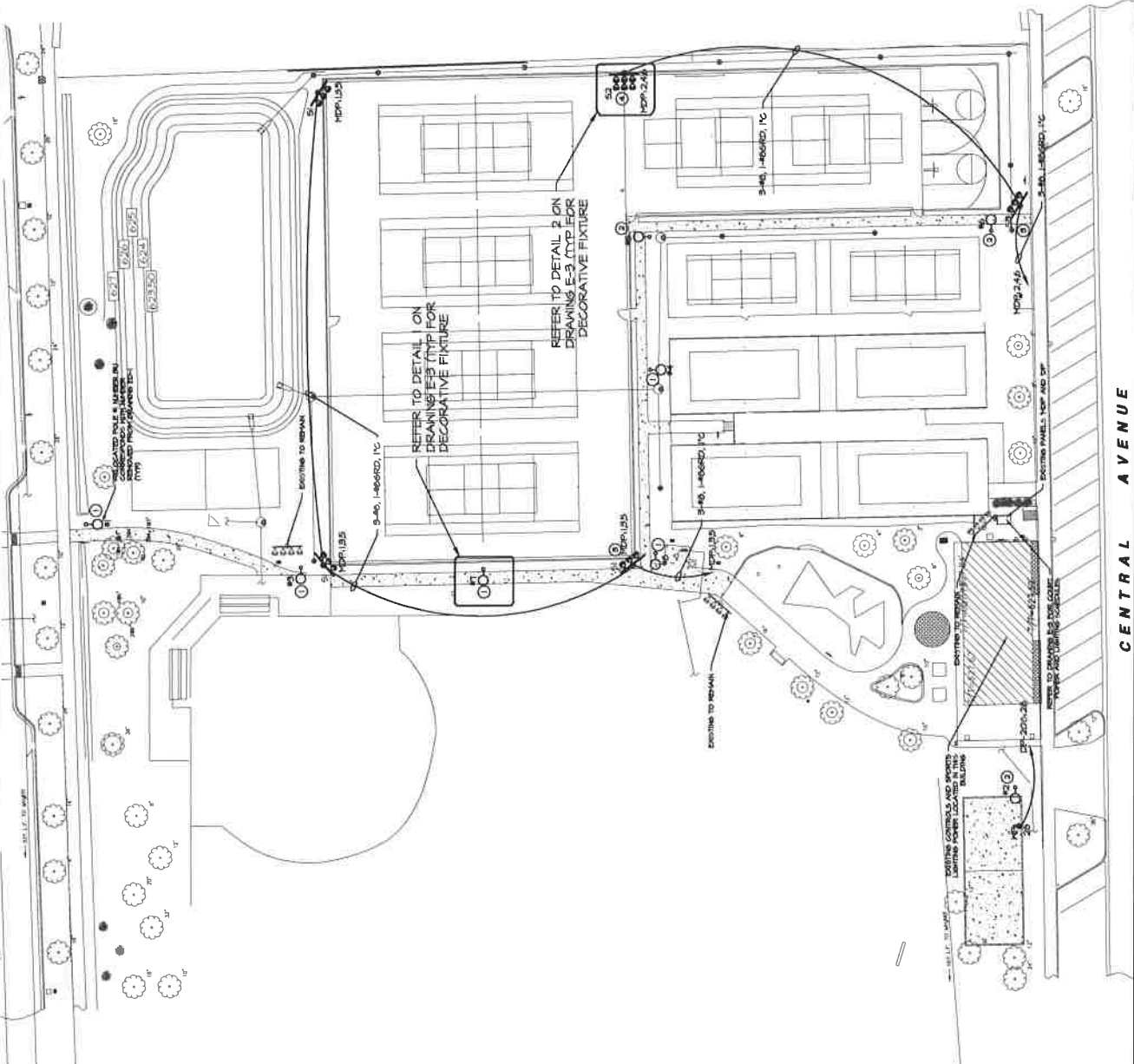
LIGHTING LEGEND
 LOWER CASE LETTERS
 INDICATE THE TYPE OF
 LIGHTING FIXTURE TO BE
 INSTALLED AT THE LOCATION
 INDICATED BY THE LETTER.
 EXISTING FIXTURES WILL
 REMAIN UNLESS NOTED
 OTHERWISE.

