

Tab 10

ECONOMIC ANALYSIS

The Developer shall submit economic analysis prior to the final submittal of this application

DEVELOPER'S FINANCING

Attached to this Application, please find the evidence of financing from Wintrust Commercial Real Estate dated 1/17/20.

PROJECT ECONOMIC VIABILITY

Attached to this Application, please find the economic viability completed by AvenueOne.

ECONOMIC IMPACT

The economic impact of the proposed development will consist of the cost of services and property taxes. An impact on an increase in sales tax revenue can't be easily ascertained.

The incremental cost of services is expected to be negligible. Most services will be fee based.

Based on the expert opinion of the local real estate and development professionals, the proposed development is not anticipated to generate any increase in the school age children population. (SAC Consultant projects 2 children). It will, however generate an estimated increase in annual revenue to the school districts of more than \$190,000.

The proposed development will create a significant increase in property taxes that will also boost the revenue to other local taxing districts, such as, library, park district, the Village, etc. The following table summarizes the property tax increase impact.

The data is based on the projected market value of the townhomes units and the Cook County Assessor's office provided tax rate of 10.096%, Assessment Equalization (EAV) factor of 2.9109, assessment level of 10% and the Homeowner Exemption of \$7,000, for all units.

Bonnie Brae Construction, LLC.

3528 Walnut Ave., Wilmette, Illinois 60091

Tel: (847) 728-0584

Fax: (847) 728-0585

January 17, 2020

Ms. Lisa Scheiner
Assistant Village Administrator
Village of River Forest
400 Park Avenue
River Forest, Illinois 60305

Re: School Contribution

Dear Ms. Scheiner,

The Village Zoning Ordinance sets specific parameters for the land donation and for fee in lieu of donation to the local school districts.

This is intended to offset the additional cost that schools may incur with admission of the school age children generated by the new development.

In our SAC report, we show that our proposed townhomes development will create a net decrease of 2.16 students to the River Forest schools. In this study, our contribution to the local school districts (for a 19 townhomes) was a reduction by 0.535 children to K-8 district and by 1.624 children to the high school district.

In addition to the reduced school cost resulting from the negative number of school age children contribution, both school districts will receive large annual increases in their tax collection due to a very large Assessed Value increase in the development parcel after construction and sale are concluded.

As provided in Sec. 10-23-4.C.1 of the Village Zoning Ordinance, we request that our fee in lieu school contribution is based on our SAC report. Rather than reflecting the generic conditions, our report is based on rigorous analyses of the actual expected school children generation for the type of the units we are proposing to build and taking into account the number of children currently generated by the property that will discontinue.

As the Planned Development process is designed to take into account the unique features of the proposed development, our request is based on the fact that our proposed development will not add additional burden to the local schools and will, in fact, significantly increase their annual funding.

Thank you for your consideration,



Art Gurevich
Manager

Bonnie Brae Place,
A Luxury Townhomes Development
Projected Number of School Age Children and Cost to School Districts
Economic Projection for Taxing Bodies

January 2020

Prepared by
Bonnie Brae Construction, LLC

The expected fiscal impact to the school districts resulting from the construction of the Bonnie Brae Place townhomes in River Forest is significantly positive, with expected increase in annual tax revenues of approximately \$111,000 flowing to D90 and an annual increase of more than \$79,000 flowing to D200. Featuring nineteen townhouse units with high end finishes and an average price of \$600,000, the new residents will upper income earners. The number of school age children likely to reside at the proposed Bonnie Brae Place development, which is composed exclusively of three-bedroom townhomes units, is 1.995. The number of students expected to attend a public school 1.841. However, the total impact of the proposed development will be a **reduction in public school attending students by 2.16**.

River Forest is an appealing community for families with school children due to the highly regarded schools and the wealth of extracurricular activities for children ranging from sports to art and music. However, the nature of the project, high-end, for-sale, attached housing without individual yards, limits the attractiveness for households with children.

To estimate the number of school age children, I reviewed a number of demographic sources. In addition to baseline demographic data for River Forest, I used data compiled by the American Community Survey (ACS) Public Use Microdata Sample (PUMS), and reference publications by Wong (use of PUMS I developing SAC multiplier), Fiscal Impact Handbook by Burchell and Listokin (national reference authors on the subject), Rutgers University research on Residential Demographic Multipliers. I also consulted fiscal impact studies for projects with similar characteristics and enrollment projections for relevant communities. Finally I researched recent trends in family size as it relates to income, education, and housing preference e.g. single family, townhome, condo unit or apartment. Multiyear trends tend to show significant decrease in school age children in townhomes and single family homes. Nationally, from 1970 to 2000 a 3-bedroom townhouse household size decreased from 4.07 to 2.55 and the school age children number decreased respectively from 1.33 to .44 (Demographic Multipliers: Recent National and State Findings, Listokin and Burchell)

Current Demographics of River Forest

River Forest, Illinois with a population of 11,156 had 3,892 households in 2017. The residents have high earnings; the median homeowner income of owners with a mortgage is \$172,921. According to <http://www.city-data.com/housing>, only 44.4% of River Forest households have a mortgage.

In River Forest, 46.7% of households have children. The average household size is 2.62 persons. A breakdown of household sizes is shown below.

Household By # of Persons 2017

1 person	897	23%
2 person	1,450	37%
3 person	478	12%
4 person	799	21%
5 person	175	5%
6 person	35	1%
7+ person	28	1%
	3,862	100%

Methodology

To estimate the number of children likely to reside in Bonnie Brae Place townhouse development, I first determine a base factor of number of children per unit. I found credible data regarding the number of school aged children in attached single family homes. Next I adjust that factor for unit size, income and wealth of buyer, age of buyer, and public school attendance.

All proposed townhouse units will be 3 bedroom, with an estimated average market price of \$600,000

Projection of School Age Children Living in Attached Single Family House

In River Forest, 46.7% of all households have children (city-data.com). This includes all housing unit types and sizes (apartments, condos, townhomes, and single family homes) and children of all ages. Out of 3,325 children residing in River Forest, 1,995 attended public schools (1,430 attended K-8 school and 565 attended high school) in 2018/19. Additionally 99 K-8 age children attend private schools and 92 children attend private high schools. At 46.7%, 8.87 dwelling units can be expected to have children, including infants, preschoolers and post high school children 18 or older. Of these, 60% (1,995/3,325) can be expected to have school age children in public schools. This suggests that 5.32 children attending public schools may reside in 19 dwelling units. However this data is not adjusted for unit size, unit type nor the unit cost/owner's income. In one of our previous townhouse developments, out of 15 units, 2 initial owners had small children. A year after the sellout, owners of 4 more units were expecting children. Five years later, there were no school age children and there were small children in 2 units. This reinforced the notion that young couples living in townhomes move up to single family detached homes when children approach school age.

Projection of School Age Children Based On Unit Size

To better understand the impact of unit size, I consulted demographic analysis and projections undertaken by for the Oak Park Elementary School district. Ehlers, a public finance consulting firm, conducted a comprehensive enrollment projection for Oak Park's D97 in 2013 and updated these projections in 2016. Oak Park is a neighboring community which shares a high school with River Forest

The Oak Park data was segregated by unit size. In the adjusted 2016 projections, Ehlers used a multiplier of .136 to estimate K-8 attendees and .038 to estimate high schoolers, for a combined multiplier of .174 school age children per 3-bedroom unit of attached for-sale housing.

While there are distinct differences between River Forest and Oak Park, notably higher income levels and more expensive housing in River Forest, the adjacent communities share many common characteristics, including the same high school, market area, transportation network and convenient near west location. The Ehlers study is the best starting point for projecting school children likely to reside at Bonnie Brae Place because of the level of detail, including unit size, separate multipliers for the elementary school and high school age children and differentiation between detached housing, rental units and for- sale, attached housing. The underlying data from which Ehlers projection is derived is from a community which shares many similar locational characteristics and some demographic attributes. The .174 multiplier will serve as a starting point and will be adjusted for other factors.

Adjustments Due to High Income Buyers

Not only does the type of housing influence the number of children in the household, but so does household income and education. Generally higher-income and better-educated households have fewer children. Current River Forest demographics reveal a population which has a significantly higher income level and education level than the Illinois mean and median. In fact, River Forest average annual household income, at \$111,819, exceeds the annual household income for the community used as the baseline by \$43,800.

People purchasing the Bonnie Brae townhomes units are expected to continue this trend. With the proposed purchase prices to be on average at \$600,000, owners at Bonnie Brae Place will have very high incomes and/or significant wealth. If Bonnie Brae townhomes buyers are financing their purchases through conventional lending sources, households will need an income of about \$150,000. This analysis assumes the use of a 30 year jumbo mortgage with a down payment of 20% and an interest rate of 4.25%.

Historically there has been a strong inverse relationship between income and fertility; householders of childbearing years that earn greater income have fewer children. Recent sales projects by the developer demonstrate this relationship. The table below shows that there were very few school age children among the households purchasing the 32 townhome units priced from \$575,000 to \$725,000.

Recent Sale History for 3-bedroom Townhomes by Art Gurevich and Marko Boldun, Developers

Address	Number of Units	Price	# Sold to Seniors	# of School School Age Children
2823 Oakley, Chicago	15	625,000	2	0
101 – 115 Home Ave, Oak Park	17	625,000	2	3

Due to the fact that this project will require a high income buyer, the multiplier is reduced by 10%.

Adjustments Due to Older Buyers

Householders in their 50's and early 60-s have greater earning power and greater wealth than younger residents. This is confirmed by the demographic data provided on the Economic Development page of the River Forest website <https://vrf.us/sitemedia/pdf/EconomicDevelopmentecondev-age-income>). During the five year period 2010-15, more than 50% of the growth in households earning more than \$150,000 in River Forest, was attributable to the cohort of age 55 and older.

It is expected that a significant share of the Bonnie Brae Place townhomes owners will be empty nesters seeking to downsize or grandparents looking to be close to their children and grandchildren living in the area. With a greater percentage of purchases being made by empty nesters than typical condominiums, the multiplier is reduced by 30%.

Private School Attendance:

Currently 6% of elementary school children in River Forest attend private schools and 14% attend private high schools. To estimate impact to the school district, this distribution is considered.

Other Observations:

The Ehlers 2016 enrollment projection shows an enrollment drop in the Mann school district. The Mann school district, just across Harlem Avenue from River Forest, is the Oak Park neighborhood most similar to River Forest in terms of income level, housing, and quality of elementary school.

Final Projection: # of Children Attending Public Schools

The most school age children expected to live in the 19 luxury townhouse units comprising Bonnie Brae Place is 1.95. Of these, only 1.84 are expected to attend public schools. The table below summarizes the methodology.

Projection: K-8	Adjustment	Multiplier	Children
Baseline: 19@3BR Townhouse	0	0.136	2.58
Higher income resident	-10%		
Empty nester resident	-30%		
K-8 Students		0.082	1.558
Projection: High School	Adjustment	Multiplier	Children
Baseline: 19@3BR Townhouse	0	0.038	0.722
Higher income resident	-10%		
Empty nester resident	-30%		
K-8 Students		0.023	0.437
Total School Age Children:			1.995
Total School Age Children attending public schools:			
K-8	94%		1.465
High School	86%		<u>0.376</u>
			1.841

It should further be noted that the proposed townhomes development is a re-development of the existing property that currently has a 6 unit apartment building. In that building there are currently **2 children attending elementary school and 2 children attending high school**. This has been a trend for many years.

Taking this into account, the proposed townhomes development will have an impact of net reduction of school age children in public schools by 2.16. For D90, a reduction of 0.535 and for D200, a reduction of 1.624.

Cost of Education

District 90 is responsible for the elementary education in River Forest and District 200 is responsible for high school education and serves Oak Park as well as River Forest residents. While the per pupil cost of educating students born by local sources is significant, \$15,360 for D90 and \$18,838 for D200, the incremental cost for educating the projected increase of 1.84

students arising from the development of Bonnie Brae Place is minimal because most costs are fixed, including the largest expenditures of salaries, benefits, and building operations. Furthermore, the student population is not static; there are annual shifts in the student enrollment in the River Forest public schools. However, due to the re-development nature of the proposed project, the schools will see a reduction in contributed students of 2.16. This will result in somewhat reduced expenses.

On the other hand, the increased tax base will result in a significant increase in the revenue collected by each of the school districts. For River Forest residents, 40.3% of their real estate taxes are allocated to the elementary school and 27.5% of real estate taxes are allocated to the high school. Each new townhouse unit is expected to be assessed for school contributions totaling \$10,813 based on the projected average price per unit of \$600,000. With the projected reduction of 2.16 children residing at Bonnie Brae Place townhomes, the construction of this townhomes development, is a significant financial gain for the school districts.

D90 Costs

As of 2015 local revenue sources provided \$20,228,846 to D90, which is 90.9% of the total budget. In the last 10 years local contributions have ranged from 85.5% in 2006 to 91.5% in 2013. Enrollment in 2015 totaled 1,317 students, down 22 students from 1,339 in 2014 and down 19 students from 1,336 in 2013 but up by 5 students from 2012.

Currently the burden to local sources at D90 is \$15,360 per enrolled student. However, most of those costs are fixed and do not vary with any additional students.

If the decrease in cost to local sources of losing a D90 student is 20%, then the annual cost reduction will be \$1,980 for the 0.535 students reduction resulting from construction of Bonnie Brae Place townhomes.

D200 Costs

According to the 2016 budget presented at the 3rd Annual IGOV Assembly in 2015, local property taxes provide 79.9% of the high school budget and other local sources provide 10.5% of the budget. With a per pupil cost of \$20,838, total local contributions are \$18,875.55 per student.

If the decrease in cost to local sources of losing a D200 student is 20%, then the annual cost reduction will be \$7,360 for the 1.624 students reduction resulting from construction of Bonnie Brae Place townhomes.

In addition to the cost reduction resulting from the decrease in students contributed by the proposed development, District 90 will see its revenue increased by \$110,728 and D200, by \$79,444.

Conclusion

The proposed Bonnie Brae Place townhomes development will result in a reduction of public school attending students by 2.16. In addition to savings due to the attending students reduction, the school districts will have a revenue increase of \$110,728 for D90 and \$79,444 for D200.

Fiscal Impact on Taxing Bodies

Table below summarizes fiscal impact on River Forest taxing bodies by providing a property tax projection.

Taxing Agency	Percentage of Tax Bill	2018 Property Tax 1111 Bonnie Braae Pl.	2018 Property Tax 1101-1107 Bonnie Brae Pl.	Projected Property Tax * Upon Project Completion 1101- 1111 Bonnie Brae Pl.	TOTAL PROJECTED ANNUAL REVENUE INCREASE
School District 90	40%	\$6,515.53	\$2,376.09	\$119,619.76	\$110,728.13
School District 200	29%	\$4,674.68	\$1,704.77	\$85,823.18	\$79,443.74
Village of River Forest	11%	\$1,773.15	\$646.64	\$32,553.62	\$30,133.83
Cook County	5%	\$805.98	\$293.93	\$14,797.10	\$13,697.20
Park District	3%	\$483.59	\$176.36	\$8,878.26	\$8,218.32
Water Reclamation	4%	\$644.78	\$176.36	\$11,837.68	\$11,016.54
Public Library	2%	\$322.39	\$117.57	\$5,918.84	\$5,478.88
Township	1%	\$161.20	\$58.79	\$2,959.42	\$2,739.44
All Other Taxing Bodies	4%	\$644.78	\$235.14	\$11,837.68	\$10,957.76
Total	100%	\$16,119.58	\$5,878.50	\$295,942.00	\$273,943.92

* Assumes market value of \$11,400,000, tax rate of 10.096,
Equalization Factor of 2.9109
Source: Cook County Assessor

Calculations take into account \$7,000 Homeowner Exemption for ALL units

FINANCIAL CAPABILITY

The principals of Bonnie Brae Construction, LLC have, at any given time more than \$20,000,000 worth of projects under construction. All of the projects have owner equity and bank financing.

The development cost for the proposed project is estimated at \$9,000,000. Construction financing will be provided by Wintrust Bank. The Owners are capable of funding the Owner's equity component of the development cost.

The Wintrust Bank financing interest letter is attached dated January 17, 2020.

WINTRUST

COMMERCIAL REAL ESTATE

9700 W. Higgins Rd., 7th Floor, Rosemont, IL 60018
Zornitsa Titova
Vice President- Commercial Real Estate

Proposal Letter

January 17, 2020

Mr. Arthur Gurevich
Mr. Marko Boldun
3528 Walnut Avenue
Wilmette, IL 60091

RE: Financing for Phase I of a 19-unit townhome development know as Bonnie Brae Townhomes
Located at 1101-1107 Bonnie Brae Place, in Chicago, IL

Gentleman:

Thank you for your consideration regarding my proposal on the above referenced property. I am pleased to provide you, on behalf of Schaumburg Bank & Trust Company, N.A. (a Wintrust Financial Corporation bank), with a proposal of the terms and conditions under which we may provide construction financing for Phase I 19-unit townhome development located at 1101-1107 Bonnie Brae Place, in Chicago, IL. This proposal does not constitute a commitment of the Bank, as the terms are subject to review and approval of our Credit Department. Should we come to a final agreement and approval, a firm commitment letter will be issued to you. The proposed terms and conditions of the loan are as follows:

CONSTRUCTION LOAN:

- Borrower:** Bonnie Brae Construction, LLC or LLC to be determined.
- Guarantors:** A Joint & Several unlimited Guaranty to be provided by Messrs. Arthur Gurevich and Marko Boldun.
- Loan Amount:** The lender shall provide approximately \$3,800,000 in available funds. The loan amount shall not exceed 69% of the total cost or 75% of the "As Complete" Appraised Value.
- Pre-sales:** None will be required.
- Amortization:** Interest only.
- Loan Term:** 18 months with a 6-month extension option, provided no defaults exist under the loan agreement.
- Interest Rate:** 30-day LIBOR + 275 basis points, floating for the term of the loan. Currently the effective rate as of 10/08/2019 is 4.69%.
- Collateral:** The credit facility will be secured by a 1st Mortgage and Assignment of Rents & Leases as it relates to the Collateral property located at 1101-1107 Bonnie Brae Place, in Chicago, IL.

Sources & Uses:

PROJECT CAPITALIZATION / BUDGET SUMMARY / SOURCES & USES									
SOURCES				USES					
				Land SF: 0 Building SF: 15,600					
DESCRIPTION	\$	\$ PSF	%	DESCRIPTION	TOTAL \$	\$ FUNDED VIA EQUITY	\$ FUNDED VIA DEBT	\$ PSF	% of TOTAL
Debt Structure	\$3,800,000	243.58974	65%	Land and Acquisition Costs	\$2,050,000	\$2,050,000	\$0	N/DIV/01	35%
Equity Structure	\$2,058,460	\$132	35%	Construction Costs	\$3,282,900	\$0	\$3,282,900	\$210	56%
Other Sources	\$0	\$0	0%	Tenant Improvements	\$0	\$0	\$0	\$0	0%
TOTAL SOURCES	\$5,858,460	\$376	100%	Leasing Commissions	\$0	\$0	\$0	\$0	0%
				FF&E Costs	\$0	\$0	\$0	\$0	0%
				Other Hard Costs	\$0	\$0	\$0	\$0	0%
				Hard Cost Contingency	\$0	\$0	\$0	\$0	0%
				Total Hard Costs	\$3,282,900	\$0	\$3,282,900	\$210	56%
				Development Management Fee	\$0	\$0	\$0	\$0	0%
				Real Estate Taxes	\$10,000	\$0	\$10,000	\$1	0%
				Other Soft Costs - permits, closing	\$255,000	\$8,400	\$246,600	\$16	4%
				Architectural/Engineering	\$123,500	\$0	\$123,500	\$8	2%
				Interest Reserve	\$130,000	\$0	\$130,000	\$8	2%
				Operating Reserve	\$7,000	\$0	\$7,000	\$0	0%
				Total Soft Costs	\$525,500	\$8,400	\$517,100	\$34	9%
				TOTAL USES	\$5,858,400	\$2,058,400	\$3,800,000	\$376	100%

*Borrower Equity goes in first.

Prepayment Penalty:

None while floating.

Fees/Closing: \$28,500 (0.75%) origination fee. In addition, should the Borrower request to exercise the 6 month loan extension option, a fee of 1/4% will be assessed in conjunction with the extension. The availability of the extension is subject to confirmation that no defaults exist under the loan agreement.

Expenses: Borrower will be responsible for outside third party reports, as deemed necessary by the bank in its sole discretion, including but not limited to: appraisal, environmental, title insurance, loan documentation, flood search, 3rd party inspection fees, and such due diligence considered typical for this type of transaction.

Sources of Repayment:

Upon a sale of a condominium unit, the Bank shall receive repayment equal to the greater of 94% of Gross Sales Proceeds or 100% of the Net Sales Proceeds.

Reserves: Real Estate Tax Escrow: will be required for the term of the loan.

Proceeds: Loan proceeds will be used to finance Phase I of Bonnie Brae townhomes, which will consist of site development of the 19 townhomes plus the vertical construction of 6 of the 19 townhome to be located at with a 6-month extension option, provided no defaults exist under the loan agreement.

Deposits: All deposit accounts associated with the property, including earnest money, reserve accounts to be established and maintained with the Bank throughout the term of the loan.

Appraisal/ Environmental:

Prior to the Bank's binding loan approval, the Bank will require a current FIRREA appraisal of the collateral. The appraisal shall indicate a value no less than \$5,067,000 on an "As-Complete Market" appraised value. If the appraisal reflects a value less than this, the loan amount shall be reduced proportionately.

Furthermore, the Bank will require the satisfactory review of a Phase I for subject property.

Additional Requirements:

- **A Checking Account** shall be opened and maintained by Borrower for subject collateral and maintained with Schaumburg Bank & Trust Company, N.A. ("Operating Account") throughout the term of the loan.
- **Ongoing Reporting Requirements** for all Borrowers/Guarantors to include:
 - Guarantors: Personal Financial Statement and Tax Return - Annually.
 - Borrower: Tax Return – annually within 120 days of filing.
- A tax escrow must be established and maintained at the Bank for the term of the loan.
- Receipt and satisfactory review of all
- All construction draws to be processed via a construction escrow at a title company.
- Additional covenants or conditions may be required once Bank has a greater chance to review plans, budget, ownership structure, and guarantor financial statements.
- **Cost/ Documentation Review and Construction Monitoring:** Prior to closing of the proposed credit facility the bank will require that a bank approved inspecting architect reviews and approves the construction documentation and associated construction budget. Further, the inspecting architect will monitor and review all construction draws before disbursement by the Bank.
- **Covenant Related to Construction Completion:** Confirmation of lien free construction completion and receipt of a final certificate of occupancy shall be received by the bank within 18 months of loan opening.
- **Liquidity Covenant-** Guarantors will maintain a min of \$500,000 in combined liquidity during the term of the loan.
- Borrower to supply the bank with sales contracts or sales traffic reports at bank's request.
- **Closing:** TBD.

Expiration Date:

The terms presented in this discussion purposes term sheet shall be null and void unless the undersigned has received a copy of the accepted term sheet no later than 01/24/2020 at 12 pm CST.

Please note that this letter constitutes the potential terms at which the Bank is willing to provide financing for your project and is not a legally binding commitment by the bank or any of its affiliates to provide the contemplated financing. This discussion purposes proposal letter is subject to full bank credit approval as well as satisfactory completion of the Bank's due diligence, in its sole discretion.

Gentlemen,

I look forward to an opportunity to work with you on this new project! It looks like a great addition to your portfolio. This letter constitutes a proposal and not a legally binding commitment. The proposal is contingent on the satisfactory completion of the Bank's due diligence.

Sincerely,



Zornitsa Titova
Vice President- CRE
(847) 364-2849

ACCEPTED BY BORROWER:

By: _____

DATE: _____

By: _____

DATE: _____

PROPERTY VALUES

The proposed development will significantly increase the value of the 1101-1111 Bonnie Brae Place by replacing an open space parking lot and a 6 unit apartment building with new 19 townhome units of high quality and with desirable features and amenities.

The Developer consulted with local development experts – a prominent realtors and one Architect/Developer. Their opinion letters are attached.

ECONOMIC VIABILITY

The Developer consulted with Avenue One, Compass Real Estate a very experienced and reputable local real estate and development professionals who analyzed the current market conditions and the desirability of the proposed development.

In their opinion, the proposed development is desirable for the market and is feasible, based on the proposed development cost and the expected pricing. Additionally, it will have a positive impact on the surrounding property values.

Avenue One opinion letter for the market analysis is attached.

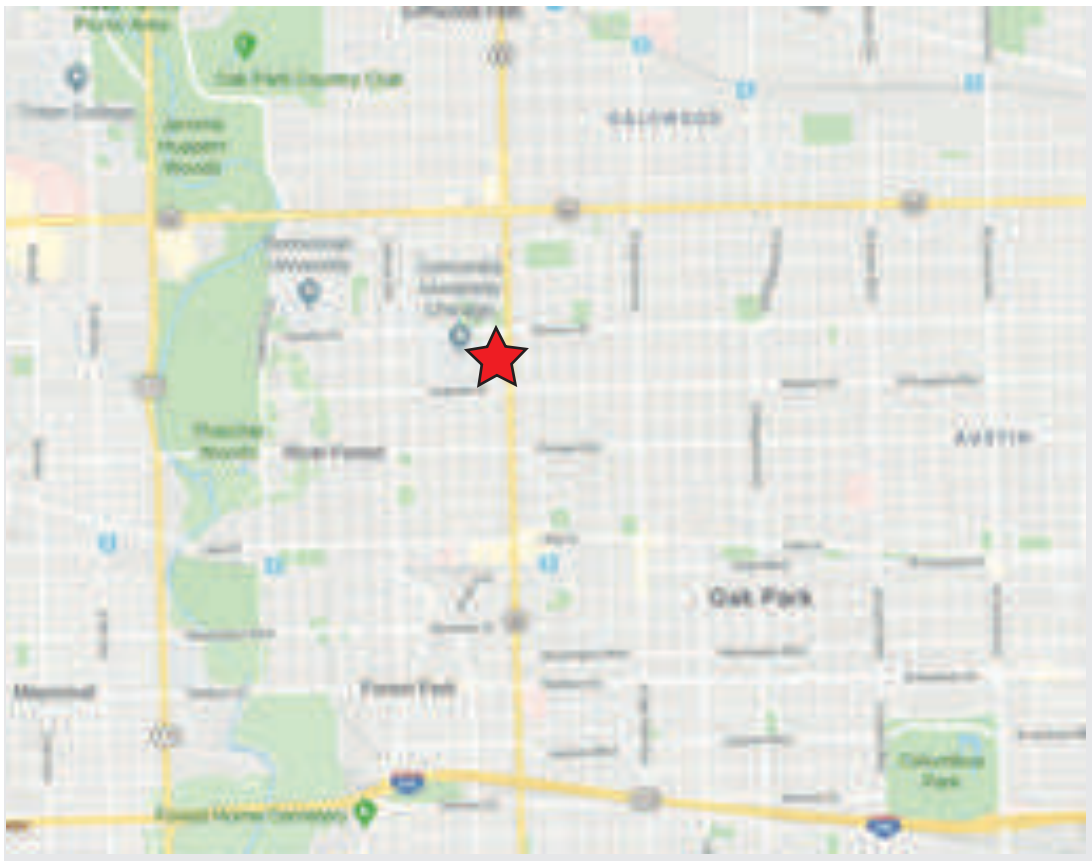
AvenueOne

Marketing and Sales

***Residential Market Analysis
1101 Bonnie Brae
River Forest Illinois 60305
December 2019***

At the request of ***Bonnie Brae Construction, LLC***, AvenueOne evaluated the market conditions for development in River Forest Illinois. This analysis addresses the current market conditions & pricing for 19 townhomes located at 1101 Bonnie Brae, River Forest Illinois 60305.

