

**I. Overview**

A letter from University President Dr. Daniel Gard follows this page.

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CONCORDIA  
UNIVERSITY  
CHICAGO

7400 Augusta Street  
River Forest  
Illinois 60305-1499  
708-771-8300  
fax 708-209-3176  
[www.CUChicago.edu](http://www.CUChicago.edu)

April 9, 2018

Chairman Frank Martin  
Development Review Board  
Village of River Forest  
400 Park  
River Forest, IL 60305

Re: Application for Planned Development  
Verizon cell site installation

Dear Chairman Martin and Members of the Development Review Board:

Concordia University Chicago requests permission to install a new cellular antennae site for Verizon Wireless on our parking garage.

The installation is designed to match the existing façade of the parking structure using architectural screening to hide the cellular antennae arrays. We believe that this installation will be of a great benefit to the River Forest Community Verizon customers because of improved coverage in the northeast corner of the Village.

We look forward to meeting with the Development Review Board regarding this application.

Respectfully submitted,

The Rev. Daniel L. Gard, Ph.D.  
President

**II. Names and Addresses of Owners and Applicants**

**a. Name and Addresses of Owners of Properties**

Concordia University Chicago<sup>1</sup>  
7400 Augusta Street  
River Forest, Illinois 60305-1499

**b. The applicant**

Concordia University Chicago  
7400 Augusta Street  
River Forest, Illinois 60305-1499

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<sup>1</sup>

Also referred to from time to time simply as “Concordia” or “University.”

**III. Statement from Owner**

The owner of the property, Concordia University Chicago, is the applicant for the Planned Development.

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**IV. Survey, Legal Description, Street Address****Survey**

The surveys for Concordia University Chicago, 7400 Augusta, are contained on the page following the legal descriptions. A Plat of Survey for 7400 Augusta Street, dated January 11, 2017, in a scale of 1" to 40', has been submitted to the Village staff for detailed reference. This detailed plat has not been reduced to 11" x 17" format.

The following pages are the legal description for the Concordia campus and a survey of the University campus.

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**Legal Descriptions and Legal Addresses**

7400 Augusta  
River Forest, Illinois  
[Concordia University Chicago]

BLOCKS 2, 3, 4, 5, 6 AND 7 IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN; ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6 AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK COUNTY, ILLINOIS EXCEPTING THEREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESTATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BRAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THEENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.