UPPER CASE LETTERS
 INDICATE THE TYPE OF
 LIGHTING FIXTURE TO BE
 INSTALLED AT THE LOCATION
 INDICATED BY THE LETTER.
 EXISTING FIXTURES WILL
 REMAIN UNLESS NOTED
 OTHERWISE.

LETTERS + HATCHES
 INDICATE THE TYPE OF
 LIGHTING FIXTURE TO BE
 INSTALLED AT THE LOCATION
 INDICATED BY THE LETTER.
 EXISTING FIXTURES WILL
 REMAIN UNLESS NOTED
 OTHERWISE.

GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2014 IBC AND ALL APPLICABLE CODES.
 2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

KEYED NOTES
 1. VERIFY EXISTING CONDITIONS AND CONDITIONS FOR NEW POLE LOCATION. CONTRACTOR SHALL INVESTIGATE POLE LOCATION.
 2. NOTIFY NEW CONDUIT AND CONDUITS TO BE LOCATED TO THE POLE. CONTRACTOR SHALL INVESTIGATE TO THE POLE.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.





Engineering • Design • Consulting

March 22, 2022

ADDENDUM NO. 01

**Project: Keystone Park – Tennis Court Lighting Project
River Forest, IL
WT Project #C2100009**

TO: All Plan Holders

This addendum shall be included in and become part of the Contract Documents. The above named Project Specifications and Drawings previously issued are hereby modified as follows:

General Clarifications

1. Additional lighting was added to the batting cages in the southwest corner of the project.
2. Alternate # 2 was added for the addition of lighting for the basketball courts.
3. Please see the attached bid form for updates to the Base Bid language as well as the addition of Alternate # 2 to the project.
- 4.

Project Manual – Musco Specifications

5. The attached Musco specifications shall be utilized in lieu of the specifications originally provided in the bid set.

Sheets ED-1 through E-4

6. The electrical plans have been updated to include additional lighting for the batting cages in the southwest corner of the project.
7. Alternate # 2 has been added to the project. Alternate # 2 is an alternate being provided for the addition of two (2) site area lights to light the proposed basketball court.

Regards,

The WT Group, LLC

A handwritten signature in black ink, appearing to read 'Todd Abrams', with a horizontal line extending to the right.

**Todd Abrams P.E., CFM
Executive Vice President**



**River Forest Park District
Public Hearing Minutes of
March 21, 2022**

The Board of Commissioners of the River Forest Park District convened at 7:00 PM for a Public Hearing on Monday, March 21, 2022 at the River Forest Park District, 401 Thatcher Avenue, River Forest, Illinois.

Roll call was taken with Commissioners Bade, Cargie, Grant, Healy, and Libera present. Also present was Todd Abrams (WT Engineering), Fred Kolkman (Kolkman Tennis & Sport Surfaces) (virtually), Jennifer Snow (Park District), Lisa Scheiner (Village of River Forest), Maryanne Fishman Sara Lisy, Joan O'Connor, Joe O'Conner, Agatha Gallo, and Kitty Bingham.

President Libera gave opening remarks on the Keystone Park East Project. Director Sletten and Todd Abrams gave a presentation on the Keystone Park East Project. Director Sletten also requested public feedback on the idea of lighting the 5th (south) tennis court and the basketball hoop area.

Joan O'Conner, River Forest, asked for clarification on where the basketball hoop area will be located, and Director Sletten showed on the projection screen the basketball hoop area would be located between the south tennis court and Central Avenue. Ms. O'Conner asked if the new lights would be better or the same as the ones at Keystone Park West as far as light spillage, and Mr. Abrams explained the new light design and the reduced light spillage. Ms. O'Conner asked if the new tennis courts would be made of clay, and Director Sletten responded the tennis courts are all asphalt.