DEVELOPMENT



Subject Property

1101 Bonnie Brae
River Forest

1101 Bonnie Brae - River Forest



Subject

The Subject property consists of an approximate 27,690 ft² redevelopment parcel located on the corner of Thomas and Bonnie Brae near Harlem Av in River Forest.

The Lot is currently occupied by a parking lot and a multi unit building. A public alleyway aligns to the east of the property. Access for unit garages will be provided along this alleyway as well as through a new on site driveway to the west.

Area

The surrounding area is mostly multi family dwellings with few single family homes. Directly to the east is the Concordia University and to the north the Dominican

priory.

The areas is served by 3 thriving commercial districts; Lake St to the south, Harlem to the east and Chicago ave to the South.

The area is Prime with excellent shopping, transportation and entertainment options very nearby.

The property is served by the CTA green line as well as Metra stop both within short walking distance from the site.

Proposed Development

Description

As conceptualized by John Conrad Schiess Architect & Bonnie Brae Construction LLC. The proposed building will consist of 19 townhomes set in 3 North South rows. The plan provides for attached parking garages at a 2.0 space per residential unit ratio.

Utilizing energy efficient construction technologies, the development will compliment its River Forest surroundings with its elegant modern facade. Each Townhome will feature a balcony plus a private roof deck.

1101 Bonnie Brae townhomes will consist of all 3 bedroom 3.5 bath designs of 2,369 ft ²

<i>UNIT</i>	<i>BEDS/BATHS</i>	<i>FT ²</i>
1 - 19	3/3.5	2,369

Residential Market Analysis

1101 Bonnie Brae
River Forest Illinois

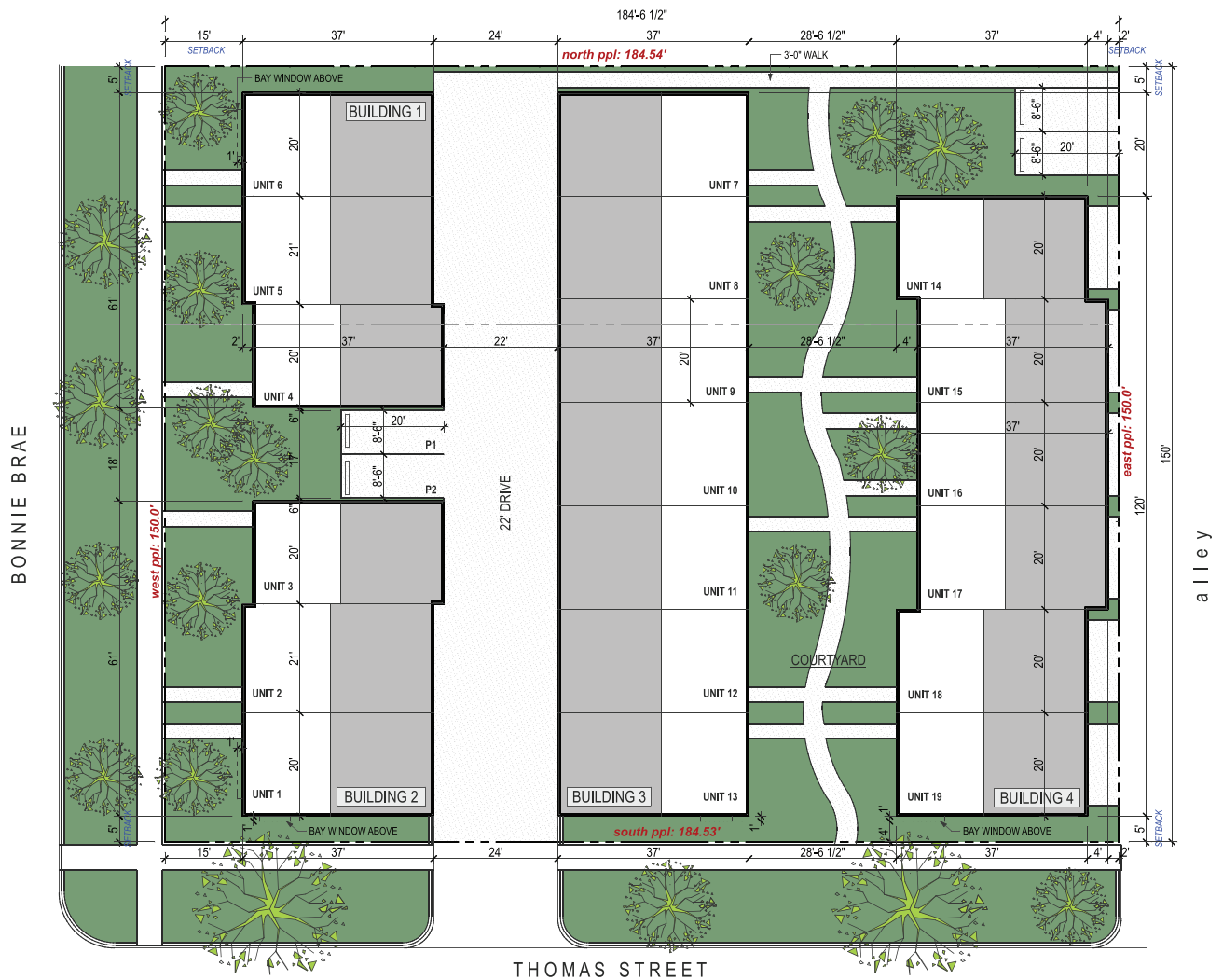
ELEVATIONS



Residential Market Analysis

1101 Bonnie Brae
River Forest Illinois

SITE PLAN



Residential Market Analysis

1101 Bonnie Brae
River Forest Illinois



7771 Van Buren - NOAH Properties

17 Townhomes

3 Bedrooms

3.1 Baths

2 Car Garage

Price Per ft²
226

Price Range
\$430,000 - \$500,000

Closed
5.2018 - 4.2019



233 Desplaines - Gordon Jones

4 Townhomes

3 Bedrooms

2.1 Baths

2 Car Garage

Price Per ft²
227

Price Range
\$500,000

Closed
2.2019 - 4.2019



147 Euclid - District House - Ranquist

28 Condos

3 Bedrooms

2.1 Baths

2 Car Garage

Price Per ft²
385

Price Range
\$430,000 - \$500,000

Closed
Launch 2016 - 22 mos to CLSD

Residential Market Analysis

1101 Bonnie Brae
River Forest Illinois



1133 Chicago Maple Place - altierra

11 Condos

3 Bedrooms

2.1 Baths

2 Car Garage

Price Per ft²
362

Price Range

\$719,000 - \$813,000

Closed

24 mos 5 units preconstruction/6 on site



202-08 Harrison - Ranquist

4 Townhomes

3 Bedrooms

2.1 Baths

2 Car Garage

Price Per ft²
274

Price Range

\$514,000

Closed

4.2019 sold preconstruction



331 Burkhardt - Bright Green Homes

3 Townhomes

3 Bedrooms

3.1 Baths

2 Car Garage

Price Per ft²
317

Price Range

\$540,000 - \$550,000

Closed

ACTV

Residential Market Analysis

1101 Bonnie Brae
River Forest Illinois



7601 Lake - RF

30 condos
2 & 3 Bedrooms
2 & 3 Baths
1 Car Garage

Price Per ft²
446

Price Range
\$600,000 - \$1.2m

Closed
ACTV



35 - 46 Forest - Promenade

29 Townhomes
3 Bedrooms
3.1 Baths
2 Car Garage

Price Per ft²
198

Price Range
\$479,000 - \$549,000

Closed
2017 Launch - 12 CLSD/ 17 ACTV



930 - 948 Madison - Lexington Reserve

21 Townhomes
3 Bedrooms
2.2 Baths
2 Car Garage

Price Per ft²
216

Price Range
\$464,000 - \$544,000

Closed
3 CLSD - 20 mo market

**PRICING COMPARISON
AREA RESIDENTIAL DEVELOPMENTS**

ADDRESS	CLSD DATE	FT ²	PRICE	PPFT ²
7771 Van Buren				
10298221	3/11/19	2200	479,000	217
10143855	2/6/19	2200	499,000	226
233 Desplaines				
10012886	4/1/19	2200	500,000	227
147 Euclid				
1047540ACTV	12/3/19	1883	726,000	385
0943630	6/12/18	1718	725,000	422
1133 Chicago				
09912744	8/30/18	1983	719,000	362
202 - 208 Harrison				
09688655	12/13/18	2000	549,000	274
331 Burkhardt				
10468094	ACTV	1700	540,000	317
7601 Lake				
10352050	ACTV	1627	800,000	491
10351442	ACTV	2240	1,000,000	446
35 Forest - The Promenade				
10565250	ACTV	2612	519,000	198
942-56 Madison				
10529200	ACTV	2507	544,000	216

AMENITIES

Building Amenities

Premium Exterior Masonry & Limestone Materials
Special Attention to Exterior Lighting & Security Features.
Living level balconies
Roof deck

Home Features

Open, generous floor plans
Additional sound proofing insulation in floor
3 1/4" Oak Hardwood Flooring throughout,
Operable Floor to Ceiling Windows
1 Garage space
Gas ventless fireplace
Large Terraces

Kitchen

Professional Line Stainless Steel Appliances
42" Custom Wood Cabinets

Master Suite

Generous Walk-In Closet
Dual Vanity
Natural Wood Vanity with Quartz or Natural Stone Top
Kohler Commode
Designer Faucets
Electric Heated Floors
Separate Deep Soaking Whirlpool Tub with faucet and extra hand held sprayer
Spacious Stand Up Shower with Hand Wand & Multiple Body Sprays & Rain Head
Porcelain Flooring, Tub & Shower Surrounds
Choice of tile from builder's selection
Large Custom mirror above Vanity

2nd Bath

Porcelain Tile floor and tub surround

¾" Quartz or Natural Stone Top

White Porcelain Under-mount Sink

Powder Room

White porcelain pedestal sink

Kohler toilet

Hardwood Flooring

AMENITIES

Mechanicals

Whirlpool Front load Washer & Dryer

High efficiency Gas Forced Heating/Air Conditioning System

Central Humidifier

Pre-Wired for Telephone and Cable in Multiple Sites

Pre-wired for Sound in Master Bed and Bath, Living Room, terrace

Sprinkler system

Soundproofing/Insulation

Floor Joists with Fiberglass Blown In Insulation with R-38 Value

Resilient metal isolation channels

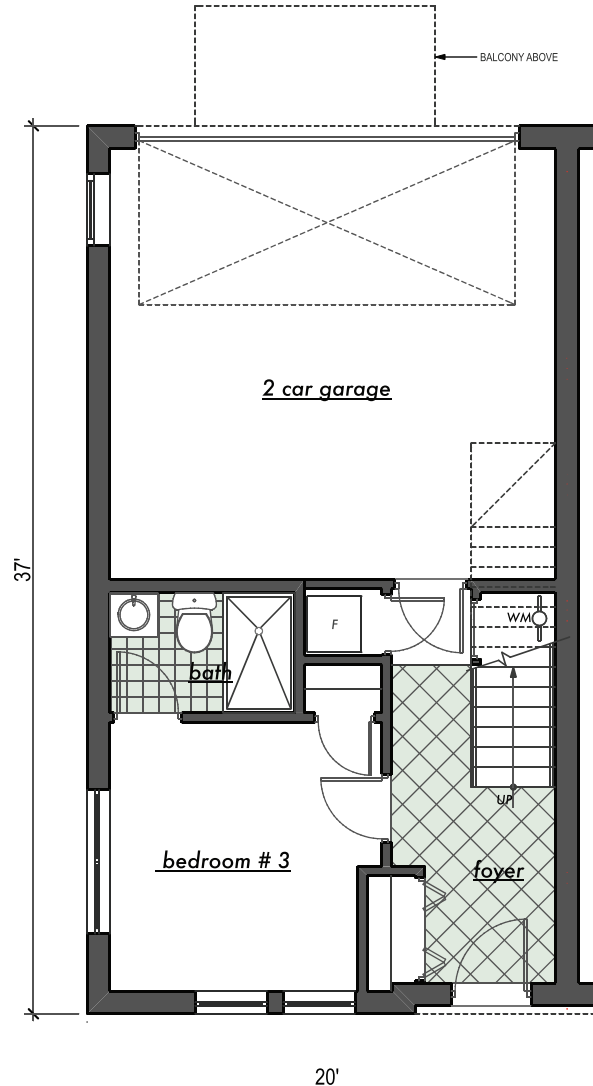
5/8" Firecode Drywall

Level 1

3 Bed/3.5 Bath

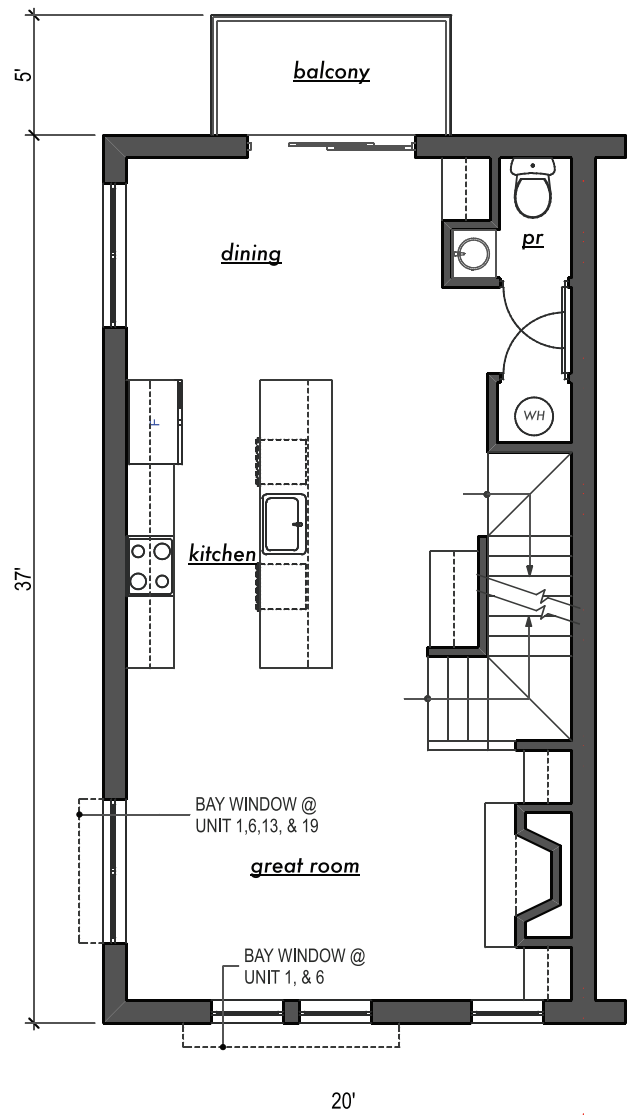
2,369 sqft + balcony + roof deck

2 car garage



Dimensions are approximate.
Plans and all specifications are subject to revisions deemed advisable by builder or architect or required by law.

Level 2
3 Bed/3.5 Bath
2,369 sqft + balcony + roof deck

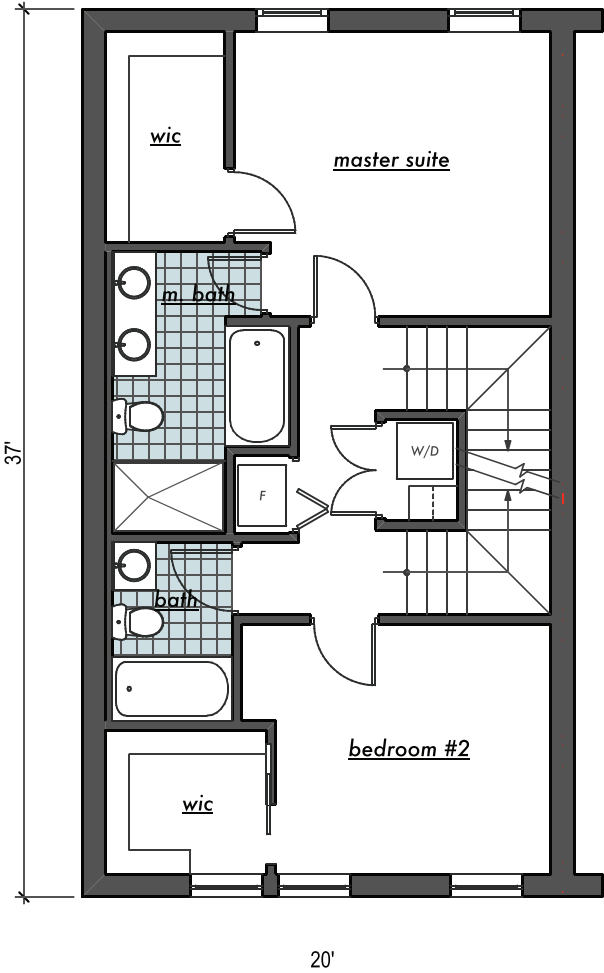


Dimensions are approximate.
Plans and all specifications are subject to revisions deemed advisable by builder or architect or required by law.

Level 3

3 Bed/3.5 Bath

2,369 sqft + balcony + roof deck

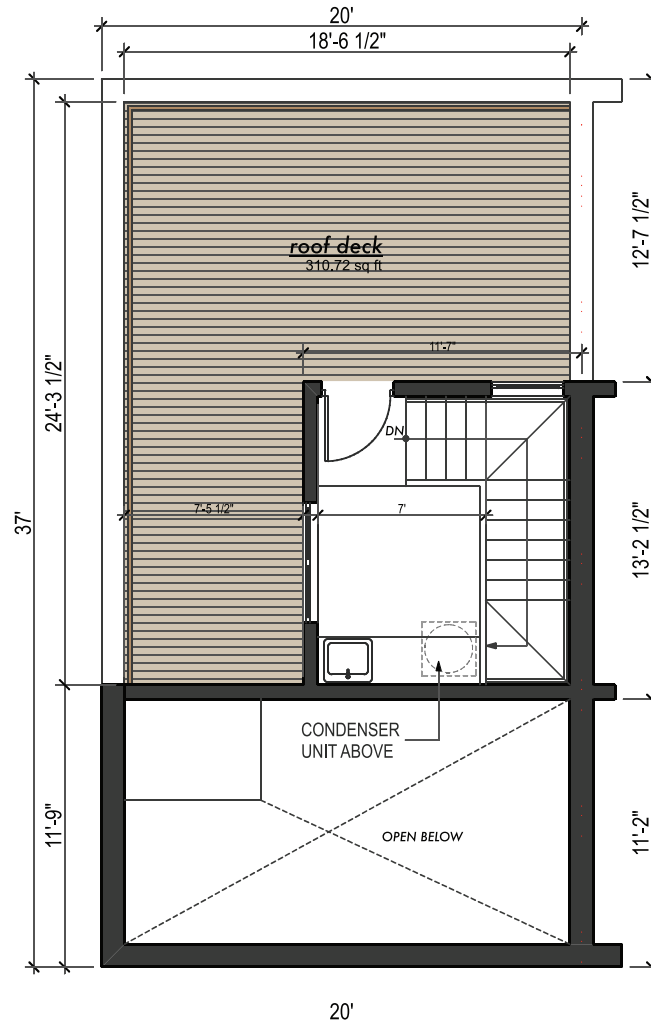


Dimensions are approximate.
Plans and all specifications are subject to revisions deemed advisable by builder or architect or required by law.

Level 4

3 Bed/3.5 Bath

2,369 sqft + balcony + roof deck



PRICING MATRIX

1101 Bonnie Brae
Townhomes

UNIT	EXPOSURE	BEDS/BATHS	FT ²	PPFT ²
1	S,E,W	3/3.5	2,369	260 - 265
2	E,W	3/3.5	2,369	250 - 255
3	N,E,W	3/3.5	2,369	260 - 265
4	S,E,W	3/3.5	2,369	260 - 265
5	E,W	3/3.5	2,369	250 - 255
6	N,E,W	3/3.5	2,369	260 - 265
7	N,E,W	3/3.5	2,369	260 - 265
8	E,W	3/3.5	2,369	250 - 255
9	E,W	3/3.5	2,369	250 - 255
10	E,W	3/3.5	2,369	250 - 255
11	E,W	3/3.5	2,369	250 - 255
12	E,W	3/3.5	2,369	250 - 255
13	S,E,W	3/3.5	2,369	260 - 265
14	N,E,W	3/3.5	2,369	260 - 265
15	E,W	3/3.5	2,369	250 - 255
16	E,W	3/3.5	2,369	250 - 255
17	E,W	3/3.5	2,369	250 - 255
18	E,W	3/3.5	2,369	250 - 255
19	S,E,W	3/3.5	2,369	260 - 265

Absorption Forecast

<i>Months 1-12 preconstruction</i>	4 - 6 units
<i>Months 12-18 on site Model</i>	12-15 units
<i>Months to stabilization - 18mo</i>	

This information has been secured from sources we believe to be reliable, but we make no representations or warranties, expressed or implied, as to the accuracy of the information. References to square footage or age are approximate. Buyer must verify the information and bears all risk. Any projections, opinions, assumptions or estimates used herein are for example purposes only and do not represent the current or future performances of the property.

GEOGRAPHIC ORIENTATION NEWER RESIDENTIAL DEVELOPMENTS

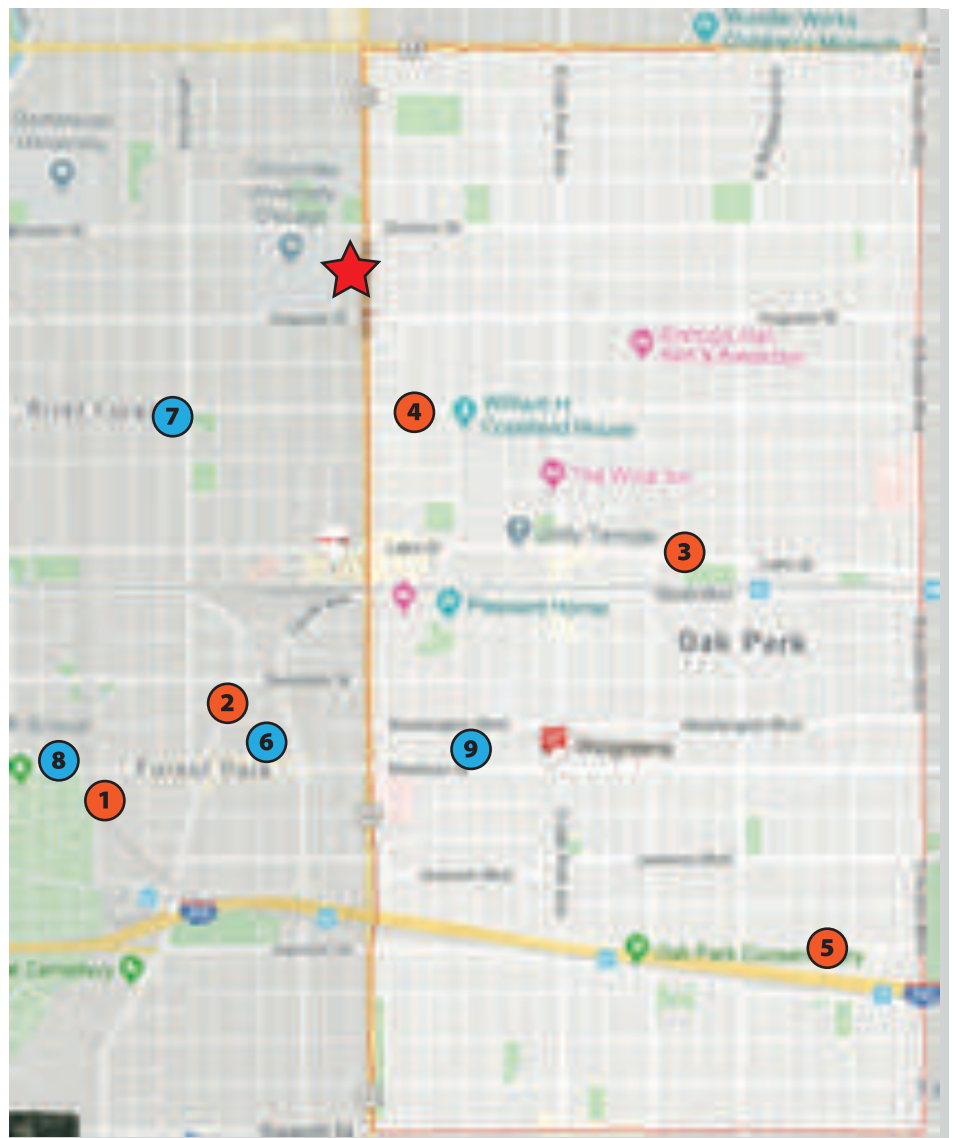
Previous 18 Months

- 1 7771 Van Buren
- 2 233 Desplaines
- 3 147 Euclid
- 4 1133 Chicago
- 5 202 - 208 Harrison

Current

- 6 331 Burkhardt
- 7 7601 Lake
- 8 35 Forest - The Promenade
- 9 942-56 Madison

★ 1101 Bonnie Brae TH





Attached Single
Status: **CLSD**
Area: **130**

MLS #: **10298221**
List Date: **03/05/2019**
List Dt Rec: **03/05/2019**

List Price: **\$499,900**
Orig List Price: **\$499,900**
Sold Price: **\$479,900**
SP Incl: **Yes**
Parking: **Yes**

Address: **7771 Van Buren St Unit 10, Forest Park, IL 60130**
Directions: **Des Plaines to Madison Ave, west to Van Buren, south to property**

Closed: **05/21/2019**
Off Mkt: **03/11/2019**
Year Built: **2018**
Dimensions: **25X41**

Contract: **03/11/2019**
Financing: **Conventional**
Blt Before 78: **No**

Lst. Mkt. Time: **7**
Concessions:
Contingency:
Curr. Leased:

Ownership: **Fee Simple w/ HO Assn.**

Subdivision:

Model:

Corp Limits: **Forest Park**

Township: **Proviso**

County: **Cook**

Coordinates:

Fireplaces:

Rooms: **7**

Bathrooms (Full/Half): **3/1**

Parking: **Garage**

Bedrooms: **3**

Master Bath: **Full**

Spaces: **Gar:2**

Basement: **None**

Bsmnt. Bath: **No**

Parking Incl. **Yes**

Waterfront: **No**

Appx SF: **0**

In Price: **Not Reported**

Total Units: **1**

Bldg. Assess. SF:

SF Source:

Stories: **3**

Unit Floor Lvl.: **1**

Days for Bd Apprvl: **0**

% Own. Occ.:

% Cmn. Own.:

Fees/Approvals:

Mobility Score: **60 - Fair Mobility!**

Remarks: **ONLY 4 LEFT!! AMAZING PARKVIEW ESTATES,17 LUXURIOUS, NEW CONSTRUCTION,FEE SIMPLE TOWNHOMES BUILT BY THE AWARD WINNING NOAH PROPERTIES & DESIGNED BY AXIOS ARCHITECTS WITH SPECTACULAR FINISHES BY LISEK INTERIORS.GREAT SIZE 3 STORY HOMES WITH SPACIOUS 3 BEDS, 3.1 BATHS, SPRT LIVING ,FAMILY & DINING ROOM ,HUGE BALCONY AND OVERSIZED GARAGE.TOP OF THE LINE FINISHES THROUGHOUT INCL GORGEOUS,CUSTOM KITCHEN W/ISLAND,SS APPLIANCE PACKAGE,QUARTZ COUNTERS,DESIGNER TIELS AND LIGHTS, FIREPLACE,LUXURIOUS MASTER SUITE WITH BIG WALK IN CLOSET AND SPA-LIKE BATH W/ DOUBLE VANITY,SEPARATE SHOWER AND TUB.CONVENIENTLY LOCATED TO BLUE LINE ,EXPRESS WAY,PARKS AND MADISON STREET WITH ALL RESTAURANTS,CAFES & SHOPS.APROX LOT SIZE SUBJECT TO FINAL SURVEY.TRULY AMAZING HOMES,BIGGER THAN MOST SINGLE FAMILY!!HIGH END/UPGRADED FINISHES ARE INCLUDED IN THE PRICE. ONLY 4 UNITS LEFT HURRY!!UNIT IS COMPLETED!**

School Data

Elementary: **(91)**

Junior High: **(91)**

High School: **(91)**

Assessments

Amount: **\$100**

Frequency: **Monthly**

Special Assessments: **No**

Special Service Area: **No**

Master Association: **No**

Tax

Amount: **NEW**

PIN: **15131090330000 /**

Mult PINs: **2016**

Tax Year:

Tax Exmps:

Coop Tax Deduction:

Tax Deduction Year:

Pet Information

Pets Allowed: **Cats OK, Dogs OK**

Max Pet Weight: **100**

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	19X16	Main Level	Hardwood		Master Bedroom	16X16	3rd Level		
Dining Room	16X16	2nd Level	Hardwood		2nd Bedroom	12X11	3rd Level		
Kitchen	16X08	2nd Level	Hardwood		3rd Bedroom	12X11	3rd Level		
Family Room	24X16	2nd Level			4th Bedroom		Not Applicable		
Laundry Room	07X05	3rd Level			Balcony	X04	2nd Level	Other	

Interior Property Features:

Exterior Property Features:

Age: **NEW Under Construction**

Type: **Townhouse 3+ Stories**

Exposure:

Exterior: **Brick**

Air Cond: **Central Air**

Heating: **Gas**

Kitchen: **Island**

Appliances: **Oven/Range, Microwave, Dishwasher, Refrigerator, Washer, Dryer**

Dining: **Separate**

Bath Amn:

Fireplace Details:

Fireplace Location:

Electricity:

Equipment:

Additional Rooms: **Balcony**

Other Structures:

Laundry Features:

Garage Ownership: **Owned**

Garage On Site: **Yes**

Garage Type: **Attached**

Garage Details:

Parking Ownership:

Parking On Site:

Parking Details:

Parking Fee (High/Low):

/

Driveway:

Basement Details: **None**

Foundation:

Exst Bas/Fnd:

Roof:

Disability Access: **No**

Disability Details:

Lot Desc:

Sewer: **Sewer-Public**

Water: **Lake Michigan, Public**

Const Opts:

General Info: **None**

Amenities:

Asmt Incl: **Lawn Care, Snow Removal**

HERS Index Score:

Green Disc:

Green Rating Source:

Green Feats:

Sale Terms:

Possession: **Closing**

Est Occp Date: **10/01/2018**

Management:

Rural:

Addl. Sales Info.: **Home Warranty**

Broker Owned/Interest: **No**

Relist:

Zero Lot Line:

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NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.