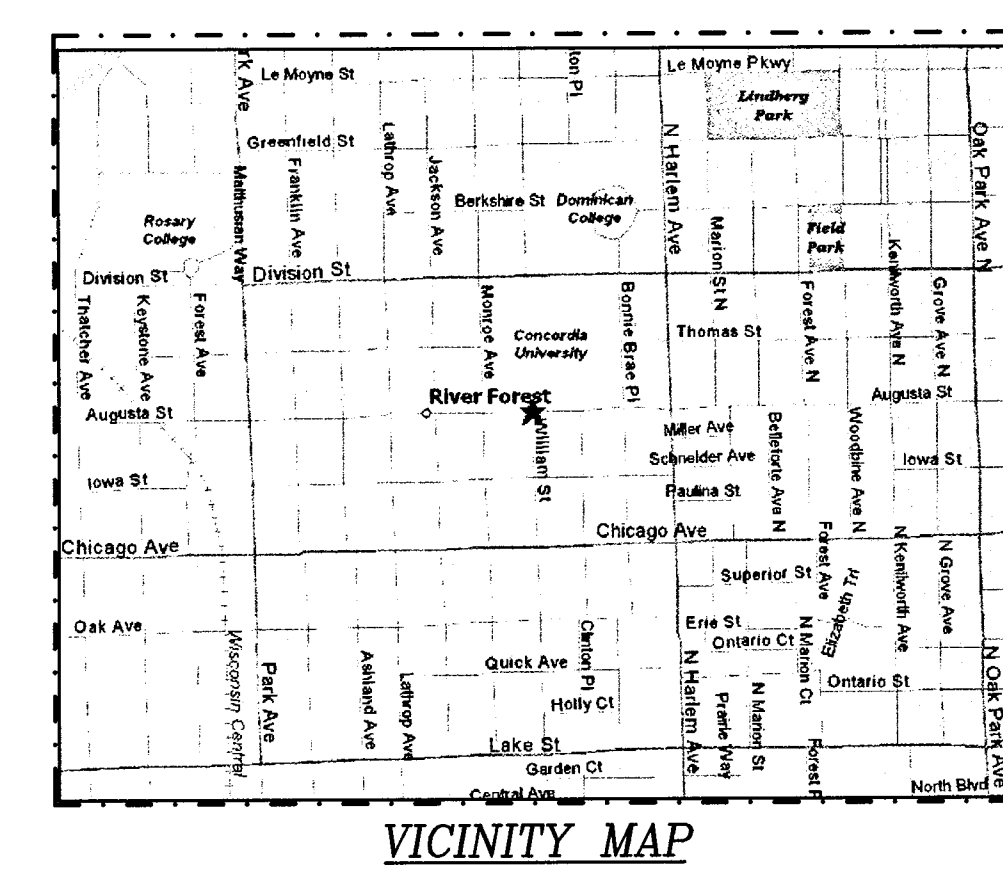
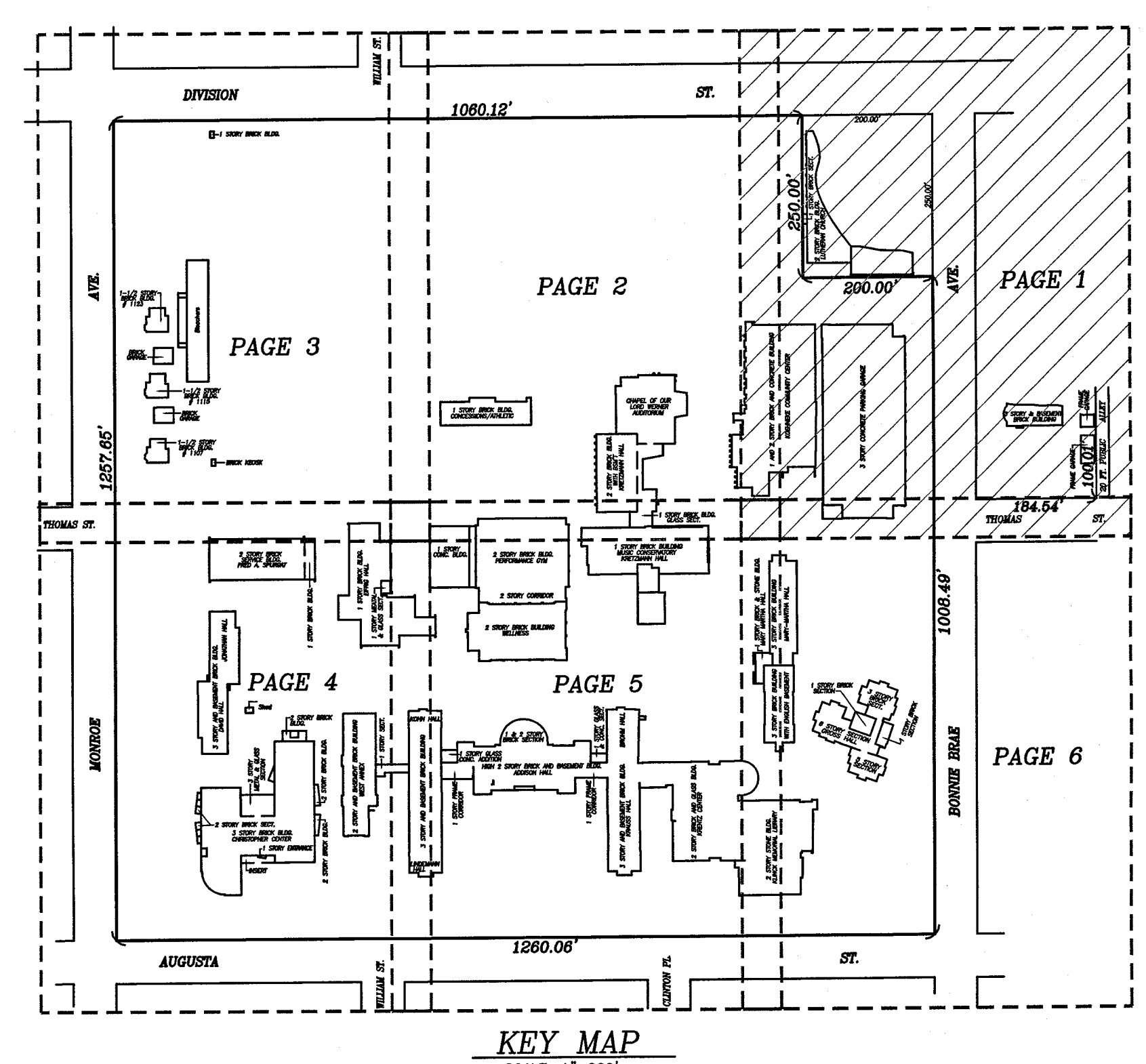
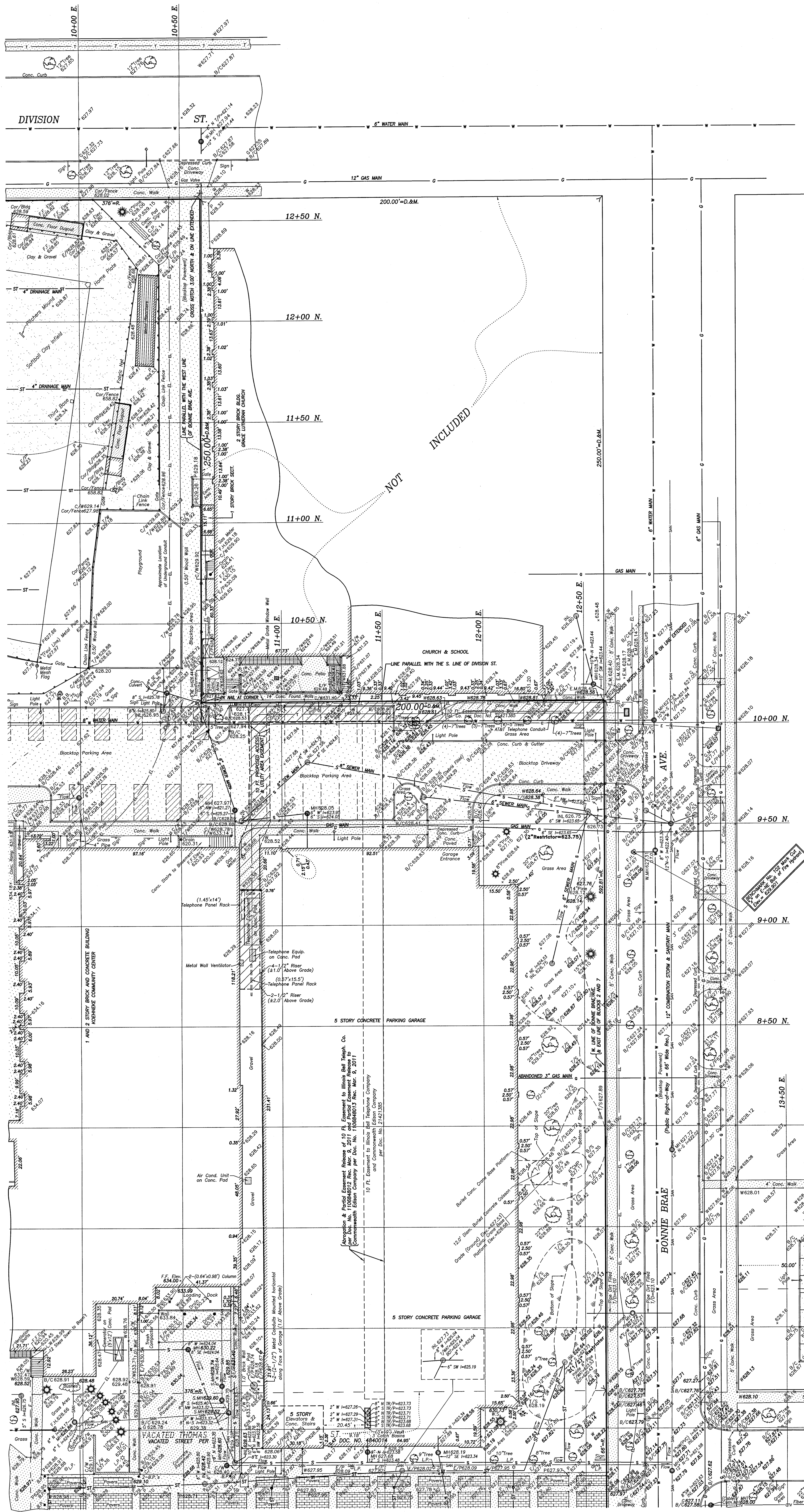
# NATIONAL SURVEY SERVICE, INC.

## Plat of Topography

KNOWN AS: 7400 W. AUGUSTA STREET, RIVER FOREST, ILLINOIS.  
TOPOGRAPHY FOR: CONCORDIA UNIVERSITY.