Agatha Gallo, River Forest, was concerned with the light spillage into the neighborhood across the Union Pacific railroad tracks and asked if more trees can be planted along Central Avenue, and Director Sletten explained the landscape plan only allows for one tree to be planted along Central Avenue due to lack of planting space. Ms. Gallo expressed concerns with water in the retention swale and Mr. Abrams explained the swale is considered a "dry swale" and water will be in this swale a minimum number of times a year. Fences are typically not designed around dry swales. Director Sletten noted that the Park District has dry swales at Keystone West and Priory Parks with neither enclosed by fences. Ms. Gallo asked if there was still a plan to build a paddle hut at the platform tennis courts and if a membership was still required to play on those courts, and Director Sletten stated that a Paddle Hut has been discussed in the past but there are no current plans or funding allocated for a paddle hut at this time and the use of the platform tennis courts is still membership based. Kitty Bingham noted the platform tennis courts are open to the public during some of the weekday hours.

Commissioner Cargie asked what time the lights turn off at night, and Director Sletten responded the Keystone East baseball, batting cage, and tennis court lights turn off at 10:00 PM. The platform tennis courts turn off at 11:00 PM.

Commissioner Healy asked if the basketball hoop area lights would be on the same 10:00PM schedule, and Director Sletten responded that the request would be for a 10:00 PM turn off time for the basketball hoop area lights.

Sarah Lisy, River Forest is in favor of the basketball hoops being open to the public; however, noted the addition of the lighted basketball hoop area came after the original notice, and Director Sletten responded that the Park District is aware of the change and will hold a second Public Hearing on April 11th, for public feedback specific to the basketball hoop area lights.

Commissioner Bade moved to adjourn at 7:40 PM, seconded by Commissioner Healy. A voice vote followed, and the motion was approved 5-0.

Respectfully submitted,

Michael J. Sletten, Secretary

**River Forest Park District
Regular Board Meeting Minutes of
April 11, 2022**

The Board of Commissioners of the River Forest Park District convened at 6:00 PM in Public Hearing on Monday, April 11, 2022 at the River Forest Park District, 401 Thatcher Avenue, River Forest, Illinois.

Roll call was taken with Commissioners Bade, Cargie, Grant, Healy, and Libera present. Also present was Director Sletten, Kitty Bingham, Art Soudek.

President Libera opens the hearing for public comment regarding the addition of 2 light poles for the Keystone Project basketball area. No public comments were provided.

Commissioner Healy moved to adjourn at 6:05 PM, seconded by Commissioner Bade. A voice vote followed, and the motion was approved 5-0.

The Board of Commissioners of the River Forest Park District convened at 6:05 PM in Regular Session on Monday, April 11, 2022 at the River Forest Park District, 401 Thatcher Avenue, River Forest, Illinois.

Roll call was taken with Commissioners Bade, Cargie, Grant, Healy, and Libera present. Also present was Director Sletten, Kitty Bingham, Art Soudek, Jack Dwyer (virtual), Gus Dwyer (virtual) and Cade Dublin (virtual).

Commissioner Healy moved to approve the March 14, 2022 Board Meeting Minutes, seconded by Commissioner Grant. A voice vote followed, and the motion was approved 5-0. Commissioner Cargie moved to approve the March 21, 2022 Public Hearing Minutes, seconded by Commissioner Bade. A voice vote followed, and the motion was approved 5-0.

Commissioner Healy moved to approve the March, 2022 Vendor Disbursements for \$33,536.53, seconded by Commissioner Cargie. A roll call vote followed, and the motion was approved 5-0.

Public Comment: Jack and Gus Dwyer (River Forest) stated their support for a skate park in River Forest. They noted that skate parks provides all day activities and provides an opportunity to meet new friends.

Cade Dublin (River Forest) stated his support for a skate park in River Forest and noted half of his friends skate board.