MLS #: 10298221

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM







MLS#: 10298221 Attached Single 7771 Van Buren ST Unit #: 10 Forest Park IL 60130



Copyright 2019 - MRED LLC

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM



Attached Single
Status: **CLSD**
Area: **130**

MLS #: **10143855**
List Date: **11/26/2018**
List Dt Rec: **11/26/2018**

List Price: **\$499,900**
Orig List Price: **\$499,900**
Sold Price: **\$499,900**
SP Incl: **Yes**
Parking: **Yes**

Address: **7771 Van Buren St Unit 11, Forest Park, IL 60130**
Directions: **Des Plaines to Madison Ave, west to Van Buren, south to property**

Closed: **03/11/2019**
Off Mkt: **02/06/2019**
Year Built: **2018**
Dimensions: **25X41**

Contract: **02/06/2019**
Financing: **Conventional**
Blt Before 78: **No**

Lst. Mkt. Time: **73**
Concessions:
Contingency:
Curr. Leased:

Ownership: **Fee Simple w/ HO Assn.**

Subdivision:

Model:

Corp Limits: **Forest Park**

Township: **Proviso**

County: **Cook**

Coordinates:

Fireplaces:

Rooms: **7**

Bathrooms (Full/Half): **3/1**

Parking: **Garage**

Bedrooms: **3**

Master Bath: **Full**

Spaces: **Gar:2**

Basement: **None**

Bsmnt. Bath: **No**

Parking Incl. **Yes**

Waterfront: **No**

Appx SF: **0**

In Price: **Not Reported**

Total Units: **1**

Bldg. Assess. SF:

SF Source:

Stories: **3**

Unit Floor Lvl.: **1**

Days for Bd Apprvl: **0**

% Own. Occ.:

% Cmn. Own.:

Fees/Approvals:

Mobility Score: **44 - Fair Mobility!**

Remarks: **AMAZING PARKVIEW ESTATES,17 LUXURIOUS, NEW CONSTRUCTION,FEE SIMPLE TOWNHOMES BUILT BY THE AWARD WINNING NOAH PROPERTIES & DESIGNED BY AXIOS ARCHITECTS WITH SPECTACULAR FINISHES BY LISEK INTERIORS.GREAT SIZE 3 STORY HOMES WITH SPACIOUS 3 BEDS, 3.1 BATHS, SPRT LIVING ,FAMILY & DINING ROOM ,HUGE BALCONY AND OVERSIZED GARAGE.TOP OF THE LINE FINISHES THROUGHOUT INCL GORGEOUS,CUSTOM KITCHEN W/ISLAND,SS APPLIANCE PACKAGE,QUARTZ COUNTERS,DESIGNER TIELS AND LIGHTS, FIREPLACE,LUXURIOUS MASTER SUITE WITH BIG WALK IN CLOSET AND SPA-LIKE BATH W/ DOUBLE VANITY,SEPARATE SHOWER AND TUB.CONVENIENTLY LOCATED TO BLUE LINE ,EXPRESS WAY,PARKS AND MADISON STREET WITH ALL RESTAURANTS,CAFES & SHOPS.APROX LOT SIZE SUBJECT TO FINAL SURVEY.TRULY AMAZING HOMES,BIGGER THAN MOST SINGLE FAMILY!!HIGH END/UPGRADED FINISHES ARE INCLUDED IN THE PRICE. ONLY 6 UNITS LEFT HURRY!!**

School Data

Elementary: **(91)**

Junior High: **(91)**

High School: **(91)**

Assessments

Amount: **\$100**

Frequency: **Monthly**

Special Assessments: **No**

Special Service Area: **No**

Master Association: **No**

Tax

Amount: **NEW**

PIN: **15131090330000 /**

Mult PINs: **2016**

Tax Year:

Tax Exmps:

Coop Tax Deduction:

Tax Deduction Year:

Pet Information

Pets Allowed: **Cats OK, Dogs OK**

Max Pet Weight: **100**

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	19X16	Main Level	Hardwood		Master Bedroom	16X16	3rd Level		
Dining Room	16X16	2nd Level	Hardwood		2nd Bedroom	12X11	3rd Level		
Kitchen	16X08	2nd Level	Hardwood		3rd Bedroom	12X11	3rd Level		
Family Room	24X16	2nd Level			4th Bedroom		Not Applicable		
Laundry Room	07X05	3rd Level			Balcony	X04	2nd Level	Other	

Interior Property Features:

Exterior Property Features:

Age: **NEW Under Construction**

Type: **Townhouse 3+ Stories**

Exposure:

Exterior: **Brick**

Air Cond: **Central Air**

Heating: **Gas**

Kitchen: **Island**

Appliances: **Oven/Range, Microwave, Dishwasher, Refrigerator, Washer, Dryer**

Dining: **Separate**

Bath Amn:

Fireplace Details:

Fireplace Location:

Electricity:

Equipment:

Additional Rooms: **Balcony**

Other Structures:

Laundry Features:

Garage Ownership: **Owned**

Garage On Site: **Yes**

Garage Type: **Attached**

Garage Details:

Parking Ownership:

Parking On Site:

Parking Details:

Parking Fee (High/Low):

/

Driveway:

Basement Details: **None**

Foundation:

Exst Bas/Fnd:

Roof:

Disability Access: **No**

Disability Details:

Lot Desc:

Sewer: **Sewer-Public**

Water: **Lake Michigan, Public**

Const Opts:

General Info: **None**

Amenities:

Asmt Incl: **Lawn Care, Snow Removal**

HERS Index Score:

Green Disc:

Green Rating Source:

Green Feats:

Sale Terms:

Possession: **Closing**

Est Occp Date: **10/01/2018**

Management:

Rural:

Addl. Sales Info.: **Home Warranty**

Broker Owned/Interest: **No**

Relist:

Zero Lot Line:

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NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.

MLS #: 10143855

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM







MLS#: 10143855 Attached Single 7771 Van Buren ST Unit #: 11 Forest Park IL 60130



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Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM



Attached Single
Status: **CLSD**
Area: **130**

MLS #: **10012886**
List Date: **07/10/2018**
List Dt Rec: **07/10/2018**

List Price: **\$499,900**
Orig List Price: **\$499,900**
Sold Price: **\$502,900**
SP Incl. **Yes**
Parking:

Address: **233 Des Plaines Ave , Forest Park, IL 60130**
Directions: **2 blocks north of Madison Street on Des Plaines**

Closed: **03/18/2019**
Off Mkt: **02/08/2019**
Year Built: **2018**
Dimensions: **PER SURVEY**

Contract: **02/08/2019**
Financing: **Conventional**
Blt Before 78: **No**

Lst. Mkt. Time: **214**
Concessions:
Contingency:
Curr. Leased:

Ownership: **Fee Simple w/ HO Assn.**

Subdivision:

Model:

Corp Limits: **Forest Park**
Coordinates:

Township: **Proviso**

County: **Cook**
Fireplaces:

Rooms: **7**

Bathrooms (Full/Half): **2/1**

Parking: **Garage**

Bedrooms: **3**

Master Bath: **Full**

Spaces: **Gar:2**

Basement: **None**

Bsmnt. Bath: **No**

Parking Incl. **Yes**

Waterfront: **No**

Appx SF: **2200****

In Price: **Plans**

Total Units: **4**

Bldg. Assess. SF:

Days for

Stories: **3**

Unit Floor Lvl.: **1**

Bd Apprvl: **0**

% Own. Occ.:

% Cmn. Own.:

Fees/Approvals:

Level Square Footage Details: **Upper Sq Ft: 683, Main Sq Ft: 725, Finished Lower Sq Ft: 792, Above Grade Total Sq Ft: 2200, Aprox. Total Finished Sq Ft: 2200, Total Finished/Unfinished Sq Ft: 2200

Mobility Score: **43 - Fair Mobility!**

Remarks: **233 DESPLAINES IS READY FOR ON SITE SHOWINGS...4 NEW HOMES ON DESPLAINES IN FOREST PARK. THESE BEAUTIFUL MODERN HOMES HAVE BEEN DESIGNED BEYOND EXPECTATION...ELEVEN FT CEILINGS ON FIRST FLOOR W OPEN LIVING-DINING-KITCHEN FEATURING HEATED CONCRETE FLOORING, LARGE WINDOWS & GREAT DECK OFF KITCHEN...AIRY LIGHT FILLED SPACES WITH PERFECT ENTERTAINING FLOW...SECOND LEVEL IS ALL MASTER SUITE, ENSUITE OFFICE/STUDY, PRIVATE TERRACE, DUAL WALK IN CLOSET, LARGE BATH. THIRD LEVEL 2 BEDROOMS WITH ATTACHED BATH...ENERGY EFFICIENT DESIGN INCLUDES GREEN ROOF ON GARAGES...EACH HOME FEATURES PRIVATE YARD & 2 CAR GARAGE...INCLUDES ONE YEAR BUILDER WARRANTY! GREAT CURB APPEAL & LOCATION, WALK TO EL LINE AND ALL AMENITIES FOREST PARK HAS TO OFFER. DELIVERY FEB 2019.**

School Data

Elementary: **(91)**
Junior High: **(91)**
High School: **(91)**

Assessments

Amount: **\$100**
Frequency: **Monthly**
Special Assessments: **No**
Special Service Area: **No**
Master Association: **No**

Tax

Amount: **NEW**
PIN: **15124290120000 /**
Mult PINs: No
Tax Year: **2016**
Tax Exmps:
Coop Tax Deduction:
Tax Deduction Year:

Pet Information

Pets Allowed: **Cats OK, Dogs OK**
Max Pet Weight: **0**

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	15X15	Main Level	Other		Master Bedroom	17X13	2nd Level	Carpet	
Dining Room	14X16	Main Level	Other		2nd Bedroom	16X12	3rd Level	Carpet	
Kitchen	15X16	Main Level	Other		3rd Bedroom	14X12	3rd Level	Carpet	
Family Room		Not Applicable			4th Bedroom		Not Applicable		
Laundry Room	10X7	2nd Level	Vinyl		Terrace	12X6	2nd Level	Hardwood	
Office	13X7	2nd Level	Carpet						

Interior Property Features: **Vaulted/Cathedral Ceilings, Hardwood Floors, Heated Floors, 2nd Floor Laundry, Storage**

Exterior Property Features:

Age: **NEW Under Construction**

Type: **Townhouse 3+ Stories**

Exposure:

Exterior: **Other**

Air Cond: **Central Air**

Heating: **Gas, Forced Air, Radiant, Zoned**

Kitchen: **Eating Area-Breakfast Bar, Island, Pantry-Closet**

Appliances: **Oven/Range, Microwave, Dishwasher, High End Refrigerator**

Dining: **Combined w/ LivRm**

Bath Amn:

Fireplace Details:

Fireplace Location:

Electricity: **200+ Amp Service**

Equipment:

Additional Rooms: **Terrace, Office**

Other Structures:

Laundry Features:

Garage Ownership:

Garage On Site: **Yes**

Garage Type: **Detached**

Garage Details:

Parking Ownership:

Parking On Site:

Parking Details:

Parking Fee (High/Low): **/**

Driveway:

Basement Details: **None**

Foundation:

Exst Bas/Fnd:

Roof:

Disability Access: **No**

Disability Details:

Lot Desc:

Sewer: **Sewer-Public**

Water: **Public**

Const Opts:

General Info: **None**

Amenities:

Asmt Incl: **Common Insurance, Exterior Maintenance, Lawn Care, Snow Removal**

HERS Index Score:

Green Disc:

Green Rating Source:

Green Feats:

Sale Terms:

Possession: **Closing**

Est Occp Date: **09/01/2018**

Management:

Rural:

Addl. Sales Info.: **List Broker Must Accompany, Home Warranty**

Broker Owned/Interest: **No**

Relist:

Zero Lot Line:

Broker: **Avenue 1 Realty Group Inc (90889) / (773) 622-4663**

List Broker: **Riley Mockler (901554) / (773) 704-7376 / rileymockler@me.com**

CoList Broker:

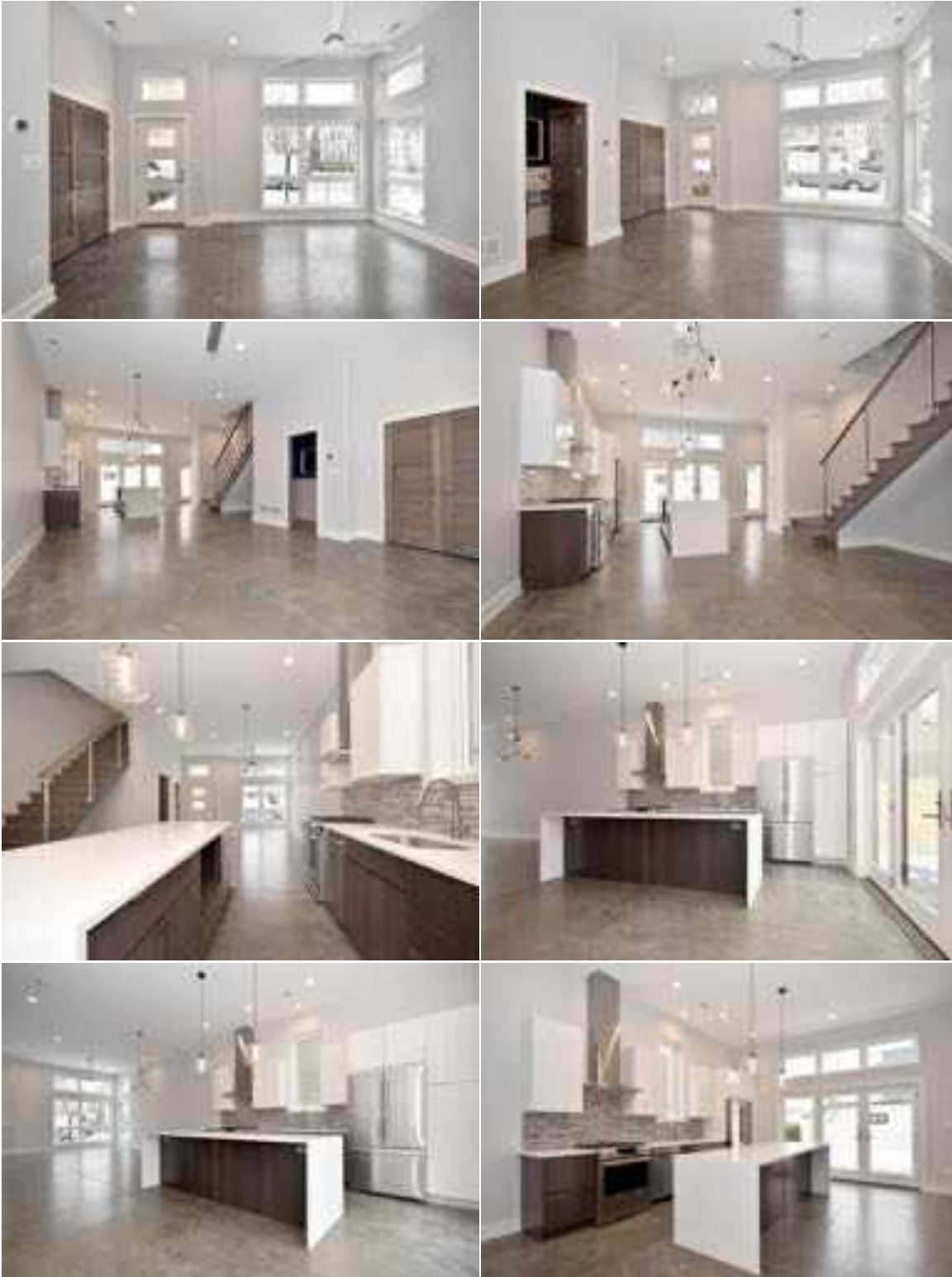
More Agent Contact Info:

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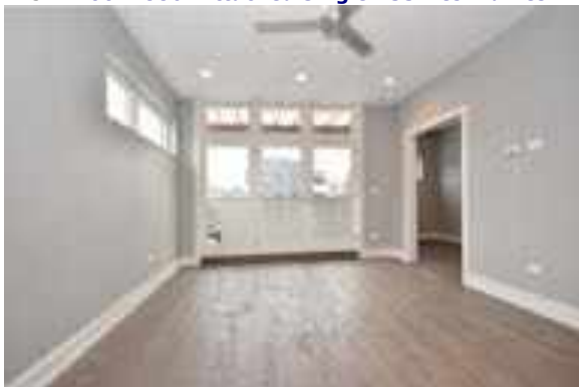
NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.

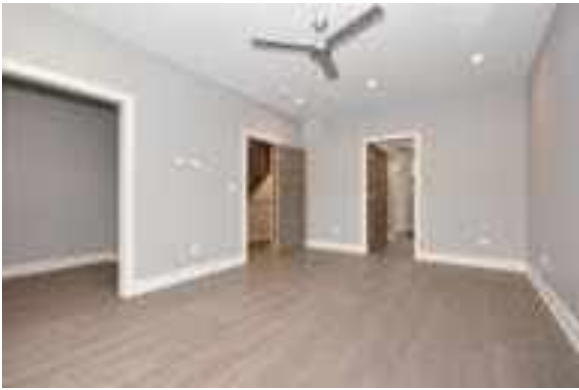
MLS #: 10012886

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM













LEVEL ONE

- 1010
- 1011
- 1012
- 1013
- 1014



LEVEL TWO

- 2010
- 2011
- 2012
- 2013
- 2014



LEVEL THREE

- 3010
- 3011
- 3012
- 3013
- 3014





Attached Single
 Status: **ACTV**
 Area: **305**

MLS #: **10565250** List Price: **\$519,000**
 List Date: **11/04/2019** Orig List Price: **\$519,000**
 List Dt Rec: **11/04/2019** Sold Price:
 SP Incl. **Yes**
 Parking:

Address: **43 Forest Ave , River Forest, IL 60305**
 Directions: **WEST ON MADISON TURN RIGHT ONTO FOREST AVENUE**

Closed:
 Off Mkt:
 Year Built: **2019**
 Dimensions: **2612**

Contract:
 Financing:
 Blt Before 78: **No**

Concessions:
 Contingency:
 Curr. Leased: **No**

Ownership: **Fee Simple w/ HO Assn. River Forest N:100 W:7820**
 Subdivision:
 Model:

Corp Limits:
 Coordinates:

Township: **River Forest** County: **Cook**
 # Fireplaces:

Rooms: **7** Bathrooms (Full/Half): **3/1** Parking: **Garage, Exterior Space(s)**
 Bedrooms: **3** Master Bath: **Full** # Spaces: **Gar:2 Ext:2**
 Basement: **None** Bsmnt. Bath: **No** Parking Incl. **Yes**
 Waterfront: **No** Appx SF: **2612** SF Source: **Estimated**
 Total Units: **29** Bldg. Assess. SF:
 # Stories: **3** Unit Floor Lvl.: **1** # Days for Bd Apprvl: **0**
 % Own. Occ.: % Cm. Own.: Fees/Approvals:
 Mobility Score: **43 - Fair Mobility!**

Remarks: **OAK PARK & RIVER FOREST HS DISTRICT! WALK TO THE METRA, GREEN LINE & RESTAURANTS/SHOPPING ON MADISON FROM THE 3 BED + FAMILY ROOM 3.5 BATH 2,612 SQFT BRAND NEW CONSTRUCTION ALL BRICK END UNIT TOWNHOUSE OFFERED IN PHASE 2 OF THE RIVER FOREST COLLECTION! DEVELOPER IS OFFERING BUYERS THE OPPORTUNITY TO FULLY CUSTOMIZE THEIR HOME! FINISHES RANGING FROM WHITE SHAKER CABINETRY TO FLAT MODERN ITALIAN CABINETS; QUARTZ COUNTERTOPS WITH THE OPTION TO UPGRADE TO WATERFALL STYLE ISLAND; STAINLESS STEEL APPLIANCES INCLUDING KITCHEN AID UP TO BOSCH; GROHE FIXTURES AND HARDWOOD FLOORS T/O THE FIRST TWO LEVELS; LARGE WIDE FLOOR PLANS WITH KITCHEN OPENING TO DINING AREA WHICH LEADS OUT TO A LARGE DECK - IDEAL FOR INDOOR/OUTDOOR ENTERTAINING; GREAT SIZE MASTER SUITE W/ MASSIVE WALK-IN-CLOSET AND DOUBLE SINK QUARTZ VANITY W/ OVERSIZED SHOWER; MAIN LEVEL FAMILY ROOM W/ FULL BATH AND ADDITIONAL STORAGE; 2-CAR ATTACHED HEATED GARAGE!**

School Data	Assessments	Tax	Pet Information
Elementary: Lincoln (90)	Amount: \$144	Amount: NEW	Pets Allowed: Cats OK, Dogs OK
Junior High: Roosevelt (90)	Frequency: Monthly	PIN: 15123130760000	Max Pet Weight: 999
High School: Oak Park & River Forest (200)	Special Assessments: No	/ Mult PINs: No	
	Special Service Area: No	Tax Year: 2018	
	Master Association: No	Tax Exmps:	
		Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments:

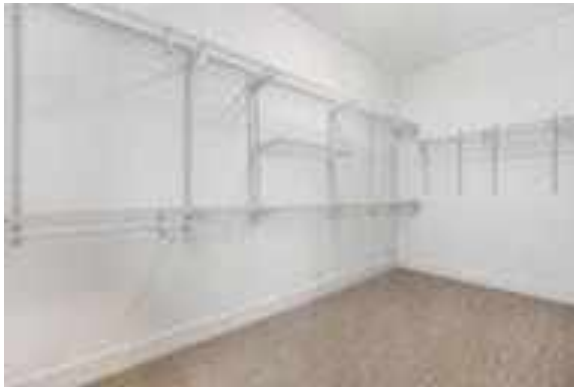
Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	20X15	2nd Level	Hardwood		Master Bedroom	14X14	3rd Level	Carpet	
Dining Room	COMBO	2nd Level	Hardwood		2nd Bedroom	11X10	3rd Level	Carpet	
Kitchen	20X13	2nd Level	Hardwood		3rd Bedroom	11X09	3rd Level	Carpet	
Family Room	20X14	Main Level	Hardwood		4th Bedroom		Not Applicable		
Laundry Room	07X03	3rd Level			Deck	17X05	2nd Level		
Walk In Closet	13X06	3rd Level			Walk In Closet	06X05	3rd Level		

Interior Property Features: **Hardwood Floors, 2nd Floor Laundry, 1st Floor Full Bath, Laundry Hook-Up in Unit, Walk-In Closet(s)**