SURVEY NO. N-125763 TOPOGRAPHY  
N-127993 TOPOGRAPHY  
UTILITY INFORMATION ADDED  
N-128446 UTILITIES  
N-128783 SURVEY & TOPOGRAPHY  
N-128921 SURVEY & TOPOGRAPHY  
N-129475 SURVEY & TOPOGRAPHY  
N-129786 TOPOGRAPHY  
N-129962 SURVEY

DATE: NOV. 10, 2004  
MAR. 12, 2009  
JUL. 27, 2009  
DEC. 10, 2010  
JAN. 21, 2014  
MAR. 21, 2014  
OCT. 2, 2014  
FEB. 12, 2015  
NOV. 22, 2016



- LEGEND:
- B = BOTTOM OF MANHOLE
  - BB = BUFFALO BOX
  - B/D = BACK OF CURB
  - B/P = BUMPER POST
  - B/S = BOTTOM OF SLOPE
  - C = CURB
  - C.BOX = CONTROL BOX
  - C.E.M.H. = CITY ELECT. MANHOLE
  - CL = CENTER LINE
  - C/D = CENTER LINE OF DITCH
  - C.O. = CLEAN OUT
  - C.P. = CONCRETE PAD
  - D.S. = DOWN SPOUT
  - E.M. = ELECTRIC MARKING FROM JULE
  - E.W. = EDGE OF MEDIAN
  - E/P = EDGE OF PAVEMENT
  - EL = ELEVATION
  - EL.M.H. = ELECTRIC MANHOLE
  - F/B = FACE OF BUILDING
  - F/C = FACE OF CURB
  - F/F = FACE OF FENCE
  - F/W = FACE OF WALL
  - FT. = FENCED FLOOR
  - F.H. = FIRE HYDRANT
  - G. = GUTTER
  - G.M. = GAS MARKING FROM JULE
  - G.M.H. = GAS MANHOLE
  - G.P. = GAS PUMP
  - G.V. = GAS VALVE
  - I = INVERT OF PIPE
  - L.P. = LIGHT PEDESTAL
  - H.S. = HAND HOLE
  - I.C.U.L. = INVERT OF CULVERT
  - I.G.R. = IRON GUARD RAIL
  - IN. = INLET
  - L.P. = LIGHT PEDESTAL
  - M.B. = MAIL BOX
  - M.H. = MANHOLE
  - M.W. = MONITORING WELL
  - P = PAVEMENT
  - R = RESTRICTOR
  - R.C.P. = REINFORCED CONCRETE PIPE
  - S.M.H. = SANITARY MANHOLE
  - S.BOX = SWITCH BOX
  - S.M.H. = SEWER MANHOLE
  - S.P. = STANDPIPE
  - T.M.H. = TELEPHONE MANHOLE
  - T/CUL. = TOP OF CULVERT
  - T/D = TOP OF DERRIS
  - T.M. = TELEPHONE MARKING FROM JULE
  - T/P = TOP OF PIPE
  - T/W = TOP OF WALL
  - T.S. = TRAFFIC SIGNAL
  - T.S.G.M.H. = TRAFFIC SIGNAL MANHOLE
  - U.P. = UTILITY POLE
  - U.T.O. = UNABLE TO OPEN
  - V.T. = VAULT
  - V.T.P. = VERTICAL TOP OF PIPE
  - W. = WALK
  - W.I.F. = WROUGHT IRON FENCE
  - W.M. = WATER MARKING FROM JULE
  - W.H. = WATER MANHOLE
  - W.F. = WATER FILL
  - W.S. = WATER SPIGOT

UNDERGROUND CAMPUS ELECTRIC CONDUIT =

COMMONWEALTH EDISON CO. UNDERGROUND ELECTRIC CONDUIT =

FIRE ALARM =

FIRE LINE =

GAS MAIN =

IRRIGATION PVC PIPE =

AT&T, MCI, SBC UNDERGROUND TELEPHONE CONDUIT =

OVERHEAD WIRES =

SANITARY MAIN =

SEWER MAIN =

STORM MAIN =

WATER MAIN =

USE EXTREME CAUTION NEAR COALD. FACILITIES. HAND DIG WHILE CROSSING 89/136/245 VV TRANSMISSION LINE. COMED TRANSMISSION SHAFT NOTED BY BUSINESS DAYS TO THE START OF WORK. TO SCHEDULE AN ON-SITE INSPECTOR DURING CONSTRUCTION, CONTACT LESLIE PASCHAL AT 630-437-4787

NOTE: FOR LEGAL DESCRIPTIONS, TIES, FLOOD CERTIFICATION AND ALTA CERTIFICATE REFER TO PROJECT NO. N-129786 ALTA SURVEY.

**WARNING**

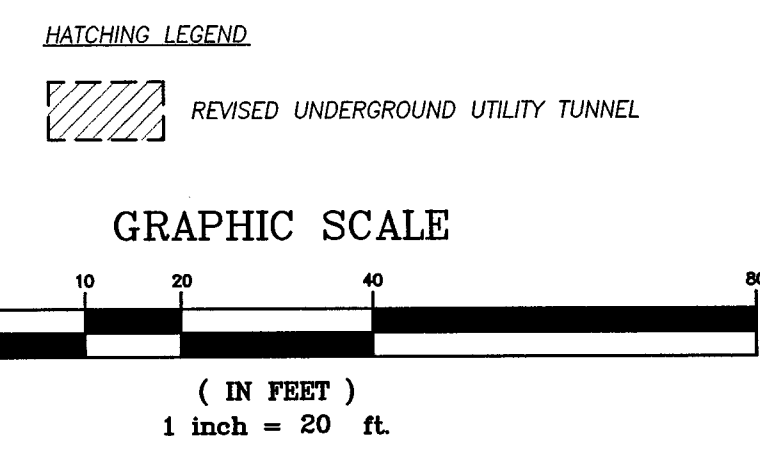
UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS, AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THE INFORMATION WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND UTILITIES. INFORMATION IS BASED UPON DATA COLLECTED FROM PUBLIC AND PRIVATE SOURCES. THE COMPLETENESS AND/OR ACCURACY OF THESE RECORDS CANNOT BE GUARANTEED, EXCEPT INsofar AS THEY CAN BE VERIFIED BY FIELD MEASUREMENT. PRIOR TO ANY EXCAVATION CONTACT "JULIE" AT 1-800-892-4125, JAWT UTILITY LOCATING INFORMATION EXCAVATIONS.

THERE ARE 502 REGULAR PARKING SPACES AND 0 HANDICAPPED PARKING SPACES INSIDE PARKING GARAGE

**PARKING SPACES IN CAMPUS OUTSIDE OF GARAGE**

(21) DENOTES NUMBER OF HANDICAPPED PARKING SPACES  
TOTAL NUMBER OF HANDICAPPED PARKING SPACES = 19

(22) DENOTES NUMBER OF REGULAR PARKING SPACES  
TOTAL NUMBER OF REGULAR PARKING SPACES = 228



**ABBREVIATION LEGEND:**

B.L.D. = BUILDING  
CONC. = CONCRETE  
COR. = CORNER  
D = DITCH  
DOC. NO. = DOCUMENT NUMBER  
W (MEAS) = MEASURED  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCING  
P = RECORD  
SECT. = SECTION  
N = NORTH  
NE = NORTHEAST  
NW = NORTHWEST  
SE = SOUTHEAST  
SW = SOUTHWEST

E = EAST  
N = NORTH  
S = SOUTH  
W = WEST

N-129962 SURVEY  
N-129786 TOPOGRAPHY  
N-129475 SURVEY & TOPOGRAPHY  
N-128921 SURVEY & TOPOGRAPHY  
N-128783 SURVEY & TOPOGRAPHY  
N-128446 UTILITIES  
UTILITY INFORMATION ADDED  
N-127993 TOPOGRAPHY  
N-125763 TOPOGRAPHY

DATE: NOV. 22, 2016  
FEB. 12, 2016  
OCT. 2, 2014  
MAR. 21, 2014  
JAN. 4, 2012  
DEC. 10, 2010  
JUL. 27, 2009  
MAR. 12, 2009

State of Illinois, )  
County of Cook, )  
We, **Joseph A. Lima**, Professional Land Surveyor, No. 3080, do hereby certify that the measurements shown hereon are based upon actual field survey and that the above plat is a true representation of said topography. Dimensions are corrected to a temperature of 62° Fahrenheit. This professional service conforms to the current Illinois minimum standards for topographic surveys.