Correspondence to the Board: President Libera noted the following written correspondence to the Board:

- Edwardo Montiel (River Forest) regarding his opposition to relocating the tennis courts and batting cages as part of the Keystone Project.
- Kitty Bingham (River Forest) regarding her question on the lack of use of the Platform Tennis Committee and thoughts she had on the women's house league. President Libera opened Ms. Bingham's comments for Board discussion. Ms. Bingham claims the document she submitted is from 30 women's house league players and she is requesting input. Director Sletten discussed staff's is following up with league members that includes an end of the year house league survey, and small group discussions with players in both house leagues. Ms. Bingham requested a group of members who are not included in the house league be included in the discussions and she will provide the names in the group. The Board requested to see a copy of the survey prior to distribution.
- Art Soudek (Oak Park) regarding his support to create an Enterprise Fund for the platform tennis program.

WSSRA Report: Director Sletten noted that the Park District and Village are splitting a Sliver Sponsorship for the WSSRA Derby Gala. The venue has changed and so has the table sizes, so the sponsorship only includes 4 tickets to be split with the Village. Director Sletten asked that the Park District can purchase additional tickets for any Board Member who wishes to attend.

Staff reports: Staff reports were submitted to the Board.

Commissioner Cargie asked if the tennis courts were permitted to any tennis teams. She has seen both girls and boys groups practicing on the courts. Director Sletten noted he will follow up with the Athletic Manager.

Board Reports: Commissioner Bade noted that the Willard soccer field was not used over the weekend and asked if this field was closed due to field conditions or being rested. Director Sletten stated he would follow up with the Director of Parks.

Commissioner Grant reported he attended the Village Collaboration Meeting and provided some Board Reports.

President Libera noted she attended the Opportunity Knocks Gala.

Old Business: Commissioner Healy moved to approve Evans & Son Blacktop bid of \$650,027.58 for the Keystone Project site work, seconded by Commissioner Cargie. A roll call vote followed, and the motion was approved 5-0.

New Business: Director Sletten presented the re-bidding of the Light/Electric work for the Keystone Project. The only bid again was received by Jasco. Director Sletten noted that both WT Engineering and the Park District staff attempted to solicit other contractors to bid without success. Director Sletten stated the project could be re-bided, but there is a risk of a higher price in the current economic environment. Commissioner Healy moved to approve Jasco's base bid of \$262,322, alternate #1 bid (5th tennis court) for \$40,247, and alternate #2 bid (basketball area lights) for \$18,020 for the Keystone Project light work, seconded by Commissioner Bade. A roll call vote followed, and the motion was approved 5-0.

Platform Tennis Enterprise Fund: Director Sletten presented a memo discussing the how & why the term Enterprise Fund was used in relation to managing the finances of the platform tennis facility. Commissioner Cargie asked if Village TIF funds finance the project and Director Sletten believes \$25,000 was allocated to the project; however, the project included both the construction of the platform tennis courts and the renovation of the Keystone Center, and the funds were allocated to the building portion of the project. President Libera stated her support to commit the surplus platform tennis funds into a Capital Improvement line item. She noted that the platform tennis courts are oversubscribed and capital funds need to be set aside for the 5th and 6th platform tennis courts. She wanted to change the Enterprise Fund term to Enterprise-like Fund. Commissioner Grant noted that in the past year, the platform tennis courts were only reserved 80% of the F, Sa, Su prime time hours and all 4 courts were only fully book 20% of the time. He wanted to change the Enterprise Fund term on the website with Platform Tennis Financials with new text. Commissioner Healy wanted to eliminate the spreadsheet from the website and change the text. Commissioner Bade agreed with Commissioner Grant on the number of players on the courts during prime time. He suggested any excess fund be used to pay down the platform tennis court debt. He wanted to remove the Enterprise Fund term, remove the spreadsheet from the website and replace with new text and a summary sheet. Commissioner Cargie moved to instruct staff to use any year end balance from the platform tennis facility to be applied to pay off platform tennis court debt and draft a new page on the website posting a new description and summary of the platform tennis facility, seconded by Commissioner Bade. A roll call vote followed, and the motion was approved 5-0.

Commissioner Grant asked the Board to set a COW Meeting date to gather a comprehensive list of facility ideas for the parks. The Board agreed to have a COW Meeting on May 23rd, 6:30pm. Prior to the meeting, staff will post the meeting date and invite residents to attend with their facility ideas or email them prior to the meeting.