Exterior Property Features: **Deck, Storms/Screens, Private Entrance**

Age: NEW Ready for Occupancy, NEW Under Construction Type: Townhouse 3+ Stories, Townhouse-TriLevel Exposure: N (North), S (South), E (East) Exterior: Brick Air Cond: Central Air Heating: Gas, Forced Air, Indv Controls Kitchen: Eating Area-Table Space, Island Appliances: Oven/Range, Microwave, Dishwasher, Refrigerator, Washer, Dryer, Disposal, All Stainless Steel Kitchen Appliances Dining: Combined w/ LivRm Bath Amn: Separate Shower, Double Sink, Soaking Tub Fireplace Details: Fireplace Location: Electricity: 200+ Amp Service Equipment: Humidifier, TV-Cable, Fire Sprinklers, CO Detectors, Ceiling Fan Additional Rooms: Deck, Walk In Closet Other Structures: Gas Supplier: Nicor Gas Electric Supplier: Commonwealth Edison	Laundry Features: In Unit Garage Ownership: Owned Garage On Site: Yes Garage Type: Attached Garage Details: Garage Door Opener(s), Heated Parking Ownership: Owned Parking On Site: Yes Parking Details: Driveway Parking Fee (High/Low): / Driveway: Asphalt Basement Details: None Foundation: Concrete Exst Bas/Fnd: No Roof: Asphalt/Glass (Shingles) Disability Access: No Disability Details: Lot Desc: Common Grounds	Sewer: Sewer-Public Water: Lake Michigan Const Opts: General Info: None Amenities: Curbs/Gutters, Sidewalks, Street Lights Asmt Incl: Common Insurance, Exterior Maintenance, Lawn Care, Snow Removal HERS Index Score: Green Disc: Green Rating Source: Green Feats: Sale Terms: Conventional, FHA, VA Possession: Closing Est Occp Date: 11/04/2019 Management: Developer Controls Rural: No Addl. Sales Info.: List Broker Must Accompany Broker Owned/Interest: No Relist: Zero Lot Line:
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Some photos may be virtually staged

Attached Single
 Status: **CLSD**
 Area: **302**
 Address: **202 Harrison St , Oak Park, IL 60304-1534**
 Directions: **Corner of Harrison and Lombard**
 Closed: **11/20/2018**
 Off Mkt: **07/19/2017**
 Year Built: **2017**
 Dimensions: **18 X 97**
 Ownership: **Fee Simple**
 Corp Limits: **Oak Park**
 Coordinates: **S:900 W:208**
 Rooms: **5**
 Bedrooms: **3**
 Basement: **None**
 Waterfront: **No**
 Total Units: **4**
 # Stories: **3**
 % Own. Occ.:
 Mobility Score: -

MLS #: **09688655**
 List Price: **\$549,900**
 List Date: **07/13/2017**
 List Dt Rec: **07/13/2017**
 Orig List Price: **\$549,900**
 Sold Price: **\$539,494**
 SP Incl. Parking: **Yes**
 Lst. Mkt. Time: **7**
 Concessions: **No**
 Contingency: **No**
 Curr. Leased: **No**
 Model: **Cook**
 County: **Cook**
 # Fireplaces: **0**
 Parking: **Garage**
 # Spaces: **Gar:2**
 Parking Incl. In Price: **Yes**
 SF Source: **Not Reported**
 # Days for Bd Apprvl: **0**
 Fees/Approvals:

Remarks: **Introducing Flexhouse Oak Park - 4 flexible, efficient and modern residences by award winning Ranquist Development Group! Set in the heart of the Oak Park Arts District, these residences incorporate a live/work option over 3 levels of living space. Abundant natural light, huge backyards and a 2 car garage. Heated concrete flooring, cutting edge Italian Archisesto kitchens and bathrooms w Duravit and Grohe. Exciting opportunity to select finishes. Delivery Fall 2018.**

School Data	Assessments	Tax	Pet Information
Elementary: Longfellow (97) Junior High: Percy Julian (97) High School: Oak Park & River Forest (200)	Amount: \$125 Monthly Frequency: Special Assessments: No Special Service Area: No Master Association: No	Amount: NEW 16171270370000 PIN: / Mult PINs: No Tax Year: 2016 Tax Exmps: None Coop Tax Deduction: Tax Deduction Year:	Pets Allowed: Cats OK, Dogs OK Max Pet Weight: 999

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	21X17	Main Level	Other	None	Master Bedroom	17X12	3rd Level	Carpet	None
Dining Room		Not Applicable			2nd Bedroom	13X11	2nd Level	Carpet	None
Kitchen	16X13	Main Level	Other	None	3rd Bedroom	13X11	2nd Level	Carpet	None
Family Room		Not Applicable			4th Bedroom		Not Applicable		
Laundry Room	10X8	2nd Level	Other		Walk In Closet	10X7	3rd Level	Carpet	

Interior Property Features: **Heated Floors**

Exterior Property Features: **Patio**

Age: **NEW Proposed Construction**
 Type: **Townhouse 3+ Stories, Townhouse-TriLevel**
 Exposure: **N (North), S (South)**
 Exterior: **Other**
 Air Cond: **Central Air**
 Heating: **Gas, Forced Air**
 Kitchen: **Island**
 Appliances: **Oven/Range, Dishwasher, Refrigerator, Disposal, All Stainless Steel Kitchen Appliances**
 Dining: **Combined w/ LivRm**
 Bath Amn: **Separate Shower, Double Sink, Soaking Tub**
 Fireplace Details:
 Fireplace Location:
 Electricity: **Circuit Breakers**
 Equipment: **Humidifier, CO Detectors**
 Additional Rooms: **Walk In Closet**
 Other Structures:

Laundry Features:
 Garage Ownership: **Owned**
 Garage On Site: **Yes**
 Garage Type: **Detached**
 Garage Details: **Garage Door Opener(s)**
 Parking Ownership:
 Parking On Site:
 Parking Details:
 Parking Fee (High/Low): **/**
 Driveway:
 Basement Details: **None**
 Foundation: **Concrete**
 Ext Bas/Fnd: **No**
 Roof:
 Disability Access: **No**
 Disability Details:
 Lot Desc: **Fenced Yard**

Sewer: **Sewer-Public**
 Water: **Lake Michigan**
 Const Opts: **Central Air, Garage**
 General Info: **None**
 Amenities: **Curbs/Gutters, Sidewalks, Street Lights, Street Paved**
 Asmt Incl: **Water, Common Insurance, Exterior Maintenance, Lawn Care, Snow Removal**
 HERS Index Score:
 Green Disc:
 Green Rating Source:
 Green Feats: **Low flow commode**
 Sale Terms:
 Possession: **Closing**
 Est Occp Date: **09/01/2018**
 Management: **Developer Controls**
 Rural:
 Addl. Sales Info.: **None**
 Broker Owned/Interest: **No**
 Relist:
 Zero Lot Line:

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 NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.

MLS #: 09688655

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM





Attached Single
 Status: **ACTV**
 Area: **130**
 MLS #: **10468094** List Price: **\$540,000**
 List Date: **07/30/2019** Orig List Price: **\$540,000**
 List Dt Rec: **07/30/2019** Sold Price:
 SP Incl. **Yes**
 Parking:
 Address: **311 Burkhardt Ct , Forest Park, IL 60130**
 Directions: **Harlem to Madison. W to Burkhardt Ct. N to property**
 Lst. Mkt. Time: **120**
 Closed: Contract:
 Off Mkt: Financing:
 Year Built: **2019** Blt Before 78: **No** Concessions:
 Dimensions: **0** Curr. Leased:
 Ownership: **Fee Simple** Subdivision:
 Corp Limits: **Forest Park** Township: **Proviso** Model:
 Coordinates: County: **Cook**
 # Fireplaces:
 Rooms: **8** Bathrooms (Full/Half): **3/1** Parking: **Garage**
 Bedrooms: **3+1 bsmt** Master Bath: **Full** # Spaces: **Gar:2**
 Basement: **Full** Bsmnt. Bath: **Yes** Parking Incl. **Yes**
 Waterfront: **No** Appx SF: **1700**** SF Source: **Builder**
 Total Units: **3** Bldg. Assess. SF:
 # Stories: **3** Unit Floor Lvl.: **1** # Days for
 % Own. Occ.: % Cmn. Own.: Fees/Approvals:
 Level Square Footage Details: **Upper Sq Ft: 850, Main Sq Ft: 850, Above Grade
Total Sq Ft: 1700, Finished Basement Sq Ft: 800, Total Basement Sq Ft: 800,
Aprox. Total Finished Sq Ft: 2500, Total Finished/Unfinished Sq Ft: 2500
 Mobility Score: **49 - Fair Mobility!**

Remarks: **NEW CONSTRUCTION, SOLAR POWERED & HIGH PERFORMANCE HOME WALKING DISTANCE TO METRA/EL & MADISON ST!**
Designed and built by award-winning BrightLeaf Homes. This ALL ELECTRIC home has a beautiful open concept floor plan for
entertaining with lots of natural light & 10' ceilings! Hardwood on main level, quartz counter tops & stainless appliances. Mud room
with built-ins off kitchen. Master suite & second floor laundry. Full finished basement with family room, bedroom and full bath. Garage
roof deck option available. Smart technology includes solar panels, smart lighting & plugs, Wifi thermostat, garage door opener & Ring
doorbell, all controlled from your smartphone. Garage pre wired for Tesla car charger. EPA EnergyStar & DOE Zero Energy Ready
certified. Home has advanced insulation and air sealing improving air quality and gives you a quiet, comfortable and healthier home
that is unlike any other!

School Data	Assessments	Tax	Pet Information
Elementary: (91)	Amount: \$0	Amount: \$9,644.64	Pets Allowed: Cats OK, Dogs OK
Junior High: (91)	Frequency: Not Applicable	PIN: 15124310310000 / Mult PINs:	Max Pet Weight: 999
High School: (209)	Special Assessments: No	Tax Year: 2017	
	Special Service Area: No	Tax Exmps:	
	Master Association: No	Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments: **Finished basement has bedroom, rec room and full bath.**

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	15X15	Main Level	Hardwood		Master Bedroom	15X14	2nd Level	Carpet	
Dining Room	15X8	Main Level	Hardwood		2nd Bedroom	11X9	2nd Level	Carpet	
Kitchen	14X13	Main Level	Hardwood		3rd Bedroom	11X9	2nd Level	Carpet	
Family Room	20X15	Basement	Carpet		4th Bedroom	12X12	Basement	Carpet	
Laundry Room	5X5	2nd Level			Deck	20X19	Main Level		

Interior Property Features: **Hardwood Floors, 2nd Floor Laundry, Walk-In Closet(s)**

Exterior Property Features: **Deck**

Age: NEW Under Construction	Laundry Features: In Unit	Sewer: Sewer-Public
Type: Townhouse-2 Story, Townhouse 3+ Stories, Townhouse-TriLevel	Garage Ownership: Owned	Water: Public
Exposure:	Garage On Site: Yes	Const Opts: Deck/Patio/Screened Porch
Exterior: Other	Garage Type: Detached	General Info: School Bus Service, Commuter Bus, Commuter Train, Interstate Access
Air Cond: Central Air	Garage Details: Garage Door Opener(s)	Amenities:
Heating: Gas, Solar, Forced Air	Parking Ownership:	Asmt Incl: None
Kitchen:	Parking On Site:	HERS Index Score:
Appliances:	Parking Details:	Green Disc: No
Dining:	Parking Fee (High/Low): /	Green Rating Source: Energy Star Homes, Other
Bath Amn: Double Sink	Driveway: Concrete	Green Feats: Photovoltaic/Solar System, Tankless hot water heater
Fireplace Details:	Basement Details: Finished	Sale Terms:
Fireplace Location:	Foundation: Concrete	Possession: Other
Electricity:	Exst Bas/Fnd: No	Est Occp Date: 12/31/2019
Equipment:	Roof: Asphalt/Glass (Shingles)	Management:
Additional Rooms: Deck	Disability Access: No	Rural:
Other Structures:	Disability Details:	Addl. Sales Info.: Reserve Fee Required
	Lot Desc:	Broker Owned/Interest: No
		Relist:
		Zero Lot Line:

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MLS #: 10468094

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM





Some photos may be virtually staged

Attached Single
 Status: **ACTV**
 Area: **302**

MLS #: **10529200**
 List Date: **09/25/2019**
 List Dt Rec: **09/25/2019**

List Price: **\$544,050**
 Orig List Price: **\$519,990**
 Sold Price:
 SP Incl. **Yes**
 Parking:

Address: **944 Madison St Unit 2-1, Oak Park, IL 60302**
 Directions: **Harlem Avenue East to Home Street**

Closed:
 Off Mkt:
 Year Built: **2019**
 Dimensions: **21X47**
 Ownership: **Fee Simple w/ HO Assn.**
 Corp Limits: **Oak Park**
 Coordinates:

Contract:
 Financing:
 Blt Before 78: **No**

Lst. Mkt. Time: **63**
 Concessions:
 Contingency:
 Curr. Leased:

Model: **The Buckingham Cook**
 County: **Oak Park**
 # Fireplaces:
 Parking: **Garage**
 # Spaces: **Gar:2**
 Parking Incl. **Yes**
 In Price: **Builder**
 SF Source:
 # Days for Bd Apprvl: **0**
 Fees/Approvals:

Rooms: **7**
 Bathrooms (Full/Half): **3/1**
 Bedrooms: **4**
 Master Bath: **Full**
 Basement: **None**
 Bsmnt. Bath:
 Waterfront: **No**
 Appx SF: **2507**
 Total Units: **21**
 Bldg. Assess. SF:
 # Stories: **3**
 Unit Floor Lvl.: **1**
 % Own. Occ.:
 % Cm. Own.:
 Mobility Score: **39 - Minimal Mobility.**

Remarks: **Move in by the end of the year to this brand new home at Lexington Reserve at Oak Park! Natural light will stream into this sunny, southwest end unit with large windows in the front and side of this home. Modern elegance abounds in this 3- bedroom home featuring three levels of living space, with a balcony off the kitchen and spacious rooftop deck for outdoor lifestyle and entertaining. 5" wide hardwood floors on the main level, white kitchen cabinets, gray quartz counters with Carrera marble beveled backsplash, GE stainless steel appliances, an abundance of cabinets, and 9' ceilings. Lower level features a 4th bedroom/den with a full bath, with access to a 2-car attached garage. Master suite is appointed with a large walk-in closet, and the Master Bath boasts an oversized shower, 36" dual vanities with quartz counters, and a private water closet. Walk to restaurants, shopping, Metra and much more! Photos shown are of the model home. Finishes may vary. Mins to pub. trans incl. Blue +Green Line & Metra. Spacious contemporary living. Choose your own finishes - your style/your way! Welcome Home - Welcome Home to Lexington Reserve at Oak Park.**

School Data	Assessments	Tax	Pet Information
Elementary: Abraham Lincoln (97)	Amount: \$258	Amount: NEW	Pets Allowed: Cats OK, Dogs OK
Junior High: Gwendolyn Brooks (97)	Frequency: Monthly	PIN: 16073240350000	Max Pet Weight: 999
High School: Oak Park & River Forest (200)	Special Assessments: No	Tax Year: 2017	
	Special Service Area: No	Tax Exmps:	
	Master Association: No	Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	15X25	2nd Level	Hardwood		Master Bedroom	15X12	3rd Level	Carpet	
Dining Room	COMBO	2nd Level	Hardwood		2nd Bedroom	12X9	3rd Level	Carpet	
Kitchen	15X15	2nd Level	Hardwood		3rd Bedroom	9X10	3rd Level	Carpet	
Family Room		Not Applicable			4th Bedroom	11X12	Lower		
Laundry Room									

Interior Property Features:

Exterior Property Features:

Age: NEW Under Construction	Laundry Features:	Sewer: Sewer-Public
Type: Townhouse 3+ Stories	Garage Ownership:	Water: Lake Michigan
Exposure:	Garage On Site: Yes	Const Opts:
Exterior: Vinyl Siding, Brick	Garage Type: Attached	General Info: Commuter Bus, Commuter Train
Air Cond: Central Air	Garage Details:	Amenities:
Heating: Gas	Parking Ownership:	Asmt Incl: Common Insurance, Exterior Maintenance, Lawn Care, Scavenger, Snow Removal
Kitchen:	Parking On Site:	HERS Index Score:
Appliances:	Parking Details:	Green Disc:
Dining:	Parking Fee (High/Low): /	Green Rating Source:
Bath Amn:	Driveway:	Green Feats:
Fireplace Details:	Basement Details: None	Sale Terms:
Fireplace Location:	Foundation:	Possession: Specific Date
Electricity: 200+ Amp Service	Exst Bas/Fnd:	Est Occp Date: 12/31/2019
Equipment:	Roof:	Management:
Additional Rooms: No additional rooms	Disability Access: No	Rural:
Other Structures:	Disability Details:	Addl. Sales Info.: None
	Lot Desc:	Broker Owned/Interest: No
		Relist:
		Zero Lot Line:

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Attached Single
 Status: **CLSD**
 Area: **302**

MLS #: **09912744**
 List Date: **04/08/2018**
 List Dt Rec: **04/11/2018**

List Price: **\$719,000**
 Orig List Price: **\$719,000**
 Sold Price: **\$719,000**
 SP Incl: **Yes**
 Parking: **Yes**

Address: **1133 W Chicago Ave Unit 3W, Oak Park, IL 60302**
 Directions: **HARLEM TO CHICAGO EAST ON CHICAGO TO MAPLE**

Closed: **08/28/2018**
 Off Mkt: **07/19/2018**
 Year Built: **2017**
 Dimensions: **COMMON AREAS**
 Ownership: **Condo**
 Corp Limits: **Oak Park**
 Coordinates:

Contract: **07/19/2018**
 Financing: **Conventional**
 Blt Before 78: **No**

Model: **Cook**
 County: **Cook**
 # Fireplaces:

Rooms: **7**
 Bedrooms: **3**
 Basement: **None**

Bathrooms (Full/Half): **2/0**
 Master Bath: **Full**
 Bsmnt. Bath: **No**

Waterfront: **No**
 Total Units: **11**
 # Stories: **5**
 % Own. Occ.: **100**
 Mobility Score: **-**

Appx SF: **1983**
 Bldg. Assess. SF:
 Unit Floor Lvl.: **3**
 % Cmn. Own.:

Lst. Mkt. Time: **103**
 Concessions:
 Contingency:
 Curr. Leased: **No**

Parking: **Garage**
 # Spaces: **Gar:1**
 Parking Incl. In Price: **Yes**
 SF Source: **Builder**
 # Days for Bd Apprvl: **0**
 Fees/Approvals:

Remarks: **ONLY ONE LEFT!! New Construction at it's best! This exceptional residence has it all & is now ready for occupancy. It features UPGRADED 3 1/4 solid oak floors thru out, UPGRADED designer kitchen cabs & quartz counters, UPGRADED Bosch appl package, UPGRADED lighting package, UPGRADED bathrooms, master w/oversized, roll-in shower. Open & airy layout offering sunshine year round! Lg BRs and closets, AND extra storage closet. In unit laundry. balcony off great rm. State of the art HVAC-creating a healthy home. Silent floor system & sound attenuation for walls, Parking in heated garage included, addl space available for purchase! Virtual Doorman, Elevator building, ECO-efficient & LEED CERTIFIED, & the list goes on! Outstanding location steps to the heart of it all,Walk to shops, parks, schools, trains, & restaurant. A healthy, eco-friendly condo home. MODEL CLOSEOUT SPECIAL-LOADED WITH TONS OF FREE UPGRADES VALUE OVER 50K. Open Sundays 12-2 or by appt.**

School Data	Assessments	Tax	Pet Information
Elementary: Oliver W Holmes (97)	Amount: \$439	Amount: NEW	Pets Allowed: Cats OK, Dogs OK
2nd/Alternate: Gwendolyn Brooks	Frequency: Monthly	PIN: 16071000000000	Max Pet Weight: 999
Junior High: (97)	Special Assessments: No	Tax Year: 2016	
High School: Oak Park & River Forest (200)	Special Service Area: No	Tax Exmps: None	
	Master Association: No	Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	22X14	Main Level	Hardwood		Master Bedroom	18X13	Main Level	Hardwood	
Dining Room	COMBO	Main Level	Hardwood		2nd Bedroom	12X10	Main Level	Hardwood	
Kitchen	14X09	Main Level	Hardwood		3rd Bedroom	11X11	Main Level	Hardwood	
Family Room		Not Applicable			4th Bedroom		Not Applicable		
Laundry Room	09X06	Main Level			Den	8X9	Main Level	Hardwood	
Foyer	08X06	Main Level	Hardwood		Walk In Closet	12X06	Main Level	Hardwood	
Terrace	38X08	Main Level			Storage	8X5	Basement		

Interior Property Features: **Hardwood Floors, Laundry Hook-Up in Unit**

Exterior Property Features: **Deck, Storms/Screens**

Age: 1-5 Years	Laundry Features:	Sewer: Sewer-Public, Sewer-Storm
Type: Condo, Mid Rise (4-6 Stories)	Garage Ownership: Owned	Water: Lake Michigan, Public
Exposure: S (South), W (West)	Garage On Site: Yes	Const Opts:
Exterior: Brick	Garage Type: Attached	General Info: Commuter Train, Historical District
Air Cond: Central Air	Garage Details: Transmitter(s), Heated	Amenities: Elevator, Storage, Curbs/Gutters, Sidewalks, Street Lights, Street Paved
Heating: Gas, Forced Air	Parking Ownership:	Asmt Incl: Water, Parking, Common Insurance, Doorman, Exterior Maintenance, Scavenger, Snow Removal
Kitchen: Island	Parking On Site:	HERS Index Score:
Appliances: Oven-Double, Microwave, Dishwasher, High End Refrigerator, Washer, Dryer, Disposal, All Stainless Steel Kitchen Appliances, Cooktop, Oven/Built-in, Range Hood	Parking Details:	Green Disc: No
Dining: Combined w/ LivRm	Parking Fee (High/Low): /	Green Rating Source: LEED-H Certified
Bath Amn: Separate Shower, Double Sink	Driveway:	Green Feats: Enhanced Air Filtration, Low flow fixtures, Green roof
Fireplace Details:	Basement Details: None	Sale Terms:
Fireplace Location:	Foundation:	Possession: Closing
Electricity: Circuit Breakers, 200+ Amp Service	Exst Bas/Fnd:	Est Occp Date:
Equipment: Humidifier, TV-Cable, Fire Sprinklers, CO Detectors, Air Cleaner	Roof: Rubber	Management: Manager Off-site
Additional Rooms: Den, Foyer, Walk In Closet, Terrace, Storage	Disability Access: Yes	Rural:
Other Structures:	Disability Details: 32 inch or more wide doors, 36 inch or more wide halls, Doors-Swing-In, Doors w/Lever Handles, Main Level Entry, No Interior Steps, Roll-In Shower	Addl. Sales Info.: List Broker Must Accompany
	Lot Desc: Corner	Broker Owned/Interest: No
		Relist:
		Zero Lot Line:

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 NOTICE: Many homes contain recording devices, and buyers should be aware that they may be recorded during a showing.







Attached Single
 Status: **CTG**
 Area: **302**
 MLS #: **10475405** List Price: **\$726,250**
 List Date: **09/05/2019** Orig List Price: **\$749,000**
 List Dt Rec: **09/05/2019** Sold Price:
 SP Incl. **Yes**
 Parking:
 Address: **147 N Euclid Ave Unit 206, Oak Park, IL 60302**
 Directions: **Northwest corner of Lake & Euclid**
 Closed:
 Off Mkt:
 Year Built: **2017**
 Dimensions: **COMMON**
 Ownership: **Condo**
 Corp Limits: **Oak Park N:147 W:708**
 Coordinates:
 Rooms: **7**
 Bedrooms: **3**
 Basement: **None**
 Waterfront: **No**
 Total Units: **28**
 # Stories: **5**
 % Own. Occ.:
 Mobility Score: **61 - Good Mobility!**
 Contract: **11/08/2019**
 Financing:
 Blt Before 78: **No**
 Subdivision:
 Township: **Oak Park**
 Model:
 County: **Cook**
 # Fireplaces:
 Lst. Mkt. Time: **83**
 Concessions:
 Contingency: **A/I**
 Curr. Leased: **No**
 Bathrooms (Full/Half): **2/1**
 Master Bath: **Full**
 Bsmnt. Bath: **No**
 Appx SF: **1883**
 Bldg. Assess. SF:
 Unit Floor Lvl.: **2**
 % Cmn. Own.:
 Parking: **Garage**
 # Spaces: **Gar:2**
 Parking Incl. **Yes**
 In Price:
 SF Source: **Builder**
 # Days for
 Bd Apprvl: **0**
 Fees/Approvals:

Remarks: **Highly sought after unit in District House! This highly upgraded unit has 3 bedrooms + a Den (now nursery) and 2 1/2 baths. The open floorplan is smartly designed and filled with light. The living room, dining room and kitchen overlook 1200 square feet of private yard. The custom designed kitchen boasts gorgeous and unique backsplash, high end appliances, quartz counter tops, upgraded cabinets, built-in microwave and a wine refrigerator. Magnificent master suite. All bedrooms have unique features that you will not find in other units. All bedrooms have custom closets to maximize space. You will not believe the amount of storage space! In addition to the private outdoor space, there is a beautiful common rooftop deck with a green roof/garden and spectacular views of the city. 2 parking spots (1 space with lift for second vehicle) in the heated garage. Great location! 1 block from the green line in the heart of Oak Park's restaurant/ business district "The Avenue."**

School Data	Assessments	Tax	Pet Information
Elementary: Oliver W Holmes (97)	Amount: \$383	Amount: NEW	Cats OK ,
Junior High: Gwendolyn Brooks (97)	Frequency: Monthly	PIN: 12345678900000	Dogs OK ,
High School: Oak Park & River Forest (200)	Special Assessments: No	/ Mult PINs: No	Pet Count
	Special Service Area: No	2017	Limitation
	Master Association: No	Homeowner	Max Pet Weight: 999
		Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	18X15	Main Level	Hardwood		Master Bedroom	15X14	Main Level	Hardwood	
Dining Room	18X9	Main Level	Hardwood		2nd Bedroom	11X10	Main Level	Carpet	
Kitchen	18X9	Main Level	Hardwood		3rd Bedroom	10X10	Main Level	Carpet	
Family Room		Not Applicable			4th Bedroom		Not Applicable		
Laundry Room					Den	9X8	Main Level	Hardwood	
Walk In Closet	9X7	Main Level							
Deck	8X10	Main Level							

Interior Property Features: **Elevator, Hardwood Floors, Laundry Hook-Up in Unit, Walk-In Closet(s)**

Exterior Property Features: **Roof Deck**

Age: 1-5 Years	Laundry Features: In Unit	Sewer: Sewer-Public
Type: Condo	Garage Ownership: Owned	Water: Lake Michigan
Exposure:	Garage On Site: Yes	Const Opts:
Exterior: Brick, Glass	Garage Type: Attached	General Info: School Bus Service, Commuter Bus, Commuter Train, Interstate Access
Air Cond: Central Air	Garage Details: Garage Door Opener(s), Heated, 7 Foot or more high garage door	Amenities: Elevator, Sundeck
Heating: Gas	Parking Ownership:	Asmt Incl: Water, Parking, Common Insurance, Exterior Maintenance, Scavenger, Snow Removal
Kitchen: Island	Parking On Site:	HERS Index Score:
Appliances: Microwave, Dishwasher, High End Refrigerator, Disposal, Wine Cooler/Refrigerator, Cooktop, Oven/Built-in, Range Hood	Parking Details:	Green Disc:
Dining: Combined w/ LivRm	Parking Fee (High/Low): /	Green Rating Source: LEED-H Silver
Bath Amn: Double Sink	Driveway:	Green Feats: Low flow commode, Green roof
Fireplace Details:	Basement Details: None	Sale Terms: Conventional
Fireplace Location:	Foundation:	Possession: Closing
Electricity:	Exst Bas/Fnd:	Est Occp Date:
Equipment: Humidifier, CO Detectors, Ceiling Fan	Roof: Other	Management:
Additional Rooms: Walk In Closet, Den, Deck	Disability Access: No	Rural: No
Other Structures:	Disability Details:	Addl. Sales Info.: Corporate Relocation
	Lot Desc: Corner	Broker Owned/Interest: No
		Relist:
		Zero Lot Line:

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MLS #: 10475405

Prepared By: Riley Mockler | Avenue 1 Realty Group Inc | 11/26/2019 03:14 PM













Some photos may be virtually staged

Attached Single
 Status: **ACTV**
 Area: **305**

MLS #: **10351442** List Price: **\$1,000,000**
 List Date: **04/22/2019** Orig List Price: **\$1,000,000**
 List Dt Rec: **04/22/2019** Sold Price:
 SP Incl.
 Parking:

Address: **7601 Lake St Unit 301, River Forest, IL 60305**
 Directions: **LAKE STREET TO LATHROP AVE**

Closed:
 Off Mkt:
 Year Built: **2020**
 Dimensions: **36414**
 Ownership: **Condo**
 Corp Limits: **River Forest N:500 W:7601**

Contract:
 Financing:
 Blt Before 78: **No**

Subdivision:
 Township: **River Forest** County: **Cook**

Model:
 # Fireplaces:

Rooms: **6**
 Bathrooms (Full/Half): **3/0**
 Bedrooms: **3**
 Master Bath: **Full**
 Basement: **None**
 Bsmnt. Bath: **No**

Bathrooms
 (Full/Half): **3/0**
 Master Bath: **Full**
 Bsmnt. Bath: **No**

Parking: **Garage**
 # Spaces: **Gar:2**
 Parking Incl.
 In Price:
 SF Source: **Builder**
 # Days for
 Bd Apprvl: **0**
 Fees/Approvals:

Waterfront: **No**
 Appx SF: **2240**
 Total Units: **30**
 Bldg. Assess. SF:
 # Stories: **5**
 Unit Floor Lvl.: **3**
 % Own. Occ.:
 % Cmn. Own.:
 Mobility Score: **42 - Fair Mobility!**

Remarks: ****PRIVATE ELEVATOR**TWO 250SF OUTDOOR TERRACES**BEST \$1M VALUE**New construction single-floor living in River Forest at Lake/Lathrop. A private elevator opens directly into your new home with 3 bedrooms, 3 baths & expansive living room. Two 250SF terraces expands the space outward, making the most of a beautiful day. Designer kitchen features Wood-Mode cabinetry, integrated Thermador appliances & huge quartz kitchen island for food prep & entertaining. Dining room can be set for 8 daily; expand to 10-12 on holidays. Lives like a single-family home—all on one level without any maintenance hassles. One parking space included. Additional parking space available (\$35k). RF is a new construction condominium building blending traditional design & modern luxury amongst River Forest's rich architectural heritage. Steps from schools, houses of worship, Tennis Club, Keystone Park & Metra. New retail tenants will add to street-level amenities. Showroom open daily 12p-6p at 7577 Lake St**

School Data	Assessments	Tax	Pet Information
Elementary: Willard (90)	Amount: \$349	Amount: NEW	Pets Allowed: Cats OK, Dogs OK
2nd/Alternate: Lincoln	Frequency: Monthly	PIN: 15121170170000	Max Pet Weight: 999
Junior High: Roosevelt (90)	Special Assessments: No	Tax Year: 2017	
High School: Oak Park & River Forest (200)	Special Service Area: No	Tax Exmps: None	
	Master Association: No	Coop Tax Deduction:	
		Tax Deduction Year:	

Square Footage Comments:

Room Name	Size	Level	Flooring	Win Trmt	Room Name	Size	Level	Flooring	Win Trmt
Living Room	30X15	Main Level	Hardwood		Master Bedroom	25X12	Main Level	Carpet	
Dining Room	12X15	Main Level	Hardwood		2nd Bedroom	12X10	Main Level	Carpet	
Kitchen	13X15	Main Level	Hardwood		3rd Bedroom	13X10	Main Level	Carpet	
Family Room		Not Applicable			4th Bedroom		Not Applicable		
Laundry Room	6X3	Main Level	Vinyl		Foyer	6X9	Main Level	Hardwood	
Balcony	25X11	Main Level	Other		Terrace	25X11	Main Level	Other	

Interior Property Features: **Elevator, Hardwood Floors, 1st Floor Bedroom, 1st Floor Laundry, 1st Floor Full Bath, Walk-In Closet(s)**

Exterior Property Features: **Balcony**

Age: NEW Proposed Construction	Laundry Features: In Unit	Sewer: Sewer-Public
Type: Condo, Mid Rise (4-6 Stories)	Garage Ownership:	Water: Lake Michigan
Exposure:	Garage On Site: Yes	Const Opts:
Exterior: Stone, Concrete	Garage Type: Attached	General Info: None
Air Cond: Central Air	Garage Details: Garage Door Opener(s), Heated	Amenities: Elevator, Storage, Receiving Room
Heating: Gas	Parking Ownership:	Asmt Incl: Water, Common Insurance, Security, Exterior Maintenance, Scavenger, Snow Removal, Internet Access
Kitchen: Eating Area-Breakfast Bar, Galley, Island	Parking On Site:	HERS Index Score:
Appliances: Oven/Range, Microwave, Dishwasher, High End Refrigerator, Freezer, Washer, Dryer, Range Hood	Parking Details:	Green Disc:
Dining: Combined w/ LivRm	Parking Fee (High/Low): /	Green Rating Source:
Bath Amn: Double Sink, Soaking Tub	Driveway:	Green Feats:
Fireplace Details:	Basement Details: None	Sale Terms:
Fireplace Location:	Foundation: Concrete	Possession: Closing
Electricity:	Ext Bas/Fnd:	Est Occp Date: 10/31/2020
Equipment:	Roof: Rubber	Management: Manager Off-site
Additional Rooms: Foyer, Balcony, Terrace	Disability Access: Yes	Rural:
Other Structures:	Disability Details: Grab Bars in Bathroom(s), No Interior Steps, Disabled Parking, Wheelchair Adaptable	Addl. Sales Info.: None
	Lot Desc: Corner	Broker Owned/Interest: No
		Relist:
		Zero Lot Line:

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Tab 11

ENVIRONMENTAL REPORT

See Attached Phase 1 Report completed by Gabriel Environmental Services dated
September 27, 2012

GABRIEL

Environmental Services

PHASE I ENVIRONMENTAL SITE ASSESSMENT

Performed For

**Bridgeview Bank
1970 Halsted Street
Chicago, Illinois 60614**

On A Site Located At

**1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street
River Forest, Illinois 60305**

By

**Gabriel Environmental Services
1421 North Elston Avenue
Chicago, Illinois 60642
©2012**

Submitted on September 27, 2012 by:

**Meredith Horn, EP
Project Manager**

Reviewed by:

**Natalie K. Neuman, EP
Group Leader Assessment Services**

Project Number: 09-012-02
Gabhub/09-2012

Chicago

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Chicago, Illinois 60642
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Phone: (815) 332-8378
Fax: (815) 332-8377



Printed on recycled paper

NW Indiana

8522 Kennedy Avenue
Highland, IN 46322
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Fax: (219) 972-1211

Madison, WI

3700 Commerce Drive
Madison, WI 53719
Phone: (608) 826-4827
Fax: (608) 836-0817

SE Wisconsin

1500 S. Sylvania Avenue
Suite 112
Shunavert, WI 53177
Phone: (262) 886-9506
Fax: (262) 886-9510

Table of Contents

<u>Section</u>	<u>Page</u>
1.0 Introduction.....	1
2.0 Site Information.....	2
3.0 Regulatory Status and Environmental Conditions	19
4.0 Summary and Recommendations.....	39
5.0 Statement of Limitations.....	43
6.0 Appendices.....	44
A. Site Vicinity Exhibits	
B. Historical Documentation	
C. Regulatory Documentation	
D. Site Photographs	

1.0 Introduction

Gabriel Environmental Services was contacted by Mr. Alan Dalton of Bridgeview Bank (potential lenders) to conduct a Phase I Environmental Site Assessment (ESA) of the properties located at 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60305 (subject property). Gabriel personnel conducted the site inspection on Friday, September 14, 2012 escorted by Mr. Greg Reposh the Property Manager with Hearthstone Realty, the property management firm retained by the subject property ownership (Bonnie Brae Development, LLC).

This survey is being performed as part of the environmental due diligence requirements for the refinance of this property from Forest Park Bank to Bridgeview Bank, and should satisfy the requirements presented by the Bridgeview Bank. This report meets or exceeds the guidelines presented in the American Society of Testing and Materials (ASTM) Standard Practice of Environmental Site Assessments: Phase I Environmental Site Assessment Process (E1527-00), and the environmental audit requirements of the Illinois Environmental Protection Act with the exception of the fifty-year historical chain-of-title search. This report does not meet the requirements of an ASTM E1527-05 AAI Compliant Phase I Environmental Site Assessment.

During the course of our survey, performed under Gabriel Project #09-012-02, we have attempted to determine if any potential chemical and physical hazards are present on the site. We have also generally addressed the following issues:

- Site Information
- Surrounding Site Usage
- Regulatory Status and Environmental Conditions
- Air Emissions
- Asbestos
- Hazardous Wastes and Materials
- PCBs
- Soil Conditions
- Underground Storage Tanks
- Water Sources and Discharges
- Surrounding Regulatory Sites

Gabriel personnel conducted a visual examination of the subject property and surrounding structures, along with an interview with Mr. Greg Reposh the Property Manager with Hearthstone Realty, the property management firm retained by the subject property ownership and officials of the Village of River Forest, Cook County and the State of Illinois, as needed. No samples were collected as part of the scope of this Phase I ESA.

2.0 Site Information

2.1 Site Description

The subject property consists of ten (10) adjoining rectangular parcels that encompass a combined total of approximately 95,431 square feet. The subject property is located along the east side of Bonnie Brae Place and to the north and south of the intersection of Thomas Street, in the east-central portion of the Village of River Forest, Cook County, Illinois. River Forest is a suburb located approximately 10 miles west of downtown Chicago, Illinois.

A Plat of Survey was not provided to Gabriel for use in the preparation of this report. However, information supplied by the Cook County Assessor's Office (CCAO) and corroborated by documents provided by the Village of River Forest building department revealed that the subject property is identified by eleven (11) Permanent Real Estate Index Numbers (PINs). Additional information supplied by the CCAO is discussed in Section 2.2, Site History.

The subject property is improved with eight multi-unit residential buildings that include two duplexes/row houses (side by side units), four two-flats (vertical units), a six-unit and an eight unit apartment building (subject buildings). Each of the subject buildings are constructed of wood or metal-supported masonry and contain a basement. The subject buildings have a combined total of approximately 34,714 square feet of floor space. The subject property also includes an asphalt-paved parking lot at the northeast corner of Thomas Street and Bonnie Brae Place. Each of the residential parcels includes a wood frame wood or masonry one or two vehicle garage. The six-unit apartment building has a four car garage and a five vehicle garage is also located on the northeast portion of the parking lot parcel.

During the visual reconnaissance, Gabriel observed representative apartment units and garages. Gabriel observed at least one unit in each subject building with the exception of the two-unit row house at 1037-1039 Bonnie Brae Place which was inaccessible as the tenants were not home and no keys were available. Mr. Reposh reported that the units in the 1037-1039 Bonnie Brae structure were identical to those in the 1033-1035 Bonnie Brae building. Mr. Reposh added that the toured units in each building were representative of those in the remainder of each building.

There are no below grade or partially below grade or "garden style" apartments in any of the subject building basements. None of the subject buildings contain elevators.

A brief description of each of the subject buildings from south to north is as follows (see following page):

1033-1035 Bonnie Brae Place:

This is a two-story duplex or row house containing two side-by-side three bedroom and two and one-half bathroom residential units. It is constructed of wood and metal with a white brick veneer. The interior is finished with hardwood, carpet or ceramic or vinyl tiled floors and painted plaster and painted lath and plaster walls and ceilings.

The first floor of the building houses the kitchen, living and dining rooms and a half bathroom. The bedrooms and remaining bathrooms are located on the second floor. The basements are finished and contain a Sears combination forced air heating and cooling unit, a sump, laundry facilities and a 200-amp circuit breaker panel.

This property also includes a matching wood and white brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

1037-1039 Bonnie Brae Place:

As noted the interior of this structure was not provided at the time of the property visit as the tenants were not home and no keys were available. This is a two-story duplex or row house containing two side-by-side three bedroom and two and one-half bathroom residential units. It is constructed of wood and metal with a rust-colored brick veneer. The interior is reportedly similar to that noted in the 1033-1035 Bonnie Brae subject building.

This property also includes a matching wood and rust-colored brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

7221-7227 Thomas Street:

This is a two-story, eight-unit (all two-bedroom) apartment building constructed of metal supported concrete and wood with a rust-colored "Chicago common" brick veneer that is located at the southeast corner of the intersection of Thomas Street and Bonnie Brae Place. This building is accessed via several doorways along the north side of the structure (along Thomas Street) that lead to walk-up staircases (no elevator service).

The apartment units have a central living/dining room with an attached kitchen and a hallway that leads to the bedrooms and bathroom. The apartments are finished with hardwood floors, with 12" x 12" vinyl tiled kitchens and decorative ceramic tiled floors in the bathrooms. The walls and ceilings are painted drywall or painted lath and plaster.

Each of the apartments is serviced by a separate natural gas boiler located in the basement and the heat is dispersed through baseboard coils. Observations revealed that the basement is divided into four segments, each containing two side-by-side sets of a heating boiler and domestic hot water heater for the apartments. Of the eight boilers, three are newer 70,000 BTU/hour units manufactured by Pennco and the remaining five are older 75,000 BTU/hour units manufactured by Weil McLain.

The basement also contains the electric meters and 125-amp circuit breaker panels for each apartment. There are also several empty storage rooms located in the basement.

Two chimneys observed along the south exterior wall had metal doors indicating that they were historically used as incinerators. An approximate 2" pipe was noted extending from the east exterior wall of this structure. The pipe was cut several inches beyond the exterior wall and filled with concrete. Interior observations of this pipe that enters the basement revealed it was cut several inches from the wall. Several other circular holes were patched with concrete on the wall in the interior of the basement in the vicinity of the cut pipe. The nature of the pipe is unknown.

An approximate 12" circular metal cover observed in the lawn off the southwest corner of this building was reportedly associated with an in-ground sanitary sewerage ejector sump. Observations under the cover corroborated this information (see Site Photographs, Appendix D).

Asphalt-paved tenant parking is located along the south side of this building that is accessed from Bonnie Brae to the west (entrance) and Thomas Street to the north (exit).

1101-1109 Bonnie Brae Place:

This is an asphalt-paved parking lot located at the northeast corner of the intersection of Thomas Street and Bonnie Brae Place. An approximate 15' wide strip of land along the eastern edge of this parcel is covered with grass on the southern portion and a rust-colored five-vehicle wood supported wood garage on the northern portion. The garage is accessed via the alleyway to the east. The garage is leased to various tenants and the interior was not accessible.

1111-1113 Bonnie Brae Place:

This is a three-story, six-unit (all three-bedroom) apartment building constructed of metal supported concrete block and masonry with a rust-colored brick veneer. This building is accessed via several doorways along the south and east sides of the

structure that lead to walk-up staircases (no elevator service). These units have separate living and dining rooms, kitchen and hallway that leads to the bedrooms and bathroom. The apartments are finished with hardwood floors, with 12" x 12" vinyl tiled kitchens and decorative ceramic tiled floors in the bathrooms. The walls and ceilings are painted drywall or painted lath and plaster.

This building is serviced by a central natural gas hot water and radiator boiler system. The boiler is located in the southeast corner of the basement and is a 440,000 BTU output system manufactured by Weil McLean. The basement also houses the electric meters and 100-amp circuit breaker panels for each apartment and common area lighting.

Gabriel observed eight PVC pipes entering the south wall of the boiler room, located in the southeast corner of the subject building (see Site Photographs, Appendix D). The pipes terminated several inches inside the wall and were capped. The pipes were reportedly conduit associated with electrical service for lighting to the south adjacent parking lot (also part of the subject property). The lighting was reportedly never installed. Gabriel observed several of the PVC pipes exiting the ground surface in the decorative landscape in the parking lot.

A segment of copper piping (1/4 inch diameter) was observed to be extending through a basement window along the east side of the boiler room (see Site Photographs, Appendix D). The copper pipe was cut several feet from the inside and outside of the window. Although similar to an older fuel oil feed line, the nature of the pipe is unknown.

Gabriel observed a 2" metal capped pipe exiting the ground along the south exterior wall of the garage located on the eastern portion of this subject parcel (see Site Photographs, Appendix D). The adjacent ground surface appeared to be disturbed in this area. Interior observations of the garage did not reveal any interior piping. The nature of this pipe is unknown.

Gabriel also observed an approximate 12" circular metal cover off the southeast corner of this building. Observations under this cap revealed what appeared to be a metal lined pipe of similar diameter leading moist soil approximately 6 feet below grade. This structure appears to be associated with the sanitary sewer service; however, this was not confirmed. The nature this structure is unknown.

Two rectangular metal covers in the wall along the south side of this building appeared to be associated with old coal chutes. The adjacent areas in the basement are now used for tenant storage. Two approximate 12" circular metal covers located in the landscaping along the south side of the building were labeled as sewer covers.

As a note; a 1964 Village of River Forest Housing Survey & Zoning Survey denotes that the heating system at that time was hot water that operated on oil. See Section 2.2. for additional information.

1115-1117 Bonnie Brae Place:

This is a two-story, two-flat containing a three bedroom apartment on the first floor and a four-bedroom apartment on the second floor. It is constructed of wood and metal with a chestnut brick veneer. The interior is finished with hardwood, carpet or ceramic or vinyl tiled floors and painted lath and plaster walls and ceilings. These units contain full living and dining rooms.

The basement is divided into multiple rooms that area mostly unused. The basement also contains a shared laundry room and a boiler room that houses the central natural gas operated 175,000 BTU/hour boiler manufactured by Weil McLain. Water staining from some reported historical basement water/seepage was observed on the base of the basement walls. Minor mold growth was also observed.

As a note, an unidentified gauge box manufactured by the Transmission Machinery Company (see Site Photographs, Appendix D) was observed on the east wall of the laundry room. A glass-faced circular gauge on the unit had a red and green display with the needle on the green side. No markings denoting the nature of the gauge were observed. Electrical conduits exited from the gauge and entered into the wall to the east and down along the walls to an electrical junction box behind the washer along the north wall of the basement. The nature of the gauge is unknown.

This property also includes a matching chestnut brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

1119-1121 Bonnie Brae Place:

This is a two-story, two-flat containing a two-bedroom apartment on each floor. It is constructed of wood and metal with a chestnut brick veneer. The interior is finished with hardwood, carpet or ceramic or vinyl tiled floors and painted lath and plaster walls and ceilings. These units contain full living and dining rooms.

The basement is divided into multiple rooms that area mostly unused. The basement also contains a boiler room that houses the central natural gas operated 380,000 BTU/hour boiler manufactured by Weil McLain. The basement also contains the electric meters and 50-amp fuse boxes manufactured by Wadsworth.

This property also includes a matching chestnut brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

Gabriel observed a depression in the grass in the lawn to the west of this building. Documents provided by the River Forest Fire Department records indicate that a 2010 collapse in the lawn to the west of this building was due to the suspected presence of a heating oil underground storage tank (UST) in the lawn. See Section 3.6 for additional information.

1123-1125 Bonnie Brae Place:

This is a two-story, two-flat containing a three-bedroom apartment on each floor. It is constructed of wood and metal with a chestnut brick veneer. The interior is finished with hardwood, carpet or ceramic or vinyl tiled floors and painted lath and plaster walls and ceilings. These units contain full living and dining rooms.

The basement is divided into multiple rooms that area mostly unused. The basement also contains a boiler room that houses the central natural gas operated 240,000 BTU/hour boiler manufactured by Weil McLain. The basement also contains the electric meters and 100-amp fuse boxes manufactured by Wadsworth.

This property also includes a matching light tan brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

Gabriel observed a disturbed area in the lawn to the west of this building, near the sidewalk, just south of the driveway for the north adjacent property. Documents provided by the River Forest Fire Department included a 2010 inspection that noted "remove old fuel oil tanks when possible." The exact location of these tanks was not determined. See Section 3.6 for additional information.

1127 Bonnie Brae Place:

This is a two-story, two-flat containing a three-bedroom apartment on each floor. It is constructed of wood and metal with a chestnut brick veneer. The interior is finished with hardwood, carpet or ceramic or vinyl tiled floors and painted lath and plaster walls and ceilings. These units contain full living and dining rooms.

The basement is divided into multiple rooms that area mostly unused. The basement also contains a boiler room that houses the central natural gas operated 225,000

BTU/hour boiler manufactured by Dunkirk. The basement also contains the electric meters and 100-amp fuse boxes manufactured by Federal Pacific.

This property also includes a matching chestnut brick two-car garage located along the eastern side of the parcel that is accessed via a driveway extending from Bonnie Brae to the west.

As a note, piping indicative of underground storage tank (UST) emplacement was noted in the lawn to the west of this building. Information provided by the Village of River Forest corroborated the historical use of heating oil and suspected presence of USTs. See Section 3.6 for additional information.

The portions of the subject property not occupied by the subject buildings, associated garages, asphalt-paved parking lots and driveways, concrete driveways and walkways consist of decorative brick patios, decorative landscaping and lawns.

Wastes that are currently generated consist of domestic municipal refuse and recyclables. These are placed in dumpsters located along the alleyway and in the parking lot (8-unit apartment building) where they are removed by Roy Strom Refuse & Recycling, Inc.

Review of the 1997 USGS 7.5 minute topographic map titled *River Forest* revealed that the subject property is located approximately 630 feet above mean sea level and is relatively level in topography, with no significant grade change noted across the surface.

Photographs of the subject property, taken during Gabriel's inspection, are included in Appendix D- Subject Property Photographs.

2.2 Site History

The history of the site was investigated in order to determine whether previous usage of the property might affect current environmental conditions on the site. Gabriel contacted various sources including the following: an interview with Mr. Greg Reposh, Property Manager with Hearthstone Realty, the property management firm retained by the subject property ownership, officials of the Village of River Forest, the Northeast Illinois Planning Commission, Cook County and the library at the University of Illinois at Chicago. Historical documents, such as building permits, fire department files, Sanborn Fire Insurance Maps, historical USGS topographic maps and historical aerial photographs were also reviewed by Gabriel personnel.

Information supplied by Mr. Greg Reposh revealed that he has been the Property Manager since May 2011. The subject property has remained in the same general configuration since he has been the Property Manager. Mr. Reposh indicated that to the best of his knowledge, the subject properties have been residential since development. Mr. Reposh indicated that all of the heating systems currently operate on natural gas and that he was unaware of the current or historical presence of underground storage tanks. Minor repairs are conducted such as re-painting, carpet cleaning and general maintenance are done at the time of tenant turn over.

Gabriel submitted a Freedom of Information Act (FOIA) request to the Village of River Forest to review the building permit and fire inspection information pertaining to the subject property address range.

1033-1035 Bonnie Brae:

There were no permits in the "archived" (permits older than 10 years) folder for this property. The current file contained permits for a fence in 1997, a new roof in 2004 and new stairs in 2009. An excerpt of a Plat of Survey (no date or preparer information included) showed the subject property in its present-day configuration. No underground tanks were depicted on the Plat of Survey.

There were several Real Estate Transfer Tax documents included in the file that revealed that the 1033 address was sold by Mickey Mattox to Concordia University on December 13, 1999, from Concordia University to Nancy Duerr on June 16, 2004. Nancy Duerr sold the property to Bonnie Brae Development, LLC on October 28, 2005. The 1035 Bonnie Brae address was sold by Clifford T. Johnson to Concordia University on January 25, 2000 and from Concordia University to Bonnie Brae Development, LLC on June 28, 2005.

No record of underground storage tank installations and/or removals or indication of oil as a heating fuel source was found in the information provided. No fire inspection records were provided for this address range.

1037-1039 Bonnie Brae:

The "archived" permit file included documents that dated back to June 23, 1948, when a permit was issued to construct the present-day 14-room, two-family home. A Village of River Forest Housing Survey & Zoning Survey dated February 14, 1964 revealed that the heat at that time was provided by a natural gas operated hot air (forced air) system. Subsequent permits pertained to typical repairs. An excerpt of a Plat of Survey (no date or preparer information included) showed the subject property in its present-day configuration. No underground tanks were depicted on the Plat of Survey.

There were several Real Estate Transfer Tax documents included in the file that revealed that this property was sold by Kristy Kokenes to Michael M. O'Neill on December 21, 2004.

No record of underground storage tank installations and/or removals or indication of oil as a heating fuel source was found in the information provided. No fire inspection records were provided for this address range.

7221-7227 Thomas Street:

The "archived" permit file included documents that dated back to April 22, 1948; however, this was a file card with no specific information. It is believed that this document pertained to the construction of the present-day apartment building. A document issued in 1959 pertained to an inspection payment and various renter cards in the 1960s show the owner of this parcel during that period as Concordia College. The recent permit file indicated a new roof was permitted in 1998.

There were several Real Estate Transfer Tax documents included in the file that revealed that this property was sold by Concordia University to the Bonnie Brae Development Company, LLC on May 11, 2004.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010. The document revealed minor code violations.

No record of underground storage tank installations and/or removals or indication of oil as a heating fuel source was found in the information provided.

1101-1109 Bonnie Brae:

There were no "archived" permit files for this address range. The recent permit file indicated that the Metropolitan Water Reclamation District (MWRD) issued a permit to do construction under the sewer for the Thomas Street parking lot (undated). In September 1999, a permit was issued to resurface the lot. The owner at that time was listed as Bonnie Brae Development, LLC.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010. The document revealed that the property was a parking lot with a 5-car garage. The garage was not inspected at that time as it was rented out and no interior access was provided.

No record of underground storage tank installations and/or removals or indication of oil as a heating fuel source was found in the information provided.

1111-1113 Bonnie Brae:

The "archived" permit file dated back to May 7, 1926, when permit 940 was issued for the construction of an apartment building. Gabriel believes that this pertains to the present-day subject building. This building was converted to a six-unit apartment building in 1957-1958. The owner at that time was listed as Concordia Teacher's College. In 1983, the four-car garage was replaced.

A Real Estate Transfer Tax document dated April 14, 2004 indicated that this property was sold by Concordia University to the Bonnie Brae Development Company, LLC at that time.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010. The document revealed minor code violations. In addition, the River Forest Fire Department files included a Housing Survey & Zoning Survey dated May 18, 1964 (see copy, Appendix B) which revealed that the heat at that time was provided by a hot water boiler that operated on oil.

1115-1117 Bonnie Brae:

The "archived" permit file dated back to February 19, 1925, when permit 680 was issued for the construction of a brick two-flat. Gabriel believes that this pertains to the present-day subject building. Alterations were permitted in 1964 and the owner at that time was listed as Concordia Teacher's College.