**NATIONAL SURVEY SERVICE, INC.**  
PROFESSIONAL LAND SURVEYORS  
30 S. MICHIGAN AVENUE, SUITE 200  
CHICAGO, ILLINOIS 60603  
WWW.NATIONALSURVEYSERVICE.COM  
TEL: 312-630-9480 FAX: 312-630-9484

By **Joseph A. Lima**  
Professional Land Surveyor No. 3080  
jlima@nationalsurveyservice.com DRAWN BY: S.M.

CHIL 3D PROJECTS 2016\N129962\9662-TOPO-P1.DWG  
9962-TOPO-XREF.DWG



**V. Statement Indicating Compliance****Ordinance Requirements**

Various provisions of the Village of River Forest Zoning Ordinance<sup>2</sup> require a Planned Development applicant to demonstrate how the proposed development complies with the Village's planning goals, standards and objectives. Section 10-19-6.B.4 requires that the applicant submit:

...a statement indicating compliance of the proposed development to the comprehensive plan; and evidence of the proposed project's compliance in specific detail with each of the standards and objectives of this section.

In addition, Section 10-19-4.A provides that site development allowances may be approved:

...provided the applicant specifically identifies each such site development allowance and demonstrates how each such site development allowance would be compatible with surrounding development and is in furtherance of the stated objectives of this section.

The "objectives" of the planned development Section of the Zoning Ordinance are set forth at Section 10-19-1.E. The "standards" are set forth at Section 10-19-3. Concordia addresses below the goals of the Comprehensive Plan,<sup>3</sup> as well as these standards and objectives.

The application seeks approval for a modification of the west side of the stairway on the southwest corner of the parking structure and the installation of a new enclosure built in the southeast corner of level five of the parking structure along Bonnie Brae. This application does not seek an addition to the height at the southwest stairwell approved by Ordinance No. 2837 dated June 29, 1999, Ordinance No. 2874 dated April 10, 2010, or Ordinance No. 3335A, dated July 12, 2010. Concordia refers to and relies upon its statements indicating compliance filed in connection with its application for the planned development and its applications filed in January 2000 and in May 2010 for an amendment to the planned development relating to the parking garage and the initial cellular facility installation. This amendment contemplates approximately ten feet in height added to the top floor of the southeast corner of the parking garage to accommodate a stealth enclosure of an antenna array. This amendment requests the relocation of one parking stall from the parking garage to another location on the Concordia campus and does not contemplate any reduction in the total number of off street parking spaces on the campus--provided the proposed location for Verizon's required equipment is approved. Concordia anticipates the ground based equipment

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<sup>2</sup> Village Code, River Forest, Illinois, Title 10 (as amended).

<sup>3</sup> Comprehensive Plan, Village of River Forest (November 2003), Section 4 Community Facilities, "Concordia University" and "Dominican University," page 28.

would be located along the west side of the parking structure where equipment from previously approved carriers is already located.

**Concordia University's Proposed Change to the Planned Development is Consistent with the Relevant Goals and Objectives of the Village's Comprehensive Plan**

The University's proposal would significantly improve cellular telephone and wireless communication services both to students, faculty, and staff of the University and to the neighborhood as a whole. In the introduction, the Comprehensive Plan identifies that as one of its goals is to "serve as a marketing tool to promote River Forest's unique assets, and it can be used to help attract new families and desirable new investment and development to the community."

Society today, particularly among students and younger people, relies more and more on cellular telephones and internet services and the ability of these communication devices to send and receive email and text messages. Concordia's proposed amendment would fill in what Verizon has identified as gaps in its coverage area to provide better, clearer, and more complete coverage and capacity to the north portion of River Forest and Oak Park.

In particular, Concordia's proposal meets three of the specific goals set forth in Section 2 of the Comprehensive Plan:

*Goal 2: Achieve a balanced pattern of development in the community that provides for well designed, compatible and economically sustainable residential, commercial, and public areas of the Village.*

The rationale for this goal notes a high level of consensus to improve appropriate sites in a manner which meets recreational and lifestyle needs of Village residents.

Concordia's proposal satisfies this goal by improving cellular telephone and data service to the campus and the surrounding community. Concordia's plan improves the telephone and mobile email and text-message capability in an unobtrusive manner through the use of RF (radio frequency) transparent stealth screening antenna arrays located on the west side of the southwest stairway and on top of the parking garage at the southeast corner. The stealth screening would be aesthetically compatible with the existing parking garage.

*Goal 3: Protect and enhance the residential neighborhoods, trees, parks and open spaces, and community and institutional facilities as key amenities that contribute greatly to the overall character and quality of life in River Forest.*

The rationale expressed for this goal cites the need to contribute to the area's overall desirability as a place to live and visit.

Concordia's proposal satisfies this goal by improving the ability of students, faculty, and staff and University neighbors and visitors to communicate by cellular telephone, mobile email, the internet, and text messaging.

*Goal 5: Continue to enhance and improve the quality of life for Village residents through the provision of quality community facilities and services.*

*The rationale for this goal states: The provision of quality community facilities and services demonstrates the Village's commitment to its residents and strengthens the Village's identity as a strong residential community.*

The improved wireless voice and data communication described above that would result from approval of Concordia's proposal would satisfy this goal by improving cellular and wireless coverage for Verizon subscribers.

### **Concordia University Chicago's Proposed Improvement Plan Meets the Village's Standards for Planned Developments**

Concordia addresses the Standards for Review set forth at Section 10-19-3 of the Zoning Ordinance as follows:

**A. The proposed use or combination of uses is consistent with the goals and policies of the Comprehensive Plan.**

The University has addressed these matters above.

**B. The establishment, maintenance, or operation of the use or combination of uses will not be detrimental to or endanger the public health, safety, comfort, morals, or general welfare of the residents of the Village.**

The proposed use would not have any adverse impact to the public health, safety, comfort, morals, or general welfare of Village residents. Rather, Concordia believes the increased level of mobile communications could increase public safety by making communication with emergency services more reliable, not only for the University community, but also for the surrounding neighborhood. The increased cellular and wireless communication capability that would result from approval of this project would improve the quality of life for faculty, staff, students, and University neighbors by providing more reliable communication service.