Commissioner Healy moved to transfer \$500,000 out of the Corporate Fund with \$490,000 going into the Capital Fund and \$10,000 into the Special Recreation Fund, seconded by Commissioner Bade. A roll call vote followed, and the motion was approved 5-0.

Commissioner Healy moved to enter into Closed Session at 8:10 PM, seconded by Commissioner Bade. A voice vote followed, and the motion was approved 5-0.

The Board reconvened into open session at 9:30 PM

Commissioner Healy moved to adjourn at 9:30 PM, seconded by Commissioner Grant. A voice vote followed, and the motion was approved 5-0.

Respectfully submitted,

Michael J. Sletten, Secretary



River Forest Park District

May 1, 2022

Village of River Forest
400 Park Avenue
River Forest, Illinois, 60305

Site Development Allowances

To Whom It May Concern,

The River Forest Park District is not requesting site development allowances. The proposed development will not ask for variations from the underlying zoning provisions as outlined in **Section 10-19-4: SITE DEVELOPMENT ALLOWANCES.**

Sincerely,

Lynn Libera
President



River Forest Park District

Keystone Project Questions and Answers

The Keystone tennis courts are scheduled to be rebuilt in the fall of 2022. The condition of the existing tennis courts will no longer allow asphalt overlay and the courts must be removed and rebuilt. The Board agreed that if the courts are to be rebuilt; the site should be reviewed to maximize recreation opportunities. The plan should make efforts to reduce the non-permeable surfacing, chain-link fencing, and light noise.

Question: Is there a reduction in concrete and asphalt surface area with the proposed Keystone Project?

Answer: The proposed Keystone Project will see a 9.1% decrease in concrete and asphalt surface area.

The current concrete & asphalt surface area in the project is:

- Existing surface area of the 5 asphalt tennis courts: 32,004 SF
 - Existing surface area of the asphalt hitting area north of the tennis wall: 960 SF
 - Existing surface area of the concrete batting cages: 3,944 SF
 - Existing surface area of the concrete sidewalks: 5,345 SF
- Total: 42,253 SF

The proposed concrete & asphalt surface area in the project is:

- Proposed 5 asphalt tennis courts: 31,097 SF
 - Proposed basketball hoop area: 1,891 SF
 - Proposed concrete batting cage area: 2,010 SF
 - Proposed concrete sidewalk & miscellaneous: 3,335 SF
- Total: 38,333 SF

Question: Is there a reduction in the chain link fencing with the proposed Keystone Project?

Answer: The proposed Keystone Project will see a 38% decrease in chain link fence.

The current chain link fence SF in the project is:

- Tennis courts: 10,320 SF
 - Batting cages: 6,818 SF
- Total: 17,138 SF

The proposed chain link fence SF in the project is:

- Tennis courts: 7,560 SF
 - Basketball hoop area: 960 SF
 - Batting cages: 2,112 SF
- Total: 10,632 SF

Question: Are platform tennis courts going to be built?

Answer: No. The proposed Keystone Project does not include construction of the 5th/6th platform tennis courts; however, there is space available on the site as a future project. If the Park District proposes the construction of the 5th/6th platform tennis courts, this would be a separate Planned Development Review application that would require separate public hearings and approval from the Village Board.

Question: Will the tennis court continue to be lit?

Answer: As the configuration of the tennis courts have changed, a new tennis court light system will be installed. The current eight light poles (39' on the north/south, 50' in the middle) with metal halide lights will be replaced with four 50' light poles with LED lights on the north 4 tennis courts, and a single 50' light pole with LED lights on the single tennis court. The new light system will provide uniform lighting across the tennis courts while providing 0.0 light spill within 25' of the tennis courts. A photometric of the tennis court light spill is available on the River Forest Park District website.

The Board solicited public feedback on this item at a March 21, 2022 Public Meeting. The Minutes to this meeting are available on the River Forest Park District website. The Park District wishes to reduce the impact of lights to our neighbors as much as possible.