A Real Estate Transfer Tax document dated April 14, 2004 indicated that this property was sold by the Lutheran Church-Missouri Synod to the Bonnie Brae Development Company, LLC at that time.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010. The document revealed minor code violations. In addition, the River Forest Fire Department files included a Housing Survey & Zoning Survey dated February 10, 1964 which revealed that the heat at that time was provided by a hot water boiler that operated on natural gas.

No record of underground storage tank installations and/or removals or indication of oil as a heating fuel source was found in the information provided.

1119-1121 Bonnie Brae:

The "archived" permit file dated back to December 18, 1924, when permit 1005 was issued for the construction of a brick two-flat. Gabriel believes that this pertains to the present-day subject building. Sump pumps were installed in 1958 and a new driveway was completed in 1962.

A Real Estate Transfer Tax document dated April 14, 2004 indicated that this property was sold by the Lutheran Church-Missouri Synod to the Bonnie Brae Development Company, LLC at that time.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). The document revealed minor code violations. In addition, hand-written notes reveal the suspected presence of an underground storage tank (UST) in a collapsed area in the yard located approximately 15 feet west of the building and 7 feet north of the driveway.

As a note, a Housing Survey & Zoning Survey dated July 13, 1964 which revealed that the heat at that time was provided by a hot water boiler that operated on natural gas.

1123-1125 Bonnie Brae:

The "archived" building permit file dated back to April 1, 1925, when permit 1057 was issued for the construction of a brick two-flat containing six rooms each. Gabriel believes that this pertains to the present-day subject building. Minor repairs were subsequently permitted at various times. An excerpt of a Plat of Survey (no date or preparer information included) showed the subject property in its present-day configuration. No underground tanks were depicted on the Plat of Survey.

A Real Estate Transfer Tax document dated April 13, 2004 indicated that this property was sold by Concordia University to the Bonnie Brae Development Company, LLC at that time.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). The document revealed minor code violations. In addition, hand-written notes indicate "remove old fuel oil tanks when possible." No information regarding the location of the oil tanks was provided. Interview remarks from the Fire Inspector Lt. David B. Wilken revealed that he could not recall the location of the tanks.

As a note, review of a Housing Survey & Zoning Survey dated February 28, 1964 revealed that the heat at that time was provided by a hot water boiler that operated on natural gas.

1127 Bonnie Brae:

The "archived" building permit file dated back to October 6, 1925, when permit 1123 was issued for the construction of a brick two-flat containing six rooms each. Gabriel believes that this pertains to the present-day subject building. Minor repairs were subsequently permitted at various times.

A Real Estate Transfer Tax document dated March, 2004 indicated that this property was sold by Concordia University to the Bonnie Brae Development Company, LLC at that time.

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). The document revealed minor code violations. In addition, hand-written notes indicate that a UST was suspected in the front lawn where one pipe was noted near the city walk, one pipe was noted near the shrubs and a vent was noted near the shrubs. These pipes were observed by Gabriel at the time of the property visit.

As a note, review of a Housing Survey & Zoning Survey dated August 1, 1962 revealed that the heat at that time was provided by a hot water boiler that operated on oil.

Sanborn Fire Insurance Maps (Sanborn Maps) are a useful tool in identifying past development and usage of a property in a historically developed area. Gabriel ordered a *Certified Sanborn Map Report* from Environmental Data Resources (EDR) of Milford, CT. Sanborn Maps for the years 1930, 1951 and 1975 were provided for review for the

subject property adjoining properties. Copies of the Sanborn Maps are included in Appendix B).

1930: A review of the earliest Sanborn Map shows the northern portion of the subject property including 1111 through 1127 Bonnie Brae to be improved with a three-story residential flat ("F") and four two-story dwellings ("D") and associated garage buildings ("A") similar to those observed during the property visit. The remaining properties comprising the central and southern portions of the subject property including 1033-1109 Bonnie Brae Place and 7221-7227 Thomas Street are undeveloped.

The north adjacent parcel is improved with a residential flat and an associated garage. The area to the east of the northern portion of the subject property (north of Thomas Street) is occupied by an alleyway followed by undeveloped land. The area to the east of the south portion of the subject property is undeveloped. Undeveloped land is located to the south of the subject property. Bonnie Brae Place borders the subject property to the west and is followed by dwellings that appear to be part of Concordia College.

1951: The next available Sanborn Map shows no major changes to the properties from 1111 through 1127 Bonnie Brae from that noted on the 1930 Sanborn Map. The parcel at the northeast corner of the intersection of Thomas Street and Bonnie Brae (1101-1109 Bonnie Brae), currently occupied by a parking lot and 5-car garage, is depicted as unimproved with the exception of a rectangular garage on the northeast portion. The southern portion of the subject property including the parcels at 7221-7227 Thomas Street and 1033-1039 Bonnie Brae are improved with two, two-unit dwellings and a residential flat. The entire subject property appears to be in its present-day configuration.

There were no major changes to the north and west adjoining properties on the 1951 Sanborn Map when compared to the 1930 Sanborn Map. The area to the east of the far northern portion of the subject property (1119-1127 Bonnie Brae) is bordered by an alleyway followed by undeveloped land. The area to the east of the north-central portion of the subject property (1101-1115 Bonnie Brae) is bordered by an alleyway followed by a three-story, U-shaped residential flat building. The area to the east of the south portion of the subject property (south of Thomas Street) is improved by a structure denoted as the West Suburban Temple Israel. The south adjacent property is improved with a two-unit residential building.

1975: There were no major changes to the subject property and adjoining properties on the 1975 Sanborn Map from that described on the 1951 Sanborn Map. One exception is the area to the east of the far north portion of the subject property,

which was improved with four-unit residential buildings similar to those observed during the property visit.

Based on a review of the Sanborn Maps, it appears that the subject property has been utilized exclusively for residential purposes. The buildings on the northern portion of the subject property (1111-1127 Bonnie Brae) were constructed prior to 1930 and those on the southern portion (1033-1039 Bonnie Brae and 7221-7227 Thomas) were constructed after 1930 but prior to 1951.

As a note, a filling station is depicted on the Sanborn Maps at the southwest corner of the intersection of Harlem Avenue and Division Street (denoted as 1140-1146 Harlem Avenue and 7201 Division Street). That site and the depicted tanks are located approximately 150 feet northeast of the subject property. That site is not identified on the environmental database as a registered underground storage tank or leaking underground storage tank site.

Based on its distance, anticipated flow of groundwater in the area (west, toward the Des Plaines River) and/or engineered barriers (building/roads), that site would not be expected to have a significant environmental impact on the subject property.

Historical aerial photographs were obtained for the years 1980, 1990 and 2001 from the Northeastern Illinois Planning Commission (NIPC) via the UIC main library located in Chicago, Illinois. On each of the aerial photographs reviewed, the subject and adjoining properties appeared similar to those observed during the property visit. Copies of the aerial photographs are included in Appendix B of this report.

Historical topographic maps including the area of the subject property, prepared by the United States Geological Survey (USGS), were also obtained at the UIC main library. The subject property is located within the River Forest, Illinois 7.5-minute quadrangle. The topographic maps available for review included the years: 1928, 1953, 1963, 1963, photorevised in 1972 and photorevised in 1978 and 1993 and 1997.

The earliest USGS map shows the subject property as unimproved land. The adjoining properties to the north, east and south were also unimproved. Bonnie Brae is depicted to the west and is followed by several square buildings shaded dark that appear residential in nature. These may be associated with the Concordia development farther west.

The subsequent USGS maps dated 1953, 1963, 1963 photorevised in 1972 and 1978, 1993 and 1997, show the area is located where individual, non-public structures were not specifically identified due to the high structure density in the region (areas shaded). However, the maps testified to the general development of the vicinity during this period.

As a note, Concordia College is depicted on the west adjoining property on all of the subsequent maps. Copies of the USGS maps are included in Appendix B of this report.

Information obtained from the Cook County Assessor's Office (CCAO) website reveals that the subject property is identified by eleven tax numbers or PINs. The following table summarizes the information provided by the CCAO (see following page):

Address	PIN (tax) Number	Comment
1033 Bonnie Brae Pl.	15-01-406-034-0000	Two-story masonry row style house, 67 years old, central air, 1,5481 square foot building on 5,481 square foot lot. One car detached garage.
1035 Bonnie Brae Pl.	15-01-406-033-0000	Two-story masonry row style house, 67 years old, central air, 1,546 square foot building on 5,618 square foot lot. One car detached lot.
1037 Bonnie Brae Pl.	15-01-406-024-0000	Two-story masonry row style house, 63 years old, central air, 1,931 square foot building on 11,100 square foot lot. No garage.
7221-7227 Thomas St.	15-01-406-022-0000	Eight-unit, 65 year old corridor or California style apartment. Approximate 8,798 square foot building on 10,131 square foot lot.
1101 Bonnie Brae Pl.	15-01-403-021-0000	9,250 square foot lot with unspecified minor improvements.
1107 Bonnie Brae Pl.	15-01-403-020-0000	Residential garage. 74 years old. 9,325 square foot lot.
1111 Bonnie Brae Pl.	15-01-403-019-0000	Two-story masonry building, two to six apartments, 86 years old, central air, 3,319 square foot building on 9,210 square foot lot. Two car detached garage.
1115 Bonnie Brae Pl.	15-01-403-018-0000	Two-story masonry residence two to six apartments, 86 years old, no central air, 3,138 square foot building on 9,216 square foot lot. Two car detached garage.
1119 Bonnie Brae Pl.	15-01-403-017-0000	Two-story masonry residence two to six apartments, 86 years old, no central air, 3,609 square foot building on 9,210 square foot lot. Three car detached garage.
1123 Bonnie Brae Pl.	15-01-403-016-0000	Two-story masonry residence two to six apartments, 86 years old, no central air, 3,531 square foot building on 9,212 square foot lot. Three car detached garage.
1127 Bonnie Brae Pl.	15-01-403-015-0000	Two-story masonry residence two to six apartments, 86 years old, no central air, 3,704 square foot building on 9,250 square foot lot. Two and one half car detached garage.

Gabriel ordered a *City Directory Image Report (CDIR)* from EDR in Milford, CT. The CDIR included information published by Haines Company, Inc., (Chicago West Suburban and Near West Suburban Volumes) from the years 1971, 1977, 1982, 1988, 1993, 2000, 2004 and 2009. A copy of the CDIR is included in Appendix B.

According to the CDIR, the addresses comprising the subject property were primarily occupied by individuals, indicating residential usage. Apple Compugraphics was listed at the address 1035 Bonnie Brae Place in the 1988 city directory and was likely a home office. Concordia University and individuals were listed at the 7227 Thomas address in the 2004 city directory; however, additional historical documents reveal that they were the owners of the building at that time and not the occupants.

The adjoining properties to the north and south were occupied by individuals indicating residential usage. The area to the west was occupied by individuals and buildings occupied by Concordia College and subsequently Concordia University. The CDIR did not include the east adjoining properties along Harlem Avenue.

A fifty-year historical chain-of-title search was not performed for the subject property because our client did not request it.

In summary, it appears that the properties comprising the northern portion of the subject property (1111-1127 Bonnie Brae Place) were developed with the present-day residential buildings in the 1920s. The properties comprising the southern portion of the subject property (1033-1039 Bonnie Brae Place and 7221-7227 Thomas Street) were unimproved land until development with the present-day residential buildings in the 1940s. The buildings comprising the subject property have remained in the same general configuration since construction and has been utilized exclusively for residential purposes.

2.3 Site Surroundings

Depending on usage, neighboring facilities can have a potential impact on the environmental conditions of the subject site. Because of this, a brief description of the surroundings and comment on any observations made of the surrounding activity during Gabriel's investigation is included with this report.

The subject property is located in a residential and institutional (Concordia University and West Suburban Temple Har Zion) area on the eastern edge side of River Forest, Illinois. According to the most recent (September 2010) River Forest Zoning Map available online (www.river-forest.us) the subject property is located in a Zoned R-4 "Multi-Family" District. The subject property is currently surrounded by the following:

- North: The subject property is bordered to the north by a three-story residential apartment building and associated garage.
- West: Bonnie Brae Place borders the subject property to the west that is followed by buildings associated with the Concordia University.
- South: The subject property is bordered to the south by a two-unit row-house residential building.
- East: A public alleyway borders the northern portion of the subject property (north of Thomas Street) to the east and is followed by a large "U"-shaped apartment building and several one-story, four unit apartment building. The southern portion of the subject property (south of Thomas Street) is bordered to the east by the West Suburban Temple Har Zion.

During this inspection, Gabriel personnel noted the surrounding site usage, and whether such would affect the environmental integrity of the property surveyed. At the time of Gabriel's inspection, there were no visual indications that the operations conducted on the surrounding properties were negatively impacting the environmental conditions of the subject site. None of the adjoining properties were identified on the environmental database with the exception of the Concordia University campus that occupies a large area to the west of Bonnie Brae. Buildings associated with Concordia University were identified on the environmental database as a registered UST site, LUST site (three incidents), RCRA Conditionally Exempt Small Quantity Generator (CESQG) of hazardous waste, Facility Index System (FINDS site) and Tier 2 site. See Sections 3.6 and 3.8 for further information on the adjoining and area properties.

3.0 Regulatory Status and Environmental Conditions

Ms. Meredith Horn an Environmental Professional (EP) of Gabriel Environmental Services Field Services Staff, surveyed the site on Friday, September 14, 2012, escorted by Mr. Greg Reposh the Property Manager with Hearthstone Realty, the property management firm retained by the subject property ownership (Bonnie Brae Development, LLC). During this survey, we attempted to assess the regulatory and environmental aspects of the property and surrounding sites. Our study focused on the following areas: air emissions, water sources and discharges, underground storage tanks, asbestos, hazardous wastes and materials, PCBs, soil conditions, and a regulatory agency documentation review of the subject property and surrounding sites. Each of these issues will be discussed in this section.

During the visual reconnaissance, Gabriel observed representative apartment units and garages. Gabriel observed at least one unit in each subject building with the exception of the two-unit row house at 1037-1039 Bonnie Brae Place which was inaccessible as the tenants were not home and no keys were available. Mr. Reposh reported that the units in the 1037-1039 Bonnie Brae structure were identical to those in the 1033-1035 Bonnie Brae building. Mr. Reposh added that the toured units in each building were representative of those in the remainder of each building. He added that all of the garages are similar with a poured concrete floor, wood or masonry walls and pitched wood roofs. The garages are unheated and leased to various tenants.

3.1 Air Emissions

The Clean Air Act (CAA), enacted in 1970 and most recently amended in 1990, seeks to protect the public's health and welfare by safeguarding and improving the quality of our air. Under the CAA, the EPA sets air quality standards and relies on the states to develop programs to attain those standards. While the CAA regulates both "stationary" and "mobile" sources of air pollution, the stationary source restrictions are of primary concern to business. All facilities must meet applicable permit requirements, even if that requires new control technologies in new or expanded facilities.

At the time of Gabriel's inspection, one type of air emission source, which may be regulated by the Illinois EPA (IEPA), was noted on the subject property. This source consisted of flue gas emissions generated from the natural gas fired boilers and forced air furnaces that service the buildings that occupy the subject property. The heating units observed were manufactured by several companies including Weil McLain, Dunkirk, Pennco and Sears. The output ratings ranged from 75,000 to 440,000 BTU/hour.

As this source is below 50 million BTU/hour threshold capacity for residential buildings (Section 201.146 [b][c]), an air permit would not be required at this time.

3.2 Asbestos

The site was inspected for asbestos in accordance with the USEPA guidelines set forth in the "Guidance for Controlling Asbestos Containing Materials in Buildings" issued in 1985. The purpose of this segment of our inspection was to identify the extent to which asbestos containing materials (ACM) were used, or subsequently added in the construction of the facility surveyed. It was the intention of our survey to only assess materials that are friable (as being crumbled, pulverized, or reducible to a powder with hand pressure). As a result, we have made no mention of items such as cement, or roofing materials. This inspection only covers building materials readily visible and accessible to our asbestos building inspector.

The following classifications of potential asbestos-containing materials were noted in the subject building at the time of the property visit:

Thermal System Insulation (TSI)

Piping covered with what appeared to be asbestos-containing insulating materials ("air cell" or "aero cell") and/or pressed paper was observed in several areas where the hot water heating system piping was exposed. These materials were noted in the basement of the 1119-1121 Bonnie Brae Place and 1111-1113 Bonnie Brae Place buildings. The materials observed were in good condition (see Site Photographs, Appendix D).

Based on the age of the subject buildings (circa 1920s and 1940s) and use of a hot water boiler system in each, with the exception of the 1033-1039 Bonnie Brae buildings, there is likely additional insulating material on pipes behind walls and above the ceilings.

Aero cell is a thermal insulation designed for use on domestic hot water pipes, low pressure steam heating systems, forced air heating duct work and boiler jacketing. Aero cell is normally fabricated from asbestos fibers that are impregnated into heavy corrugated cardboard, and can contain up to 50% chrysotile asbestos.

Pressed paper is a thermal insulation designed for use on domestic hot water pipes, and low pressure steam heating systems. Pressed paper is normally fabricated from layers of tightly wrapped paper and often containing one or two layers of asbestos-containing paper.

As a note, some of the pipe insulation observed was fiberglass, not a suspect ACM, with plastic elbows.

Miscellaneous Materials

Floor tiles and mastic

Vinyl floor tile (12" x 12") in a variety of colors and patterns was observed throughout the subject buildings, primarily in kitchens and some bathrooms. The tiling observed appeared to be in good condition at the time of this inspection. In addition, some mastic from removed 9" x 9" vinyl floor tile was observed in the basement of the 1119-1121 Bonnie Brae subject building (see Site Photographs, Appendix D).

Since the 1920's, asbestos mixed with asphalt and vinyl-based products created numerous varieties of linoleum and tile flooring. The mastic used to apply the tiles may also contain asbestos fibers. Although not in a friable state as is, asbestos flooring is likely to become friable when broken, scraped or sanded.

Ceiling Tiles

Several types of 1' x 1' adhesive ceiling tiles were observed in the subject buildings including in the basement of 1119-1121 Bonnie Brae Place, second floor residential unit in 1123-1125 Bonnie Brae Place and basement in the 1033 Bonnie Brae subject building. These materials were in good condition at the time of our inspection.

Asbestos fibers were used in some ceiling tiles prior to 1980 for acoustical sound absorbency and decoration. When glued, the adhesive also contained asbestos mixed with an asphalt base. Ceiling tiles will deteriorate with age, and are susceptible to water damage and air current erosion.

Surfacing Materials

The original walls and ceilings in the subject buildings appear to be lath and plaster. Occasionally, asbestos was added to plaster materials to improve adhesion and provide texture. The materials observed were in good condition at the time of the property visit.

Sheetrock was used in spot repairs in some areas of the subject buildings. This material could contain asbestos fibers. Additionally, joint compound and tape is typically utilized to seal seams between drywall panels. These materials could contain asbestos fibers. The materials observed were in good condition at the time of the property visit.

If renovations and/or demolition are planned in the future, Gabriel recommends conducting an asbestos survey prior to the commencement of any work. The sampling and analysis should be performed by an Illinois Department of Public Health (IDPH) licensed asbestos building inspector. All suspect or presumed or identified (through sampling) ACMs should be handled according to applicable federal, state and local regulations by a licensed asbestos contractor.

Additionally, Gabriel recommends the development, implementation and maintenance of an asbestos Operations & Maintenance (O&M) Plan, including updates as necessary to include any additional sampling results, suspect material replacement and any repair or abatement activities.

3.3 Hazardous Materials and Wastes

Gabriel personnel inspected the property for evidence of potentially hazardous materials being generated, stored, or disposed of on site. Under the Occupational Health and Safety Administration (OSHA) Hazard Communication Standard Final Rule employers must have a Material Safety Data Sheet (MSDS) for each hazardous chemical they use. Hazardous wastes are evaluated according to provisions set forth by the Resource Conservation and Recovery Act (RCRA see Section 3.8).

Hazardous Materials

No significant quantities of hazardous materials were observed in the subject buildings. Small retail sized containers of cleaning supplies and maintenance chemicals were observed in the apartments toured and the basement laundry rooms. No evidence of improper storage practices or staining was observed.

Lead Paint Hazards

Heavy metals have historically been added to paint to enhance their aesthetic appeal and longevity. Lead was historically used in paints to enhance hardness and high gloss. Lead-based paint was banned from household paint production in 1978. Painted surfaces containing lead which are flaking, peeling, and subject to wear, abrasion, and remodeling activities, including scraping, sanding, and burning, can result in lead dust release, leading to a potential health hazard by inhalation or ingestion.

The Lead-Based Paint Poisoning Prevention Act (LBPPPA) requires Public Housing Projects to be inspected for lead-based paint. Under the LBPPPA, a lead-based paint is defined as having a lead concentration of 0.5% (equivalent to 5,000 mg/kg).

Based on the dates of construction (circa the 1920s and the 1940s), there is a potential for LBP to be located in the subject buildings. At the time of this inspection, the painted surfaces appeared to be in relatively sound condition. If future plans include renovation or demolition activities that would disturb the paint, Gabriel recommends sampling and analysis be performed prior to the commencement of any work.

Hazardous Wastes

No hazardous wastes were observed to be generated on the subject property at the time of the property visit. The subject property was not identified in the environmental database as a RCRA generator of hazardous waste.

Non Hazardous Wastes:

Wastes currently generated at the subject property consist exclusively of household municipal wastes and recyclables. These are placed in receptacles in the alleyway to the east of the north portion of the subject property and in the parking lot and driveways of the properties on the south portion of the subject property. The materials are removed weekly by Roy Strom Refuse & Recycling, Inc. The materials are picked-up twice per week from the 6 and 8-unit apartment buildings.

For surrounding facilities that may generate or store hazardous wastes, see Section 3.8, RCRA.

3.4 Polychlorinated biphenyls, PCBs

PCBs are specifically regulated by the Toxic Substance Control Act (TSCA) of 1980. TSCA is charged with regulating the manufacturing of substances that it considers toxic and harmful to health and the environment. For this reason, our survey examines properties for items that could contain, or may have been contaminated with, PCBs. Although PCBs had many uses, the most widespread use was in the manufacture of nonflammable dielectric fluids (askarels) for electrical transformers, capacitors, and other liquid-cooled electrical equipment.

There are three transformers mounted on a utility pole to the east of the 7221-7227 Thomas Street subject building and three transformers mounted on a utility pole in the alleyway to the east of the 1123-1125 Bonnie Brae subject building. Labels indicating the units as non PCB-containing were observed on the units to the east of the 7221-7227 Thomas Street subject building; however, the remaining transformers were unlabeled. The units belong to Commonwealth Edison, who is responsible for their maintenance and

upkeep. At the time of Gabriel's inspection, the units appeared intact, with no staining or leakage noted.

In general, the electrical distribution equipment (circuit breaker panels, fuse boxes, switches and mains) is located by the electric meters in the basements of each subject building. The equipment was manufactured by several companies including Federal Pacific, Wadsworth, Siemen's and Square D. The sizes range from 75 to 200-amps. These types of standard, light duty equipment would not likely incorporate dielectric fluids or PCBs.

There are no elevators or hydraulic systems such as a compactor located in the subject buildings or on the property that would incorporate oils.

3.5 Soil Conditions

Soil Classification

Review of the 1970 Illinois State Geological Survey (ISGS) publication *Surficial Geology of the Chicago Region*, indicates that this property is underlain by the Park Ridge Moraine of the Lake Border System of the Wadsworth Member of the Wedron Formation. The Wadsworth Member of the Wedron Formation is characterized by the ISGS as: "mostly glacial till with lenses and beds of gravel, sand and silt. Includes all glacial till from the top of the surface to the underlying Morton Loess."

Soil boring data/logs were not available or provided to Gabriel for use in this report.

Radon

Radon is a colorless, odorless gas produced by the decay of radium, a radioactive element produced from the natural decay of uranium, shale, granite, phosphate, or pitchblende. Radon is a cause of lung cancer in the United States, and is a concern when offices or apartments are below grade. The subject buildings each contain basements but there are no apartments or living spaces in the basements and these areas are not routinely (daily) occupied.

The Illinois Department of Nuclear Safety recently conducted a statewide screening for indoor radon to determine whether there are particular regions within Illinois, which are more prone to indoor radon problems than others. The results of this study indicate that in tests conducted in Cook County, 17-21% exceed the EPA guideline of 4.0 pico Curies per liter (pCi/l).

If radon levels were to be determined at the subject site, preliminary screening can be performed using the relatively inexpensive canister method.

Visual Observations

The exterior of the subject property was inspected for evidence of dumping or of chemical or liquid spills. No evidence of such chemical spillage or dumping of hazardous materials was noted at the time of Gabriel's inspection.

The interiors of the subject buildings were also inspected for evidence of chemical or liquid spills. Chemical spills can contaminate the subsurface soil by seeping through cracks and seams in the floor. No visible evidence of significant chemical spills was noted in interior portions of the subject buildings during the visual reconnaissance.

Underground Storage Tanks:

Physical and/or documented evidence of the presence of underground storage tanks (USTs) and/or use of heating oil as a fuel source was found to be associated with four of the eight residential buildings that comprise the subject property. Given the age of the subject buildings (circa the 1920s and 1940s) and the prevalence of the historical use of oil as a heating fuel source in the area, the presence of tanks on the remaining properties is possible. See Section 3.6 below for a complete discussion of USTs on the subject property.

Adjacent USTs:

Gabriel observed a vent pipe extending from the asphalt surface of the west exterior wall of the apartment building to the east of the 1101-1117 portion of the subject property. A small pipe with a cover with a raised square was noted in the concrete directly west of the vent. These structures are indicative of UST emplacement and are located approximately 25-30 feet east of the subject property. To determine if the subject property has been impacted by this apparent tank system, a boring could be placed on the subject property adjacent to the suspected tank in conjunction with soil sampling and analysis recommended for the on-site USTs.

3.6 Underground Storage Tanks

Underground storage tanks (USTs) are an environmental concern if leakage or spillage has occurred. Leaking or overfilled USTs can contaminate the surrounding soil, as well as the groundwater. Our survey includes a search of the database provided by the Office of the State Fire Marshal (OSFM). We also visually inspect the site for obvious signs of

tank placement, such as gas pumps, fill ports, and manways. Not so obvious tank related items such as vent stacks, petrometers, pipes, valves, raised concrete, etc. are also included in our inspection.

On-Site USTs

A search of the OSFM database updated on May 1, 2012, was conducted by Gabriel using an Environmental Data Resources, Inc. (EDR)-Radius Map™ Report. The results of this search found no registered USTs at the subject property, although this does not preclude the chance that USTs may have been emplaced and not registered. A complete listing can be found in the Radius Map™ report included in Appendix C of this report.

As noted, physical and/or documented evidence of the presence of USTs and/or use of heating oil as a fuel source was found to be associated with at least four of the eight residential buildings that comprise the subject property. Additionally, an unidentified gauge was noted on the basement wall of an additional building comprising the subject property at 1115-1117 Bonnie Brae Place. Lastly, a cut pipe was noted exiting the east wall of the eight unit apartment building at 7221-7227 Thomas Street.