**C. The proposed use or combination of uses will not diminish the use or enjoyment of other property in the vicinity for those uses or combination of uses which are permitted by the Zoning Title of the Village.**

Concordia's proposal should not diminish the use or enjoyment of other property in the neighborhood. The proposed location of the wireless voice and data antennas are on the west side of the southwest stairway and on top of the parking garage at the

southeast corner of the parking garage. The proposal also calls for RF transparent stealth screening that would lessen the visibility of the antenna arrays to residents or pedestrians and would be aesthetically compatible with the parking garage.

**D. The establishment of the proposed use or combination of uses will not impede the normal and orderly development and improvement of surrounding properties for uses or combination of uses otherwise permitted in the zoning district.**

Concordia does not believe this proposal would be any impediment to the development or improvement of surrounding properties. Rather, Concordia believes the increased wireless voice and data communication capability would benefit residents of the University community.

**E. The proposed use or combination of uses will not diminish property values in the vicinity.**

The University has been careful to plan this proposed improvement in a manner which would not generate negative external impacts, but instead enhance the neighborhood. The Village has previously determined that the parking garage benefited the University neighborhood by providing additional off-street parking. The Village has also previously determined that additional cellular facilities approved in 2010 would benefit the University and the neighborhood. This proposal does not impact the number of off-street parking spaces.

The University anticipates approval of this proposal would enhance rather than diminish the value of neighboring properties. The report of Michael Grimes dated February 12, 2018, regarding any economic impact on the neighborhood as a result of the construction of the proposed residence hall follows this page.

*The rest of this page is intentionally left blank.*

February 12, 2018

Dr. Dennis Witte, Ph.D.  
VP for Administration  
Concordia University  
7400 Augusta Street  
River Forest, Illinois 60305

Re: Verizon Wireless project-Amended

Dear Dr. Witte;

As requested by you, I have inspected the site and reviewed plans to allow Verizon Wireless to install antennas and add a wall screen to two sections of the parking garage.

The parking garage is currently a 5-story structure on the west side of Bonnie Brae at the east boundary of the Concordia University campus. This project would add a 10-foot screened-in antenna section on the southeast corner of the garage, similar to the existing 10-foot section on the southwest corner of the same garage. In addition, there is to be a small addition of 10' x 2' x 8' on the west elevation of the garage just below the existing antenna tower. Verizon Wireless requires a small antenna enclosure which would complement the existing stealth-style panels comprising the T-Mobile antenna section. The antennas would not be visible from the street, consistent with the T-Mobile antennas, and the exterior walls would be constructed to be similar to the wall screen on the existing tower on the southwest corner of the garage.

The height of the parking garage and existing tower extension is 65 feet 5 inches and the Verizon proposal would add 10 feet to the existing 44-foot section on the southeast corner above the stairwell resulting in a total of approximately 54 feet. This height is consistent with other structures on campus. The building height of the new residence hall south of the garage is 64 feet including the HVAC units and nearby Gross Hall has a height of 59 feet. In addition, the tower's location away from the public walkway would appear to hide the additional height from public view. These improvements would provide Verizon with superior service for better communication to their customers both on campus and in the Village of River Forest.



Dr. Witte  
February 12, 2018  
Page Two

The purpose of this letter is to give an analysis summarizing the economic impact the planned development would have upon the Village of River Forest.

### SUMMARY OF DEVELOPMENT

The proposed development will consist of a 10-foot section to be constructed on the southeast corner of the parking garage plus a small extension on the west elevation of the tower. This new section will be consistent with the existing tower which was amended in 2010 with a 17 x 20 structure. The small addition on the west elevation would be facing the college campus and away from public view. The exterior will be consistent with the wall screen on the existing tower on the southwest corner of the garage.

The site is zoned PRI, Public, Recreation & Institutional according to the Village of River Forest zoning ordinance and the improvements are assumed to be approved by the village and in compliance with the current ordinance.

### ANALYSIS OF COMPARABLE PROJECT

To arrive at an opinion of the economic impact of this development, I have reviewed the effect, if any, on the real estate market after the construction of the 2010 T-Mobile structure and antennas on the same parking garage as the proposed development. That project consisted of a 17 x 20 foot structure approximately 65 feet high, above the elevator shaft on the southwest corner of the parking garage.

Dr. Witte  
February 12, 2018  
Page Three

The following analysis will compare sales of properties which were within one half mile from the university before and after the cell tower addition in 2010 and analyze those sales in reference to sales in all of River Forest.

Sales of single-family residences within one half mile from the university in the last 12 months indicated a range of selling price from \$346,500 to \$2,650,000 for 32 sales with an average sale price of \$853,031. Sales of single-family residences within one half mile from the university in 2010 indicated a range of selling price from \$499,000 to \$1,660,000 for 20 sales with an average sale price of \$838,750. The change from 2010 to 2017 is a +2%.

Sales of single-family residences in all of River Forest in the last 12 months indicated a range of selling price from \$230,000 to \$2,350,000 for 126 sales with an average of \$713,332. Sales of single-family residences in all of River Forest in 2010 indicated a range of selling price from \$250,000 to \$2,100,000 for 75 sales with an average of \$669,420. The change from 2010 to 2017 is a +7%.

Although the percentage of increase for the properties closer to the university was lower than that of all of River Forest, there was still an increase and it should be pointed out that the statistical sample of only 20 sales for that timeframe is a low sample size and may have an effect on the credibility of the numbers. In addition, these sales represent the higher end of the overall price range for sales in River Forest. If an error component of +/- 3% were applied to both categories, the percentage of increase would be very similar.

## GRIMES REAL ESTATE SERVICES

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Dr. Witte  
February 12, 2018  
Page Four

### CONCLUSION

Based upon the above information, it is my opinion there is no adverse effect on local property values after development of an addition of a cell tower on the southeast corner of the garage and a small extension on the west elevation.

Please call me at 708 383-7900 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Grimes", written in a cursive style.

Michael Grimes  
State Certified General  
Real Estate Appraiser  
Illinois #553.000813  
Expiration date 9/30/2019

Enclosures

ADDENDA

# GRIMES REAL ESTATE SERVICES

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## EXISTING SUBJECT PHOTOGRAPHS