Question: What is the proposed tennis court fence height?

Answer: The tennis court fence height will be reduced from 10' to 8'. The Washington Square tennis courts constructed 3 years ago have an 8' fence height. The reason for decreasing the fence height is to improve aesthetics for the park and 10' fences are more susceptible than 8' fences to wind damage. The 8' fence height is recommended by our tennis court engineer and it's allowed in the new 2021 Tennis Court and Construction Manual that is co-authored by the USTA and ASBA.

Question: What is the distance between tennis courts or the tennis courts and the fence?

Answer: The distance between tennis courts or the tennis courts and the fence will increase from 9' to 10'.

Question: Will the tennis hitting wall remain?

Answer: Two new hitting walls will be relocated to the east fence of the south tennis court. The current plastic material on the hitting wall will be recycled for the new hitting walls.

Question: Will pickle ball courts be included in the project?

Answer: Each tennis court will be dual lined for tennis or pickle ball.

Questions: Will a basketball area be included in the project?

Answer: A fenced basketball hoops area will be located between the south tennis court and Central Avenue. The 2 basketball hoops will include a free throw box with a high school 3-point line. The basketball hoops will be used for Park District programs and will be open to the public. The fence will be the same 8' high black chain-link fence as the tennis courts. The fence will address any issues with the basketball hoops area being too close to or basketball bouncing onto Central Avenue.

Question: Will the basketball hoop area be lit?

Answer: Yes, 2-30' poles with a single fixture on each pole will be located at the west and west side of the basketball hoop area.

The Board solicited public feedback on this item at an April 11, 2022 Public Meeting. The Minutes to this meeting are available on the River Forest Park District website. The Park District wishes to reduce the impact of lights to our neighbors as much as possible.

Question: Why are the 4 lighted batting cages being split as 2 cages between 2 sites?

Answer: The proposed Keystone Project is locating 2 lighted batting cages west of the Keystone Center on Central Avenue, centrally located between the 2 ball fields. These 2 cages will be 60' long and available for hitting and pitching practice. The second set of cages will be nets only, located on a grass area east of the synthetic infield. The need for 4 batting cages outside the RFYBS season is unnecessary, so this plan establishes two of the batting cages as temporary units to meet the needs of the RFYBS season and then opens up park space for the remainder of the year. The second set of cages will only be up April-June to improve aesthetics of the park and the view for adjacent neighbors. To help reduce the light impact in the park, only the permanent batting cages will continue to be lit.

Question: Why is there a swale area between the tennis courts and Lake Street?

Answer: The 3.5'-5.0' deep swale area is a storm water requirement from the Metropolitan Water Reclamation District. The Park District was hoping to install an underground system to accommodate the storm water requirements; however, this system would add \$200,000 to the project and require more land and remove more trees from the site.

Question: Will there be standing water in the swale?

Answer: The swale does not permanently hold water, but will retain 12" to 18" of water during heavy storms, and up to 36" of water for the 100 year storms. The swale is designed to drain within a couple of hours, depending on the total rainfall. The Park District has two other storm water swales located in Keystone Park West along Lake Street and Priory Park on the west side of the park. The base of the swale will be planted with wildflowers and the slopes will be mowed grass.

Question: How many trees will need to be removed due to this project?

Answer: 14 trees and 6 multi-stem trees ranging from 5" to 20" will need to be removed. The total diameter loss of these trees is 194". These trees will be replaced with 65-three inch trees in Keystone Park (or other River Forest parks if space does not permit). A landscape plan of the Keystone Project is available on the River Forest Park District website.

Question: Will the sidewalks still be lit?

Answer: The Park District is recycling all 7 sidewalk lights to be used in the project. These lights have already been retrofitted to LED lights.

Question: What will happen to the flag pole?

Answer: The existing flag pole will be unable to be recycled back into the project, so a new 30'x6" aluminum flag pole with a solar light will be installed next to the synthetic infield scoreboard. As a reference, the Memorial Parkway flagpole is 20' and the Village Hall flagpole is 30'.