A description of the information and/or observations is detailed below:

1111-1113 Bonnie Brae Place (6-Unit apartment Building):

Information provided by the Village of River Forest Fire Department included a Housing Survey & Zoning Survey dated May 18, 1964 (see copy, Appendix B) which revealed that the heat at that time was provided by a hot water boiler that operated on oil.

Gabriel observed a 2" metal capped pipe exiting the ground along the south exterior wall of the garage located on the eastern portion of this subject parcel (see Site Photographs, Appendix D). The adjacent ground surface appeared to be disturbed in this area. The nature of this pipe is unknown.

Gabriel also observed an approximate 12" circular metal cover off the southeast corner of this building. Observations under this cap revealed what appeared to be a metal lined pipe of similar diameter leading to moist soil approximately 6 feet below grade. This structure appears to be associated with the sanitary sewer service; however, this was not confirmed. The nature this structure is unknown.

Additionally, a segment of copper piping (1/4 inch diameter) was observed to be extending through a basement window along the east side of the boiler room (see Site Photographs, Appendix D). The copper pipe was cut several feet from the inside and

outside of the window. Although similar to an old oil feed line, the nature of the pipe is unknown.

1115-1117 Bonnie Brae Place:

An unidentified gauge box manufactured by the Transmission Machinery Company (see Site Photographs, Appendix D) was observed on the east wall of the laundry room. A glass-faced circular gauge on the unit had a red and green display with the needle on the green side. No markings denoting the nature of the gauge were observed. Electrical conduits exited from the gauge and entered into the wall to the east and down along the walls to an electrical junction box behind the washer along the north wall of the basement. The nature of the gauge is unknown.

1119-11121 Bonnie Brae Place:

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). Hand-written notes reveal the suspected presence of an underground storage tank (UST) in a collapsed area in the yard located approximately 15 feet west of the building and 7 feet north of the driveway.

Observations of the yard to the west of this building revealed a low area in the grass and a small area of exposed soil in the northwest portion.

1123-1125 Bonnie Brae Place:

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). Hand-written notes indicate "remove old fuel oil tanks when possible." No information regarding the location of the oil tanks was provided. Interview remarks from the Fire Inspector Lt. David B. Witken revealed that he could not recall the location of the tanks.

Observations of the yard to the west of this building revealed an area of disturbance on the northwest portion.

1127 Bonnie Brae Place:

Information provided by the Village of River Forest Fire Department included a copy of the most recent fire inspection that is dated November 9, 2010 (see copy in Appendix B). Hand-written notes indicate that a UST was suspected in the front lawn where one pipe was noted near the city walk, one pipe was noted near the shrubs and a vent was noted

near the shrubs. These exterior pipes were observed by Gabriel at the time of the property visit (see Site Photographs, Appendix B).

In addition, Gabriel observed what appeared to be cut oil feed lines along the west wall of the basement in this building. Two one inch diameter capped pipes were noted in the basement floor, west of the current boiler. Gabriel also observed a 2" capped pipe extending approximately three feet from the floor in a tenant storage space in the basement, northeast of the boiler. See Site Photographs, Appendix D for pictures of these structures.

7221-7227 Thomas Street:

An approximate 2" pipe was noted extending from the east exterior wall of this structure. The pipe was cut several inches beyond the exterior wall and filled with concrete (see Site Photographs, Appendix B). Interior observations of this pipe that enters the basement revealed it was cut several inches from the wall. Several other circular holes were patched with concrete on the wall in the interior of the basement in the vicinity of the cut pipe. The nature of the pipe is unknown.

The physical and documented evidence of UST emplacement on the subject property represents a Recognized Environmental Condition (REC).

As a note, given the age of the subject buildings (circa the 1920s and 1940s) the historical use of oil as a heating fuel source is possible for the remaining buildings comprising the subject property. Should oil storage vessels (ASTs/USTs) subsequently be determined to be located on the subject property, they should be abandoned or removed following applicable regulations, including soil sampling and analysis as needed.

Adjacent Underground Storage Tank emplacement

A search of the OSFM database updated on May 1, 2012 was conducted by Gabriel using the EDR-Radius Map™ Report. The results of this search found **five** registered underground storage tank sites within one-eighth mile of the subject property and **no** registered USTs between one-eighth and one-quarter mile of the subject property. A complete listing can be found in the Radius Map™ report included in Appendix C of this report.

The closest site with registered USTs is listed in the database search as Concordia University at 7400 Augusta Street. The Concordia University campus occupies an area bordered by Division Street to the north, Augusta Street to the south, Bonnie Brae Place to the east (west adjacent property to the subject property) and Monroe Street to

the west. Due to the size of the campus, the exact location of the USTs on the campus and their proximity to the subject property could not be determined.

That site has been assigned facility number 2018928 and there are 10 USTs registered to that location. Two heating oil tanks, two gasoline tanks and a used oil tank retain "removed" statuses. The remaining four tanks listed as a 300-gallon diesel fuel, 1,000-gallon gasoline and two, 20,000-gallon heating oil USTs retain a "currently in use" status.

That site is included on the IEPA listing of LUST incidents (twice) under the name Concordia University and is discussed in that section below.

The remaining sites with registered USTs are located at least 150-200 feet from the subject property. Based on their distances, anticipated flow of groundwater in the area (west, toward the Des Plaines River) and/or engineered barriers (building/roads), those sites would not be expected to have a significant environmental impact on the subject property.

As a note, although not included on the environmental database, Gabriel observed a vent pipe extending from the asphalt surface of the west exterior wall of the apartment building to the east of the 1101-1117 portion of the subject property. A small pipe with a cover with a raised square was noted in the concrete directly west of the vent. These structures are indicative of UST emplacement and are located approximately 25-30 feet east of the subject property. To determine if the subject property has been impacted by this apparent tank system, a boring could be placed on the subject property adjacent to the suspected tank in conjunction with soil sampling and analysis recommended for the on-site USTs.

As a note, a filling station is depicted on the Sanborn Maps at the southwest corner of the intersection of Harlem Avenue and Division Street (denoted as 1140-1146 Harlem Avenue and 7201 Division Street). That site and the depicted tanks are located approximately 150 feet northeast of the subject property. That site is not identified on the environmental database as a registered underground storage tank or leaking underground storage tank site.

Based on its distance, anticipated flow of groundwater in the area (west, toward the Des Plaines River) and/or engineered barriers (building/roads), that site would not be expected to have a significant environmental impact on the subject property.

LUST Sites

The Illinois Environmental Protection Agency (IEPA) provides a list of Leaking Underground Storage Tanks (LUST) Incident Reports. This list of reported LUST sites is a non-verified, unconfirmed list, and should not be used or considered as a final Agency determination regarding whether releases have occurred at sites on the list. The Agency is in the process of confirming the type and size of release, if any, the proper owner or operator, and the location of each site.

A search of the IEPA LUST/LUST Trust Incident listings updated on March 22, 2012, was conducted by Gabriel using an EDR-Radius Map™ Report (see copy of report in Appendix C). The results of this search found **ten** LUST sites within a one-half mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60305. A complete listing can be found within the EDR Report, included in Appendix C.

The closest LUST sites (two) are listed as Concordia University at 7400 Augusta Street. The Concordia University campus occupies an area bordered by Division Street to the north, Augusta Street to the south, Bonnie Brae Place to the east (west adjacent property to the subject property) and Monroe Street to the west. Due to the size of the campus, the exact location of the USTs on the campus and their proximity to the subject property could not be determined. However, one of the LUST incidents (992045) was listed as the "south side of the service building."

There have been **three** LUST incidents on the Concordia Campus. LUST incident 992045 was related to a release of unspecified petroleum reported on August 30, 1999. The 20 and 45-Day Reports were received by the IEPA on September 22, 1999 and December 9, 1999, respectively. After review of the materials provided, the IEPA issued a No Further Remediation (NFR) Letter on June 26, 2000 indicating formal closure has been granted and that the agency no longer considers that release to pose a threat to human health or the environment.

LUST incident 991448 was related to releases of used oil and gasoline reported on June 16, 1999. The 20 and 45-Day Reports were received by the IEPA on July 8 and August 2, 1999, respectively. After review of the materials provided, the IEPA issued an NFR Letter on March 3, 2010, indicating formal closure has been granted and that the agency no longer considers the release to pose a threat to human health or the environment.

LUST incident 991449 was related to a release of fuel oil reported on June 16, 1999. The 20 and 45-Day Reports were received by the IEPA on July 8 and August 2, 1999, respectively. After review of the materials provided, the IEPA issued an NFR Letter on September 20, 1999, indicating formal closure has been granted and that the agency no longer considers the release to pose a threat to human health or the environment.

Based on the NFR statuses, anticipated flow of groundwater in the area (west, toward the Des Plaines River) and/or engineered barriers (building/roads), that site would not be expected to have a significant environmental impact on the subject property.

The next closest LUST site is listed as Shell Oil Company at 1145 North Harlem Avenue, located approximately 200 feet to the northeast of the subject property. The LUST incident was related to a release of gasoline reported on May 22, 1990 and incident number 901368 was subsequently assigned to the release. The IEPA received the 45-Day Report on March 31, 1994; however, the incident retains an "open" or unresolved status.

However, based on its distance, anticipated flow of groundwater in the area (west toward the Des Plaines River) and/or engineered barriers (building/roads), that site would not be expected to have a significant environmental impact on the subject property.

The remaining LUST sites are located in excess of approximately 300 feet from the subject property. Based on the anticipated flow of groundwater in the area (west, toward the Des Plaines River), NFR statuses, distances and/or engineered barriers (building/roads), those sites would not be expected to have a significant environmental impact on the subject property.

3.7 Water Sources and Discharges

The primary purpose of the Clean Water Act (CWA), enacted in 1972 and most recently amended in 1987, is to "restore and maintain the chemical and biological integrity of the nation's waters." Any company that discharges wastewater into the nation's "navigable waters" or a public sewer system must comply with CWA requirements. The CWA contains extensive enforcement measures. In addition to the "self enforcement" of businesses and publicly owned treatment works (POTWs) imposed by the CWA's monitoring and reporting requirements, the Act includes broad inspection powers and many enforcement approaches, including administrative orders, civil suits, and criminal prosecution.

Water Sources

The water supply for the subject site is from the City of Chicago Water Department via the Village of River Forest Water Department. This supply is from Lake Michigan, not wells, and the water is then treated prior to public consumption. According to Mr. Thomas Powers, Commissioner for the City of Chicago Department of Water Management, this source is in complete compliance with all the drinking water regulations set by the Safe

Drinking Water Act of 1986, the Federal Environmental Protection Agency, and the Illinois Environmental Protection Agency. This information is stated in a letter received by Gabriel Environmental Services from the City of Chicago Water Department. Copies of this letter are available upon request.

Wastewater Discharges

Wastewater discharges consist of sanitary and kitchen wastes. No grease traps were noted on the subject property. The effluent is discharged to the local water treatment authority. In Cook County, this agency is the Metropolitan Water Reclamation District of Greater Chicago (MWRDGC).

Based on the volume and type of discharges, the subject property at 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60305 would likely be exempt from special filing and pretreatment procedures. This does not, however, prohibit the local sanitary district from inspecting the premises. If such an inspection should turn up irregularities, the District could mandate a routine wastewater sampling of the effluent discharge.

Storm Water Discharges

On November 16, 1990, the USEPA published its final rule on National Pollutant Discharge Elimination System (NPDES) permitting of storm water discharges. All facilities included under the definition of "storm water discharge associated with industrial activity" must obtain an NPDES permit. Under this ruling, "storm water discharge associated with industrial activity" is defined as storm water directly related to manufacturing, processing or raw materials storage areas at an industrial plant. Regulated storm water includes discharges from industrial yards, immediate access roads, and rail lines used by carriers of raw materials, material-handling sites, refuse sites, etc., as described in the rule.

The subject property is located in an area with a "combined" sewer system (systems designed to convey municipal sanitary sewage and storm water). As such, the property is not required to file for this type of a NPDES permit for storm water discharge.

3.8 Surrounding Regulatory Sites

REGULATORY AGENCY RECORDS SEARCH SUMMARY CHART

Data Base	Search Radius	less than 1/8 mile	1/8-1/4 mile	1/4-1/2 mile	1/2-1 mile	Subject Site
UST	0.25 mile	5	0			N
LUST/LOST	0.50 mile	5	0	5		N
Trust						
RCRA	0.125 mile	4				N
RCRA TSD	1.00 mile	0	0	0		N
RCRA CORRACTS	1.00 mile	0	0	0	0	N
CERCLA	0.50 mile	0	0	0		N
CERCLA	0.25 mile	0	0			N
NFRAP						
NPL	1.00 mile	0	0	0	0	N
SSU	1.00 mile	0	0	0	0	N
SRP	0.50 mile	0	0	1		N
ERNS	0.125 mile	0				N
SWLF	0.50 mile	0	0	0		N
ILLINOIS DRYCLEANERS	0.125 mile	0				N
IL NIPC	0.50 mile	0	0	0		N

*Although not registered, physical and documented evidence of on-site USTs was found from other sources.

Definitions:

UST: Underground Storage Tanks

LUST: Leaking Underground Storage Tanks

RCRA: Resource Conservation and Recovery Act Notifiers excluding TSD facilities

RCRA TSD: Treatment, Storage, or Disposal Facility

CORRACTS: RCRA "Corrective Action" Site

CERCLA: Comprehensive Environmental Response, compensation, and Liabilities Act

NFRAP: "No Further Remedial Action Planned"

NPL: National Priorities List

SSU: State Sites Unit

SRP: State Site Remediation Program

ERNS: Emergency Response Notification System

SWLF: Solid Waste Disposal Sites/Landfill Sites/Incinerators, or transfer stations

DRY CLEANERS: Illinois dry cleaners facilities

IL NIPC: Historical Solid Waste Disposal Sites

The information below was provided in an EDR Radius Map™ Report and was reviewed by Gabriel technical staff prior to entry into the record.

The following summarizes information contained in EDRs database report following review by Gabriel personnel:

RCRA

The Resource Conservation and Recovery Act (RCRA) of 1976 implemented Federal and State programs for the regulation of land disposal of waste materials and the recovery of materials and energy resources from the waste stream. RCRA seeks to limit releases of hazardous waste into the environment by controlling the wastes from point of generation through to disposal ("cradle to grave"). RCRA permitted TSD facilities are sites, which treat, store, or dispose of RCRA wastes defined in 40 CFR 261.

RCRA generators are grouped into categories, depending on the amounts of hazardous wastes that are generated and the length of time these wastes are stored at the facilities. A site is listed as a Large Quantity Generator (LQG) if it generates in excess of 1,000 kg/month of non-acutely hazardous waste or over 1 kg/month of acutely hazardous waste. A site is listed as a Small Quantity Generator (SQG) if it produces between 100 kg and 1,000 kg of non-acutely hazardous wastes each month. A Conditionally Exempt Small Quantity Generator (CESQG) produces less than 100 kg/month of non-acutely hazardous waste or below 1 kg/month of acutely hazardous waste. Generators of hazardous waste must send their waste to a RCRA permitted TSD facility which either has interim authorization or has received its Part B permit.

A search of the IEPA RCRA Generator and TSD database updated on March 15, 2012, was conducted by Gabriel using an EDR-Radius Map™ Report (see copy of report in Appendix C). The results of this search found four generator sites within a one-eighth mile radius, no TSD sites and no CORRACTS sites (database updated August 19, 2011), within a one-mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

The subject property is not included on the database report as a RCRA generator of hazardous waste.

The closest RCRA generator site is a CESQG listed in the database as Concordia University at 7400 Augusta Street. As noted, the Concordia University campus occupies a large area to the west of the subject property. No visual indications of hazardous materials or wastes were noted on the Concordia University property when viewed from the public right of way. No violations were noted in the database report.

Provided that all hazardous materials and wastes are properly stored and disposed of at the RCRA sites, we would not expect them to have a significant environmental impact on the subject property.

No visual indications of hazardous materials or wastes were noted on the adjacent properties when viewed from the public right of way.

The remaining RCRA generator sites are located over 200 feet from the subject property. Provided that all hazardous materials and wastes are properly stored and disposed of at the RCRA sites, we would not expect them to have a significant environmental impact on the subject property.

CERCLA/CERCLA-NFRAP

The main focus of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) of 1980 and its amendments (the Superfund Amendments and Reauthorization Act - SARA) is also on hazardous substances. CERCLA and SARA promulgated and enacted Federal and State programs to initiate the cleanup of uncontrolled hazardous waste sites. These measures were enacted to assure the protection of human health and the environment.

CERCLIS (CERCLA Information System) is a computer database of sites that have been proposed to be investigated by the Environmental Protection Agency (EPA). Sites can be placed on the CERCLIS list for a variety of reasons. It should be noted, however, that a site included on a CERCLIS list does not necessarily pose a threat to the environment. An inspection of the site by qualified personnel is required before any conclusions can be made.

Once a site is put on the CERCLIS list, the EPA performs a preliminary assessment of the site. The preliminary assessment determines whether the site requires additional investigation, or whether no further action is needed. The site will remain on the CERCLIS list regardless of the outcome of the preliminary assessment.

A search of the EPA CERCLIS database, updated on December 27, 2011 and CERCLA-NFRAP database updated on December 28, 2011 was conducted by Gabriel using an EDR-Radius Map™ Report (see copy of report in Appendix C). The results of this search found **no** CERCLIS sites within a one-half mile radius and **no** CERCLA-NFRAP sites within a one-quarter mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

NPL

The National Priorities List (NPL) identifies and ranks targets for long-term remedial action. It is updated by the Environmental Protection Agency once a year. The NPL identifies the worst uncontrolled or abandoned hazardous waste sites in the United

States. Factors taken into consideration prior to national priority status include: the types and quantities of wastes involved, the number of people potentially exposed, the likely pathways of exposure, and the importance and vulnerability of the underlying supply of groundwater.

A search of the EPA NPL database, updated on May 8, 2012, was conducted by Gabriel using an EDR-Radius Map™ Report (see Appendix C). The results of this search found no sites within a one-mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

SSU

The State Response Action Program database identifies the status of all sites under the responsibility of the Illinois EPA's State Sites Unit. These are the state's equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with the sites where cleanup will be paid for by the potentially responsible parties.

A search of the IEPA SSU database, updated on July 10, 2012, was conducted by Gabriel utilizing the EDR Radius Map™ Report. The results of this search found no sites within a one-mile radius of the subject site located at 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

SRP

A search of the IEPA SRP database, updated on July 20, 2012, was conducted by Gabriel using an EDR-Radius Map™ Report (see copy of report in Appendix C). The results of this search found one SRP site within a one-half mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

The SRP site is identified as Harlem Associates at 1515 North Harlem Avenue, located approximately 2,300 feet north of the subject property. That site is also included on the LUST and UST databases. The SRP case has been assigned identification number 0312255139 and enrolled in the program on December 10, 2001. The case was issued an NFR Letter on March 6, 2002, indicating formal closure has been granted and that the agency no longer considers the release to pose a threat to human health or the environment.

Based on the NFR status, distance, anticipated flow of groundwater in the area (west, toward the Des Plaines River) and/or the engineered barriers (roads, buildings), that

SRP site would not be expected to have a significant environmental impact on the subject property.

ERNS

The ERNS List is the EPA's Emergency Response Notification System List of reported CERCLA hazardous substance releases or spills in quantities greater than the reportable quantity, as maintained at the National Response Center. Notification requirements for such releases or spills are codified in 40 CFR Parts 302 and 355.

A search of the ERNS and state spill listings, updated on April 2, 2012, was conducted by Gabriel using an EDR-Radius Map™ Report (see copy of report in Appendix C). The results of this search found no sites within a one-eighth mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

Current Solid Waste Facilities

Gabriel reviewed the Solid Waste Disposal Facilities Accepting Municipal Waste map provided by the Northeastern Illinois Planning Commission, along with the "Available Disposal Capacity for Solid Waste in Illinois" report, compiled by the Solid Waste Management Section of the IEPA, and last published in March, 1994. "Solid wastes" refers to non-hazardous residential, commercial, institutional, and industrial solid waste that is commonly disposed of in general waste landfills. The map does not include wastes such as demolition materials or special industrial process wastes that are disposed of in other than general waste landfills. Nor are issues related to private on-site disposal of waste by industrial or other establishments included.

No solid waste disposal facilities currently accepting waste are located within a one-half mile radius of the subject property.

A search of the IEPA listing of solid waste landfills, incinerators, and transfer stations, updated on various dates, was also conducted by Gabriel under an EDR-Radius Map™ (see copy of report in Appendix C). The results of this search found no sites within a one-half mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

IL NIPC

A map and table titled "Historical Inventory of Solid Waste Disposal Sites in Northeastern Illinois - "Cook County" were obtained from the Northeastern Illinois Planning Commission. The sites on this listing were identified in a survey conducted in 1987 by NIPC and are generalized to the quarter square mile in which they were said to be

located. The sites indicated on the map are solid or liquid waste dump sites and do not include hazardous materials manufacturing sites unless information was available that significant disposal or waste occurred on-site.

Based on a review of this information as provided by EDR, no sites were identified to lie within a one-half mile radius of 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60503.

4.0 Summary and Recommendations

This Phase I Environmental Site Assessment was requested by Mr. Alan Dalton of Bridgeview Bank to conduct a Phase I Environmental Site Assessment (ESA) of the property located at 1033-1127 Bonnie Brae Place and 7221-7227 Thomas Street, River Forest, Illinois 60305 (subject property). Gabriel personnel conducted the site inspection on Friday, September 14, 2012 escorted by Mr. Greg Reposh the Property Manager with Hearthstone Realty, the property management firm retained by the subject property ownership (Bonnie Brae Development, LLC).

The subject property consists of ten (10) adjoining rectangular parcels that encompass a combined total of approximately 95,431 square feet. The subject property is located along the east side of Bonnie Brae Place and to the north and south of the intersection of Thomas Street. It is improved with eight multi-unit residential buildings that include two duplexes/row houses (side by side units), four two-flats (vertical units), a six-unit and an eight unit apartment buildings (subject buildings). Each of the subject buildings are constructed of wood or metal-supported masonry and contain a basement. The subject buildings have a combined total of approximately 34,714 square feet of floor space. The subject property also includes an asphalt-paved parking lot at the northeast corner of Thomas Street and Bonnie Brae Place. Each of the residential parcels includes a wood frame wood or masonry garage. A five vehicle garage is also located on the northeast portion of the parking lot parcel.

Historical records indicate that the properties comprising the northern portion of the subject property (1111-1127 Bonnie Brae Place) were developed with the present-day residential buildings in the 1920s. The properties comprising the southern portion of the subject property (1033-1039 Bonnie Brae Place and 7221-7227 Thomas Street) were unimproved land until development with the present-day residential buildings in the 1940s. The buildings comprising the subject property have remained in the same general configuration since construction and have been utilized exclusively for residential purposes.

Physical and/or documented evidence of the presence of underground storage tanks (USTs) and/or use of heating oil as a fuel source was found to be associated with at least four of the eight residential buildings that comprise the subject property. Given the age of the subject buildings (circa the 1920s and 1940s) and the prevalence of the historical use of oil as a heating fuel source in the area, the presence of tanks on the remaining properties is possible.

As a note, information provided by the client revealed that the current and former ownership (Bonnie Brae Development, LLC and Concordia University, per the Village of River Forest records) are aware of at least one UST on the subject property; however, to date no previous environmental information has been provided to Gabriel for review. It is unclear whether the tank known by the owners corresponds to those identified by Gabriel.

Following completion of this Phase I ESA, we found the following known or suspect recognized environmental conditions (RECs) at the subject site:

On-Site USTs:

Physical and/or documented evidence of the presence of USTs and/or use of heating oil as a fuel source was found to be associated with at least four of the eight residential buildings (1111-1113 and 1119-1127 Bonnie Brae) that comprise the subject property. In addition, unidentified gauging was noted on the basement wall of an additional building comprising the subject property (1115-1117 Bonnie Brae). Lastly, the nature of a cut pipe noted exiting the east wall of the eight unit apartment building at 7221-7227 Thomas Street is unknown. Refer to Section 3.6 for a complete discussion of UST emplacement.

Gabriel recommends proper removal/closure of the UST(s) likely located in the lawn to the west of the 1127 Bonnie Brae subject building, including soil sampling and analysis.

Gabriel recommends conducting a magnetic or ground penetrating radar (GPR) survey of the 1123-1125 Bonnie Brae property in an effort to determine the location of oil tanks documented in a 2010 River Forest Fire Department Inspection file. Gabriel observed a disturbance in the lawn to the west of this building, near the sidewalk.

Gabriel recommends conducting a magnetic or GPR survey of the area of the lawn to the west of the 1119-1121 Bonnie Brae subject building, in the area of the ground collapse/suspected UST documented in the River Forest Fire Department records. If a tank is discovered, it should be removed following applicable regulations. Regardless of the results of the magnetic or GPR survey, a subsurface investigation is recommended for this area.

Gabriel recommends further investigation into the nature of the gauge observed on the east wall of the basement laundry room in the 1115-1117 Bonnie Brae subject building. Due to the age of the building and use of heating oil in the area, Gabriel recommends conducting a magnetic or GPR survey on this parcel.

Gabriel recommends further investigation into the nature of the capped pipe extending from the ground surface along the south exterior wall of the garage on the 1111-1113 subject property (six unit apartment building). Additionally, Gabriel recommends further investigation into the nature of the 12" diameter pipe off the southeast corner of this building and the terminated copper piping entering the boiler room window. If any of these structures are determined to be associated with UST emplacement, Gabriel would recommend proper removal or closure of the tank(s) including soil sampling and analysis. Gabriel recommends conducting a magnetic or GPR survey on the remainder of this property.

Due to the age (circa 1940s) of the remaining subject properties (1033-1039 Bonnie Brae and 7221-7227 Thomas) and the prevalence of the historical use of oil as a heating fuel source in the area, Gabriel recommends conducting a magnetic or GPR survey on these properties.

Should oil or other storage vessels (ASTs/USTs) subsequently be determined to be located on the subject property, they should be abandoned or removed following applicable regulations, including soil sampling and analysis as needed.

Adjacent UST:

Gabriel observed a vent pipe extending from the asphalt surface of the west exterior wall of the apartment building to the east of the 1101-1117 portion of the subject property. A small pipe with a cover with a raised square was noted in the concrete directly west of the vent. These structures are indicative of UST emplacement and are located approximately 25-30 feet east of the subject property. To determine if the subject property has been impacted by this apparent tank system, a soil boring could be placed on the subject property adjacent to the suspected tank, in conjunction with soil sampling and analysis recommended for the on-site USTs.

Business Environmental Risk

Although not technically RECs, the following areas may pose a business environmental risk or additional cost to the subject site.

Asbestos Containing Materials (ACMs):

Based on the dates of construction (1920s and 1940s), it is possible for ACMs to be located in the subject buildings. Suspect and presumed asbestos-containing materials were observed in the subject buildings and included thermal system insulation in the form of pipe lagging (insulation), vinyl floor tile and associated mastic, adhesive ceiling

tile, plaster, drywall and joint compound. The materials observed were in good condition.