SOUTH AND EAST ELEVATION



SOUTH ELEVATION FACING EAST

## GRIMES REAL ESTATE SERVICES

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VIEW FROM STREET



BONNIE BRAE FACING NORTH





BONNIE BRAE PLACE FACING SOUTH





BEFORE



AFTER

View from South looking North



**TERRA**  
CONSULTING GROUP, LTD.  
600 Busse Highway, Park Ridge, IL 60068  
Phone: 847.698.6400 Fax: 847.698.6401

**verizon**✓





BEFORE



AFTER

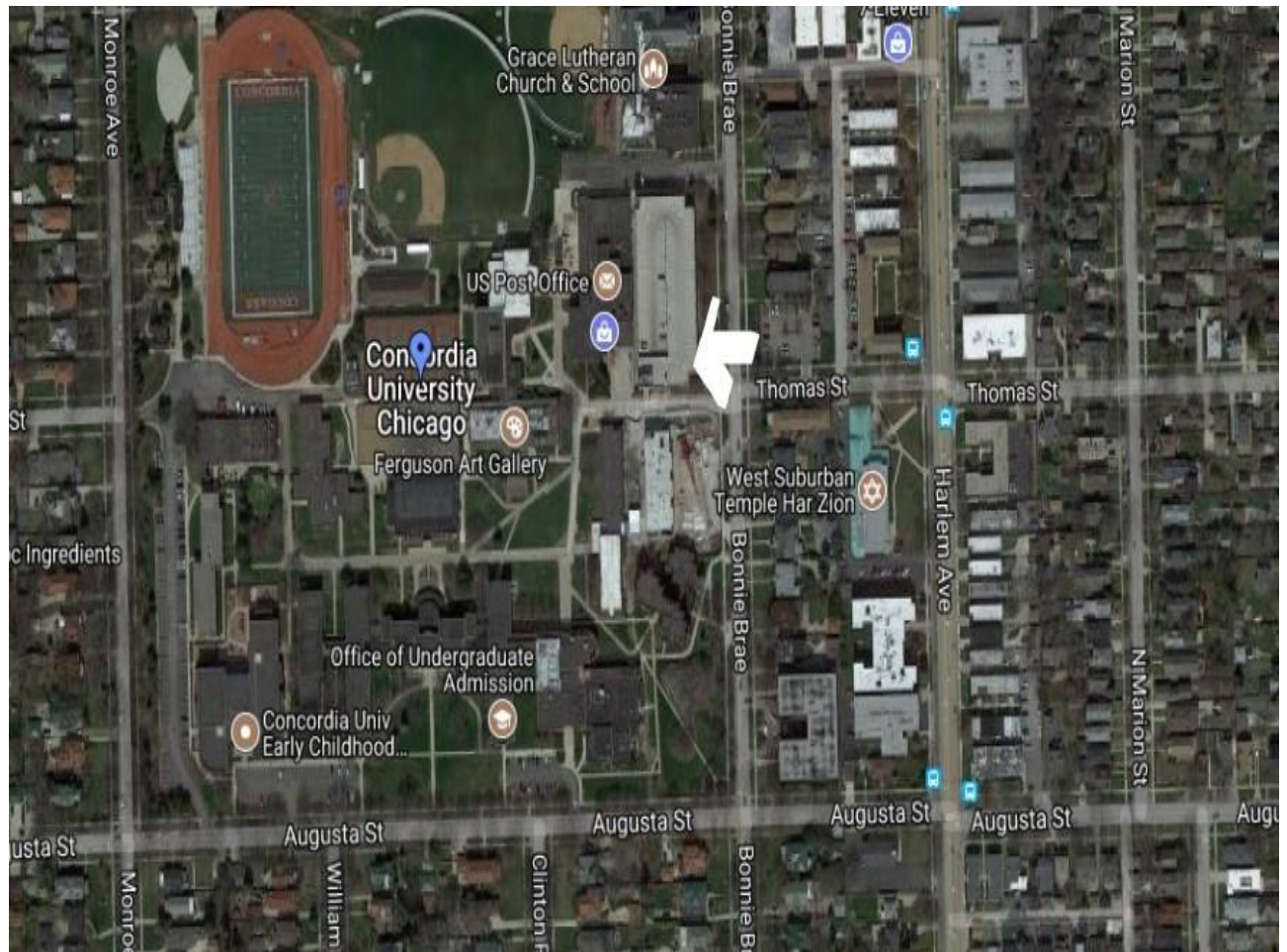
View from West looking East



**TERRA**  
CONSULTING GROUP, LTD.  
600 Busse Highway, Park Ridge, IL 60068  
Phone: 847.698.6400 Fax: 847.698.6401

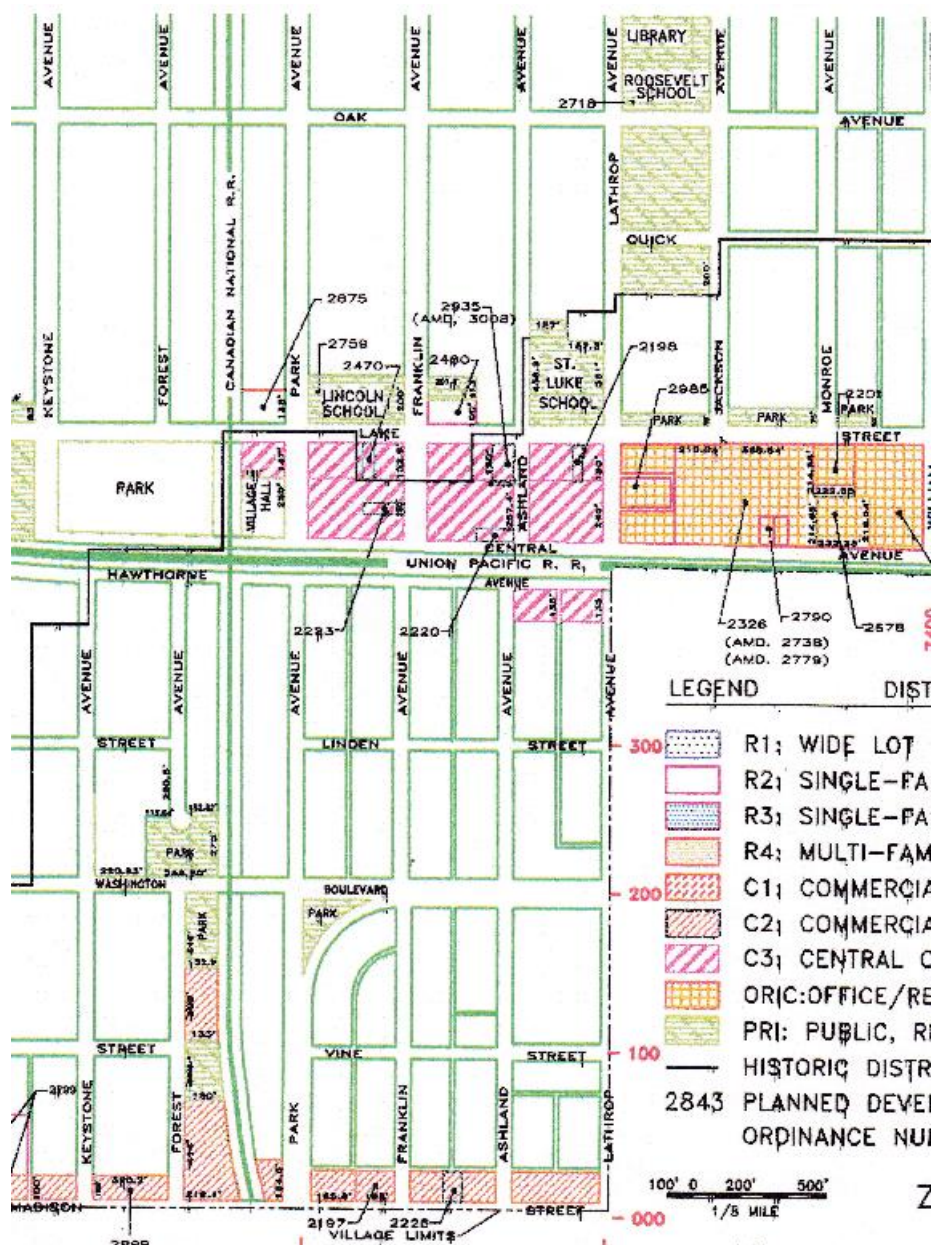


## AERIAL MAP





## ZONING MAP



LICENSE



# GRIMES REAL ESTATE SERVICES

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## QUALIFICATIONS

### Michael Grimes

#### Experience

Presently the owner of Grimes Real Estate Services at 1040 W. North Blvd. Suite 250 in Oak Park, Illinois, 60301.

Previously engaged as an independent fee appraiser for J. G. Hoppe, Real Property Consultants at 467 North Harlem Avenue, Oak Park, Illinois 60301, as a full time appraiser from April, 1986 through July, 1996.

Previously engaged as an independent fee appraiser with Adams Valuation Corporation, Joseph A. Renzi and Associates, and Kunkel and Associates.

Real Estate Managing Brokers license in the State of Illinois.

#### Education

Real Estate Appraisal Courses:

- Appraisal Institute - Real Estate Appraisal Principals
- Basic Valuation Procedures
- Standards of Professional Practice-Parts A & B & C
- Residential Case Study
- Basic Income Capitalization
- Advanced Income Capitalization
- Advanced Applications
- Report Writing and Valuation Analysis

Bachelor of Science in Business Administration from the University of Illinois, Chicago Circle. Major in Management and minor in Statistical Analysis.

Century 21 Real Estate Sales Training Course including Property Analysis and Century 21 Investment Qualification Course.

Completion of the Worldwide ERC Relocation Appraisal Training Program.

## GRIMES REAL ESTATE SERVICES

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Qualifications - Michael Grimes - continued

### Membership

Oak Park Board of Realtors. Past associate member of the Board of Directors. Current Director of Grimes Real Estate Services.

Associate member of the Appraisal Institute.

Appraiser Member of Worldwide ERC, the employee relocation council.

### Licensure

State of Illinois, State Certified General Real Estate Appraiser # 553.000813. Expiration date 9/30/2019.

**F. Adequate utilities, road access, drainage, police and fire service and other necessary facilities already exist or will be provided to serve the proposed use or combination of uses.**

This proposed amendment does not propose any change in the number of parking spaces, nor does it alter street traffic or otherwise adversely impact the utilities, road access, drainage, police and fire services or other necessary facilities in relation to the approved planned development.

**G. Adequate measures already exist or will be taken to provide ingress and egress to the proposed use or combination of uses in a manner that minimizes traffic congestion in the public streets.**

This proposed amendment would not introduce any unique uses or features that would place any demand on existing streets. The proposed amendment would not increase traffic volumes on the streets that border the University.

**H. The proposed use or combination of uses will be consistent with the character of the Village.**

The proposed use will not change the character of the Village or the University neighborhood. As stated above, the antenna arrays will be surrounded by RF transparent stealth screening to reduce their visibility to residents and pedestrians. The necessary additions to the structure to accommodate the RF transparent stealth screening antenna arrays and equipment are designed to be compatible with the appearance of the existing parking garage.

**I. Development of the proposed use or combination of uses will not materially affect a known historical or cultural resource.**

Nothing in the University's proposal would negatively impact any known historical or cultural resource.

**J. The design of the proposed use or combination of uses considers the relationship of the proposed use or combination of uses to the surrounding area and minimizes adverse effects, including visual impacts of the proposed use or combination of uses on adjacent property.**

As noted above, the University and Verizon have taken care to design the proposed facility in the least obtrusive manner possible. As pointed out above, the antenna arrays will be surrounded by RF transparent stealth screening, the additions to the structure are designed to be visually compatible with the existing parking garage. The necessary electronic equipment will be located either within the structure addition or in an open space between the parking garage and an existing University building on the west side of the garage.

**K. The design of the proposed use or combination of uses promotes a safe and comfortable pedestrian environment.**

This proposed amendment should not have any impact on the pedestrian environment as all facilities will be located on top of the parking garage or between the garage and an existing University building in an area that is not accessible to pedestrians.

**L. The applicant has the financial and technical capacity to complete the proposed use or combination of uses and has made adequate provisions to guarantee the development of any buffers, landscaping, public open space, and other improvements associated with the proposed use or combination of uses.**

Concordia University and Verizon have the financial capability to fully fund the proposed improvements. Concordia University will continue to own the physical stairway structure. Verizon will own the electronic, mounting, and screening components associated with its transmission equipment. Verizon's letter of financial accountability follows this page.

*The rest of this page is intentionally left blank.*



Errol F. Outarsingh  
Engineer IV RE/Specialist  
Great Lakes Market Network Real Estate  
Verizon Wireless  
1515 E. Woodfield Road Suite 1400  
Schaumburg, IL 60173

E-Mail: [errol.outarsingh@verizonwireless.com](mailto:errol.outarsingh@verizonwireless.com)

(847) 706-7995

May 22, 2017

Frank Martin, Chair  
Development Review Board  
c/o Lisa Scheiner  
Village of River Forest  
400 Park Ave.  
River Forest, IL 60305

**Re: Letter of Financial Accountability regarding Verizon Wireless' proposed  
communication facility at Concordia University  
Site: Forest Park North**


Dear Mr. Martin:

Chicago SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") is in the process of entering into a lease agreement with Concordia University for the purpose of installing a communications facility on a structure located on Concordia University Campus, 7400 Augusta Street, River Forest, County of Cook, Illinois 60305 ("Communications Facility"). This letter is intended to guarantee that Verizon Wireless has sufficient funds to complete the development of the Communications Facility.

Verizon Wireless is a Fortune 100 Company with Billions of dollars in assets to cover this transaction. Chicago SMSA Limited Partnership d/b/a Verizon Wireless is a subsidiary of Cellco Partnership, the legal name for Verizon Wireless.

If you should need any additional information, please do not hesitate to contact me.

Sincerely,

By:   
Errol F. Outarsingh

EFO/bal

- M. The proposed use or combination of uses is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village, except to the extent that such burden is balanced by the benefit derived by the village (sic) from the proposed use.**

The proposed improvements should not impose any new or material demands on municipal resources. The proposed addition of wireless voice and data antennas behind RF transparent stealth screening will not impose any special demands on Village services. Rather, the proposal will improve access of students, faculty, staff, neighbors, and visitors in the University community to mobile communication services.

- N. The proposed use or combination of uses will meet the objectives and other requirements set forth in this section.**

The University addresses below the objectives set out at Section 10-19-1.E of the Zoning Ordinance.

- O.** *[This standard deals with a proposal for multi-family housing and is not applicable to the University or to this request.]*

### **Concordia University Chicago's Proposed Improvement plans Meet the Village's Objectives for Planned Developments**

Section 10-19-1.E of the zoning ordinance lists certain specific objectives the Village seeks to achieve through the flexibility of the planned development process. Concordia University Chicago addresses these objectives below:

- 1. Creation of a more desirable environment than would be possible through strict application of other village land use regulations.**

The Village has previously approved a planned development for the campus. The proposed change does not require any additional allowances from the Village's land use regulations.