If renovations and/or demolition are planned in the future that would disturb the suspect or presumed ACMs, Gabriel recommends conducting an asbestos survey prior to the commencement of any work. The sampling and analysis should be performed by an Illinois Department of Public Health (IDPH) licensed asbestos building inspector. All suspect or presumed or identified (through sampling) ACMs should be handled according to applicable federal, state and local regulations by a licensed asbestos contractor.

Additionally, Gabriel recommends the development, implementation and maintenance of an asbestos Operations & Maintenance (O&M) Plan, including updates as necessary to include any additional sampling results, suspect material replacement and any repair or abatement activities.

Lead-Based Paint (LBP):

Based on the 1920s and 1940s dates of construction, it is possible that the painted surfaces in the subject buildings contain LBP, however, only sampling and analysis could confirm this contention.

At the time of this inspection, the painted surfaces observed in the accessible portions of the subject building appeared to be in relatively sound condition. If future plans include renovation or demolition activities that would disturb the paint, Gabriel recommends sampling and analysis be performed prior to the commencement of any work.

5.0 Statement of Limitations

The environmental assessment detailed in this report has been performed in accordance with generally accepted methods and practices of the environmental laboratory engineering profession. The scope and depth of this study were as directed, and as agreed to, by the client.

Gabriel uses experienced and trained professionals in attempting to locate and identify hazardous materials or conditions. We do not warrant that all such materials have been identified. It is possible that some materials containing a hazardous substance were not visible or accessible to the surveyor, or, for various other reasons, were not sampled.

All findings are based on documentary review, conversations, and analytical data proved by the laboratory as noted in this report. These findings are not to be considered scientific certainties. The intent of this study was to identify environmental concerns, which would be obvious to a skilled, knowledgeable professional applying accepted standards. This report is not intended to represent an exhaustive research of all potential hazards that may exist at this site.

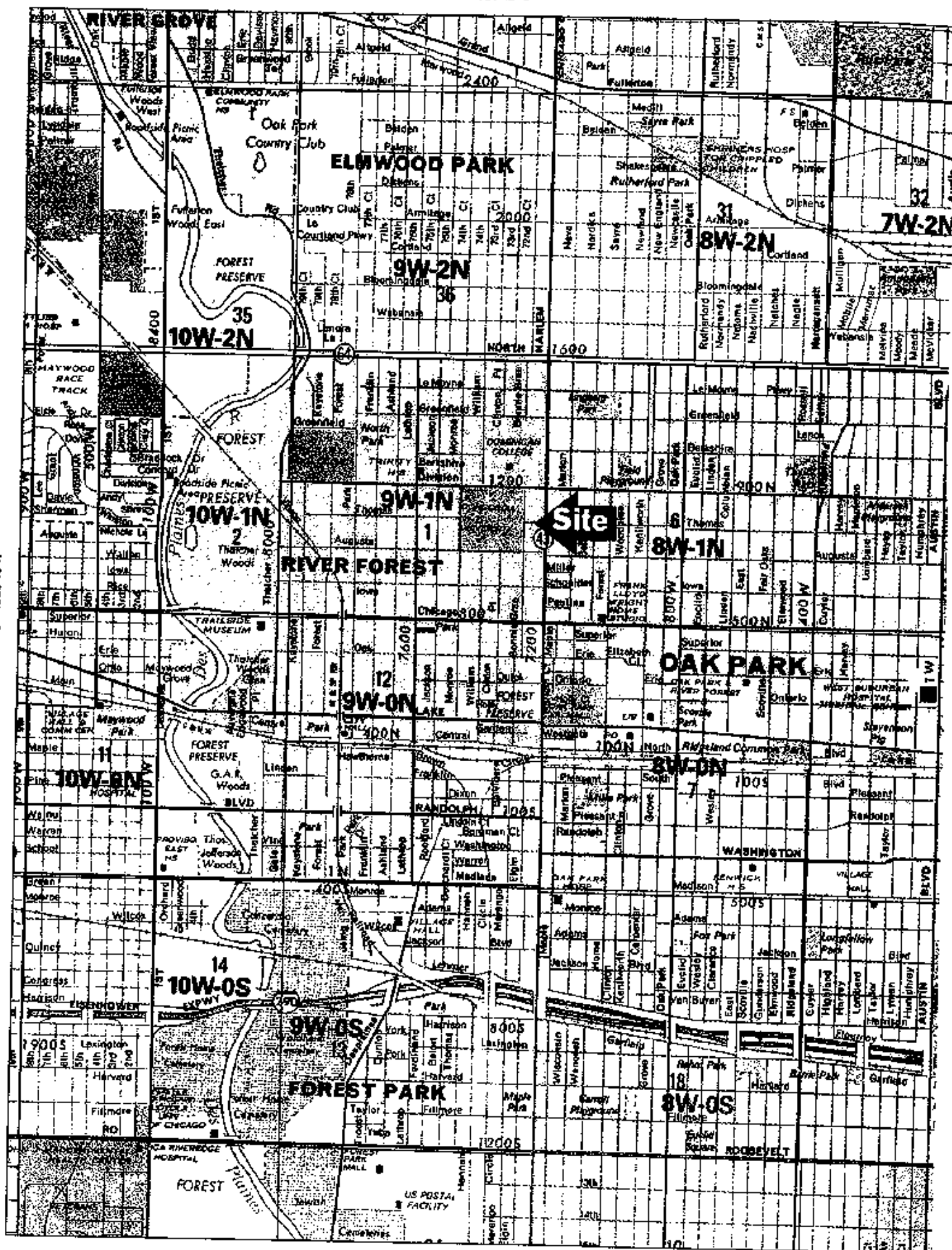
This report also does not purport to be representative of future conditions or events. Activities, which transpire subsequent to this report, which result in adverse environmental impacts, are not to be construed as relevant to this study.

This report has been performed for the exclusive use of the client. Our report and its findings shall not, in whole or part, be disseminated to any other party, nor be used by any other party without prior written consent by Gabriel Environmental Services.

6.0 Appendices

- A. Site Vicinity Exhibits**
- B. Historical Documentation**
- C. Regulatory and Interview Documentation**
- D. Site Photographs**

APPENDIX A: SUBJECT SITE EXHIBITS



SEE PAGES 46-47

APPENDIX B: HISTORICAL DOCUMENTATION

1033-1127 Bonnie Brae Place/7227 Thomas Street
1033-1127 Bonnie Brae Place/7227 Thomas Street
River Forest, IL 60305

Inquiry Number: 3416969.3
September 25, 2012

Certified Sanborn® Map Report



440 Wheelers Farms Road
Milford, CT 06461
800.352.0650
www.edrnet.com

Tab 12

IMPACT ON VILLAGE SERVICES

The proposed development will cater to mostly young couples and empty nesters, who, either can't afford or no longer need larger single family homes and prefer to live townhouses offering close neighbor community, comfortable living areas and no responsibility for building and grounds maintenance.

Therefore, we anticipate that there will be few children of school age in the development and no impact on area schools. The attached School Age Children Generation Report (Tab10) that we commissioned, indicated 2 school age children.

Additionally, based on the buyer profile, we anticipate virtually no impact on police services.

The buildings will be serviced by a private waste disposal contractor.

Other, fee based services may include miscellaneous building permits.

The Developer consulted with local development experts – two prominent realtors and one Architect/Developer. Their opinion letters are attached (Tab 10).

Tab 13

OFF-SITE UTILITY IMPROVEMENTS

SITE DRAINAGE PLAN

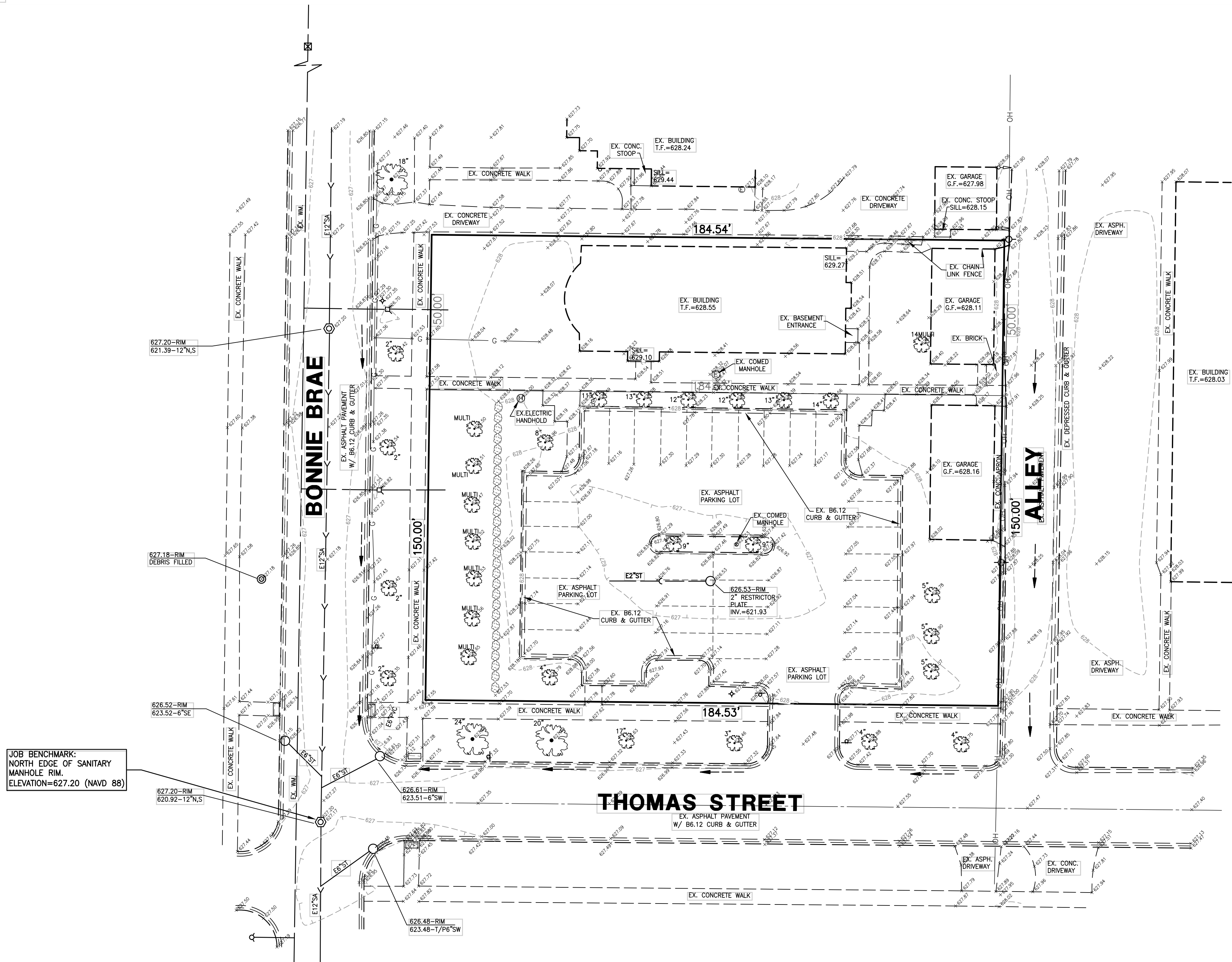
FIRE TRUCK TURN-IN EXHIBIT

The proposed development will not generate a need in additional off-site improvements, such as traffic signals, turn lanes, additional sewer lines and water main capacities, off-site storm water detention, etc.

**Attached to this Application, please find the Civil
drawings completed by Greengard, Inc dated 11/26/19**

LEGAL DESCRIPTION

LOTS 14,15 AND 16 IN GREY AND BRAESE'S RESUBDIVISION OF BLOCK 1 IN THE SUBDIVISION OF BLOCKS 1,8,9,10,11,14,15 AND 16 IN BOGU'S ADDITION TO OAK PARK BEING A SUBDIVISION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 AND THE EAST ONE THIRD OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SOURCE BENCHMARK:
NGS MONUMENT "ME1649" LOCATED AT
6478 W. NORTH AVENUE ±50' EAST
OF NATCHES AVENUE.
ELEVATION=643.63 (NAVD 88)

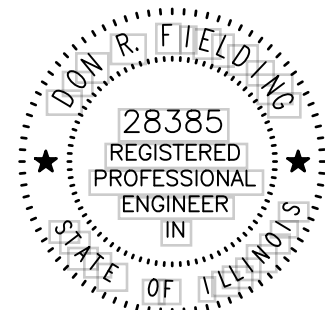
JOB BENCHMARK:
NORTH EDGE OF SANITARY
MANHOLE RIM.
ELEVATION=627.20 (NAVD 88)

LEGEND

- 104--- CONTOUR
- × 105.08 SPOT ELEVATION
- 10' DECIDUOUS TREE W/DIA.
- 12' CONIFEROUS TREE W/DIA.
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- WATER SERVICE BOX
- VALVE & VAULT
- FIRE HYDRANT
- UTILITY POLE
- LIGHT STANDARD
- STORM CULVERT
- E8"SA--- SANITARY SEWER
- E12"ST--- STORM SEWER
- E6"W--- WATER MAIN
- DITCH
- SWALE
- DIRECTION SURFACE DRAINAGE
- FENCE
- DOWNSPOUT

NOTE

BOUNDARY TAKEN FROM PLAT OF SURVEY PREPARED BY CHICAGOLAND SURVEY COMPANY, INC., DATED JULY 28, 2015.
BOUNDARY SHOWN IS ONLY AN ESTIMATE.
THIS DRAWING IS NOT A PLAT OF SURVEY.



Don R. Felling P.E.
SIGNATURE
02-07-20
DATE
EXPIRES 11-30-21

0 20 40 60 80
SCALE IN FEET

SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE, IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

DRAWN BY: DATE:

REVISIONS:

DRAWN BY: DATE:

REVISIONS:

DESIGNED BY: DMW/MRT DATE: 11-26-19
CHECKED BY: DMW DATE: 11-26-19
APPROVED BY: DRT DATE: 11-26-19



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

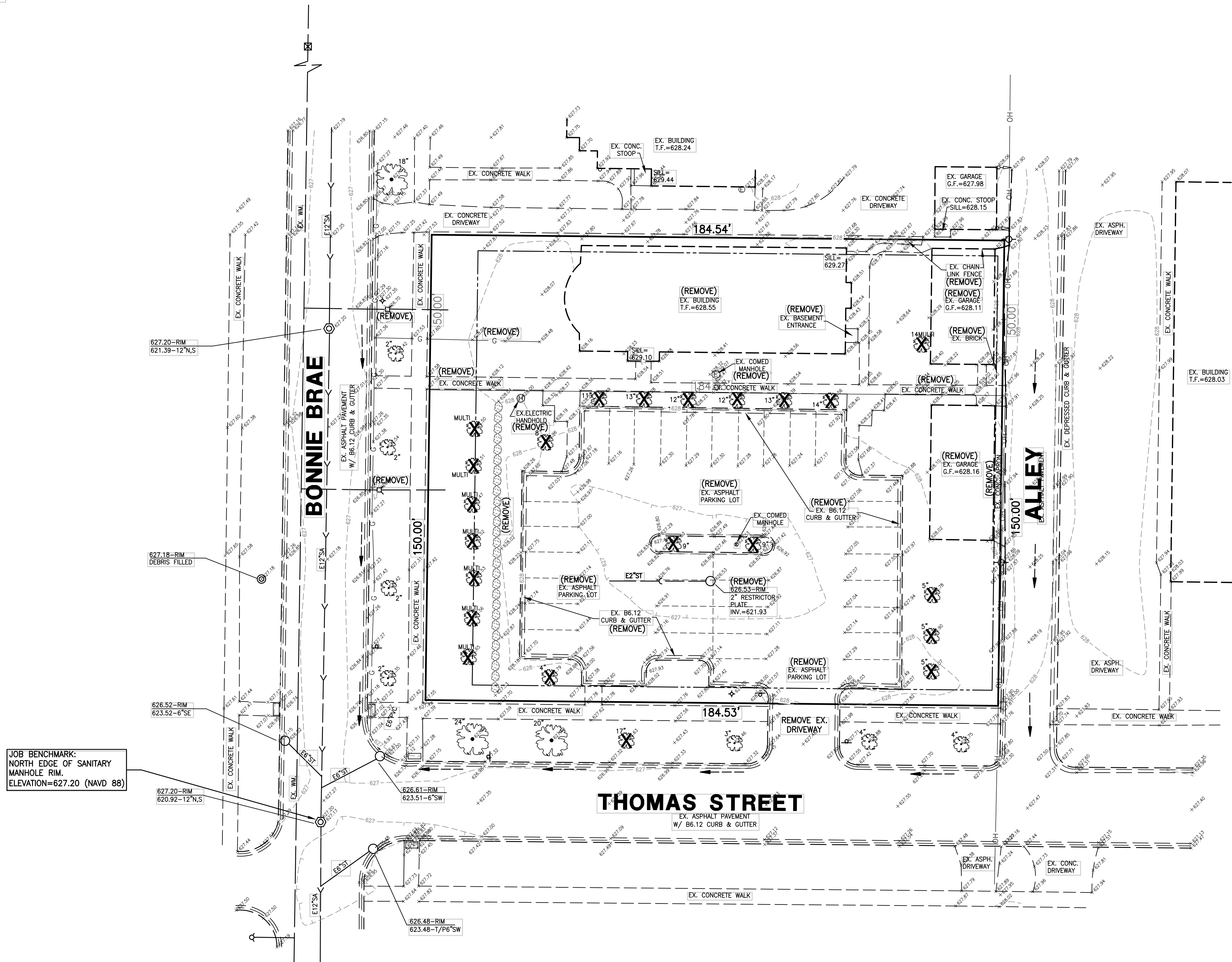
SCALE: 1"=20'
DRAWING NO: 61246
SHEET 1 OF 3

1101 BONNIE BRAE PLACE -- RIVER FOREST, ILL.

EXISTING TOPOGRAPHY

LEGAL DESCRIPTION

LOTS 14,15 AND 16 IN GREY AND BRAESE'S RESUBDIVISION OF BLOCK 1 IN THE SUBDIVISION OF BLOCKS 1,8,9,10,11,14,15 AND 16 IN BOGU'S ADDITION TO OAK PARK BEING A SUBDIVISION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 AND THE EAST ONE THIRD OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SOURCE BENCHMARK:
NGS MONUMENT "ME1649" LOCATED AT
6478 W. NORTH AVENUE ±50' EAST
OF NATCHES AVENUE.
ELEVATION=643.63 (NAVD 88)

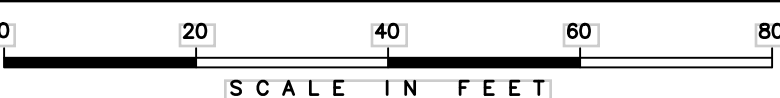
JOB BENCHMARK:
NORTH EDGE OF SANITARY
MANHOLE RIM.
ELEVATION=627.20 (NAVD 88)

LEGEND

- 104--- CONTOUR
- × 105.08 SPOT ELEVATION
- ⊙ 10" DECIDUOUS TREE W/DIA.
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- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ CATCH BASIN
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- ⊙ LIGHT STANDARD
- ⊙ STORM CULVERT
- E8"SA--- SANITARY SEWER
- E12"ST--- STORM SEWER
- E6"WM--- WATER MAIN
- DITCH
- SWALE
- DIRECTION SURFACE DRAINAGE
- FENCE
- ⊙ DOWNSPOUT

NOTE

BOUNDARY TAKEN FROM PLAT OF SURVEY PREPARED BY CHICAGOLAND SURVEY COMPANY, INC., DATED JULY 28, 2015.
BOUNDARY SHOWN IS ONLY AN ESTIMATE.
THIS DRAWING IS NOT A PLAT OF SURVEY.



DRAWN BY: DATE:

REVISIONS:

DRAWN BY: DATE:

REVISIONS:

DESIGNED BY: DATE: 11-26-19
CHECKED BY: DATE: 11-26-19
APPROVED BY: DATE: 11-26-19
DRF



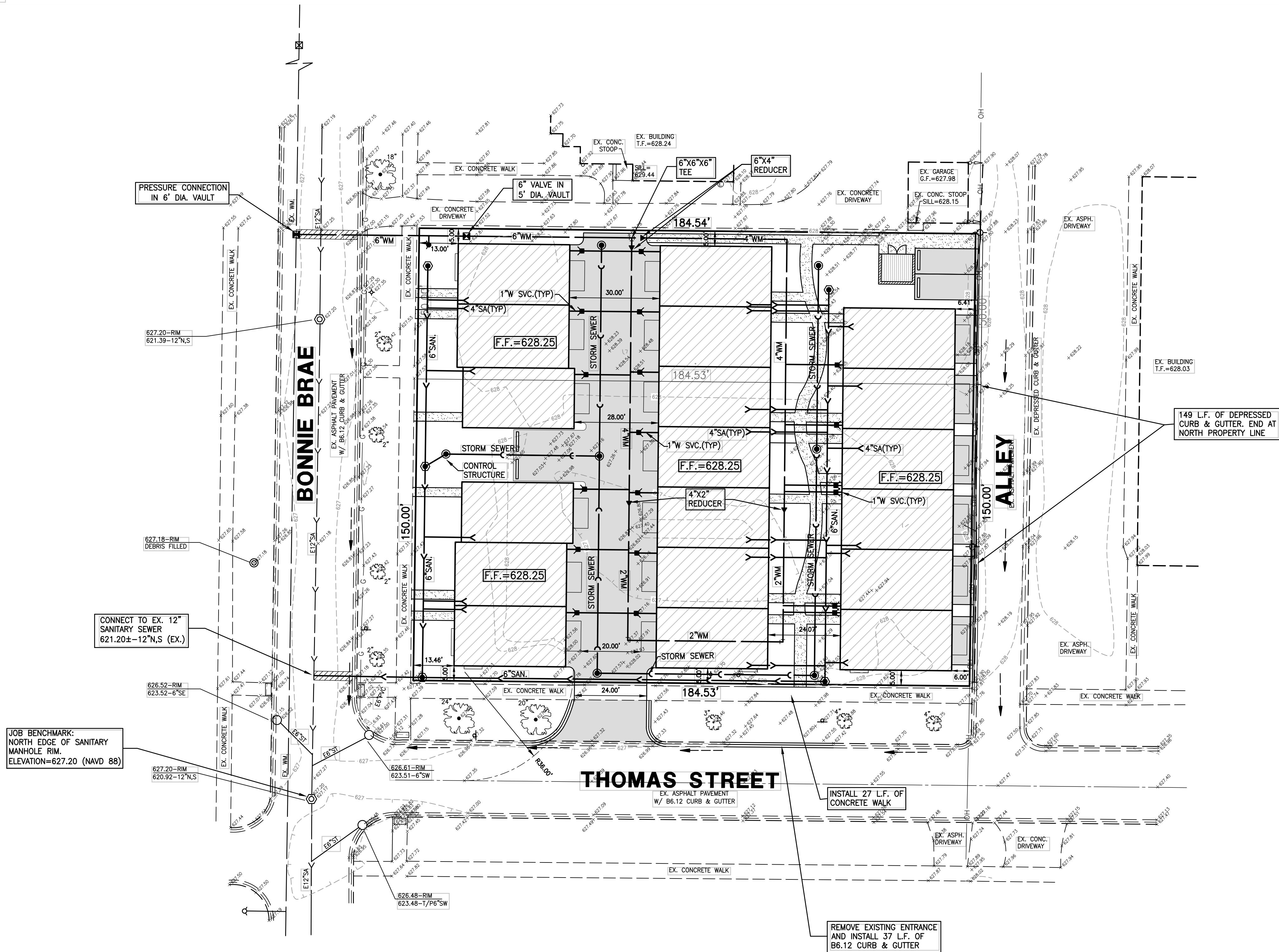
GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

SCALE: 1"=20'
DRAWING NO: 61246
SHEET 2 OF 3

1101 BONNIE BRAE PLACE -- RIVER FOREST, ILL.
DEMOLITION PLAN

LEGAL DESCRIPTION

LOTS 14,15 AND 16 IN GREY AND BRAESE'S RESUBDIVISION OF BLOCK 1 IN THE SUBDIVISION OF BLOCKS 1,8,9,10,11,14,15 AND 16 IN BOGU'S ADDITION TO OAK PARK BEING A SUBDIVISION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 AND THE EAST ONE THIRD OF THE WEST 1/2 OF SAID SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SOURCE BENCHMARK:
NGS MONUMENT "ME1649" LOCATED AT
6478 W. NORTH AVENUE ±50' EAST
OF NATCHES AVENUE.
ELEVATION=643.63 (NAVD 88)

IMPERVIOUS AREAS
EXISTING = 16,205 S.F.
PROPOSED = 21,483 S.F.

NOTE

BOUNDARY TAKEN FROM PLAT OF SURVEY PREPARED BY CHICAGOLAND SURVEY COMPANY, INC., DATED JULY 28, 2015.
BOUNDARY SHOWN IS ONLY AN ESTIMATE.
THIS DRAWING IS NOT A PLAT OF SURVEY.

SYMBOLS	
EXISTING	PROPOSED

0 20 40 60 80
SCALE IN FEET

MS 02-07-20 NEW SITE PLAN PER ARCHITECT/REV WATER PER FIRE DEPT.

DRAWN BY: DATE:

REVISIONS:

DESIGNED BY: DMW/MRT DATE: 11-26-19
CHECKED BY: DMW DATE: 11-26-19
APPROVED BY: DRF DATE: 11-26-19



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E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 184-000995

SCALE: 1"=20'
DRAWING NO: 61246
SHEET 3 OF 3

1101 BONNIE BRAE PLACE - RIVER FOREST, ILL.
PRELIMINARY ENGINEERING

Tab 14

NEIGHBOR MEETING MINUTES

Pursuant to a duly issued notice, a meeting of the neighbors was conducted on October 27, 2019.

Other than the Assistant Village Manager, the Applicant and the Applicant's Architect, no one came to the meeting.

A day after the meeting notices were mailed, Applicant received a phone call from a neighbor expressing interest in purchasing a townhome when sales begin.

There were no negative comments regarding the proposed development and there was no opposition to the project itself or any of its features.

Meeting Minutes:

Bonnie Brae & Thomas Townhome Project
Resident Meeting Notes – October 9, 2019
Location – River Forest Village Hall

The meeting sponsors waited until 7:30 PM for possible attendees. No residents or media representatives came to the meeting.

Tab 15

ALLOWANCES REQUESTED

Bonnie Brae + Thomas Avenue Development		
Summary of Development Requirements and Site Allowances		
(Items that require variations are in RED)		
ZONE DISTRICT R-4		
Description	Required/Allow	Provided
Lot Size (square feet)	More than 26,136	27,681 SF
Lot Coverage	Less than 70%	74%
Lot Area Per 1 Dwelling Unit (square feet)	2,800 SF	1,456 SF
Front Setback (West)	20'	13'
Side (North)	3'	5'
Side (South)	3'	5'
Rear (East)	27'-8"	6'
Building Height	45'	41'-0"
FAR (gross building area 37,715 SF)	1.5	1.36
Rear Yard Area (square feet)	4,152 SF (15%)	870
Parking (per Dwelling Unit)	2.5	2
Guest Parking	4	4