- 2. Promotion of a creative approach to the use of land and related physical facilities resulting in better design and development, including aesthetic amenities.**

This proposed amendment to the previously approved Planned Development is a creative and unobtrusive way to improve wireless voice and data communication facilities that would benefit the faculty and students of the University as well as residents who live in the vicinity of the University.

- 3. Combination and coordination of the character, the form, and the relationship of structures to one another.**

The proposed addition to the west side of the southwest stairway and the new enclosure on top of the southeast corner of the parking garage are to accommodate the improved wireless voice and data communication facilities and are designed to be compatible with the appearance of the parking garage.

**4. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation, and geologic features.**

The proposed amendment does not alter the currently approved site layout. It merely adds wireless voice and data antenna arrays to the west wall of the existing stairway at the southwest corner of the parking garage and on the upper level of the garage at the southeast corner. Both of these antenna arrays will be placed behind RF transparent stealth screening that will be aesthetically compatible with the existing parking garage and similar to the stealth screening surrounding the existing wireless and data antennas.

**5. Provision for the preservation and beneficial use of open space, or an increase in the amount of open space over that which would result from the application of conventional zoning regulations.**

The University is not seeking any allowances for a change in open space or in allowances on floor area ratio or maximum lot coverage.

**6. Encouragement of land uses or combination of uses that maintain the existing character and property values of the village (sic), and promote the public health, safety, comfort, and general welfare of its residents.**

Concordia has addressed these concerns in its initial application for a planned development for the campus and in the 2010 application for cellular and wireless facilities on the parking garage. This proposal does not alter the circumstances the Village has previously considered and approved. In addition, this proposal could improve the safety and general welfare of Village residents through improved cellular and mobile communication service for an additional cellular carrier.

**7. Promotion of long term planning pursuant to a master plan which will allow harmonious and compatible land uses or combination of uses with surrounding areas.**

This proposal should not have any adverse effect on compatible land uses in the surrounding areas. Rather, it should have a positive effect on the University community and its neighbors through improved wireless voice and data communication service.

*The rest of this page is intentionally left blank.*

**VI. Existing Campus Area****a. Existing Contiguous Land Use**

The existing contiguous land use surrounding the 7400 Augusta campus is depicted in the following aerial photograph. This photograph shows that residences zoned R-4 face the campus from the east side of Bonnie Brae, zoned R-2, face the campus from the south side of Augusta Street, the west side of Monroe Avenue, and the north side of Division between Monroe and William. The balance of the north side of Division, from west to east, contains Priory Park (River Forest Park District), and the Priory/Dominican University facility.

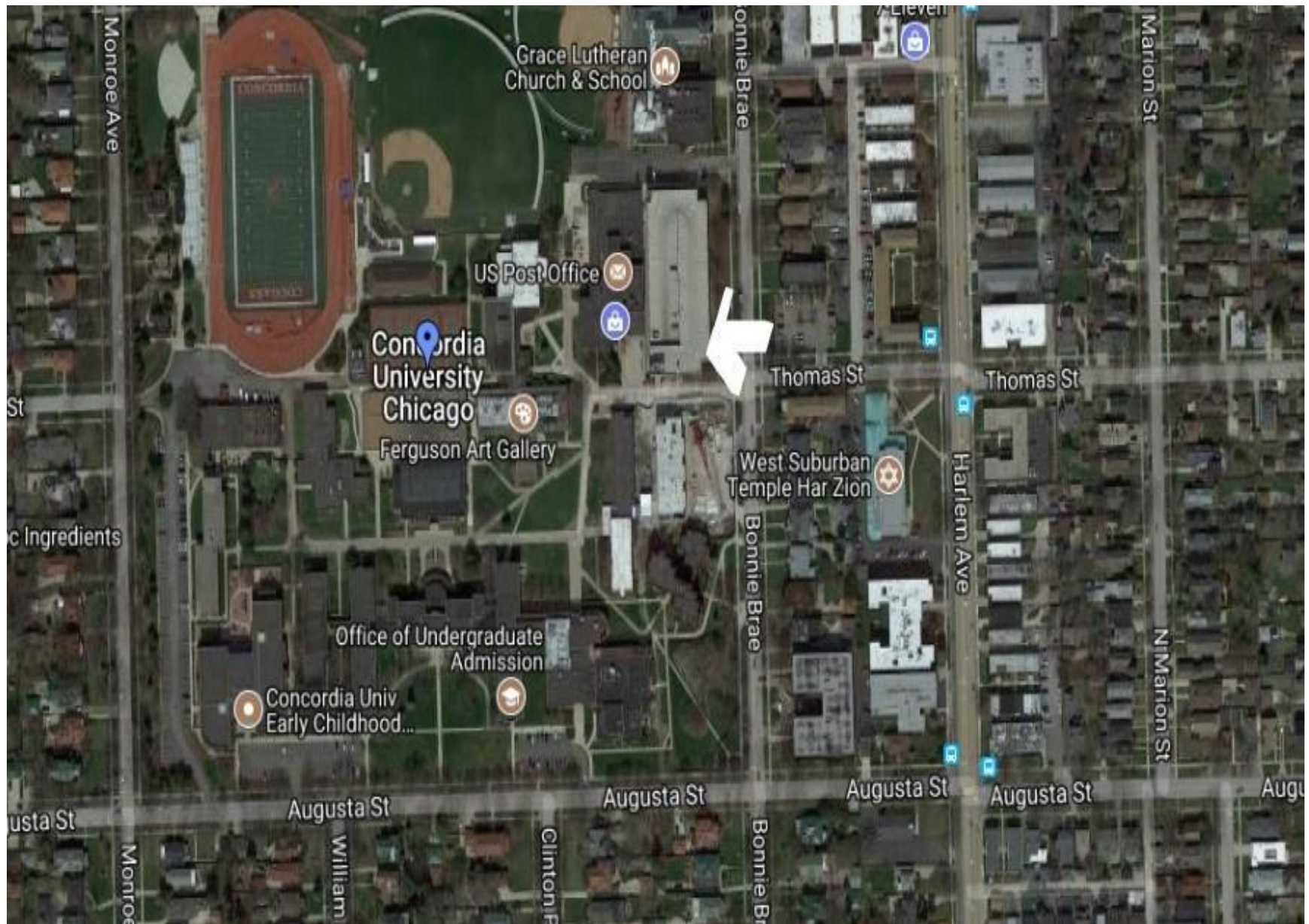
Grace Lutheran Church and School occupy a lot of 250 feet by 200 feet at the north and east corner of the campus, immediately north of the parking garage.

On the east side of Bonnie Brae Place are: a house, a two-flat, a 6-unit condominium, four two-flats, and a six apartment building between Division and Thomas. From Thomas to Augusta the east side of Bonnie Brae Place contains an eight unit apartment building, a series of duplexes, and a 32-unit condominium building.

**b. Natural Topographic Features**

Since the Concordia University campus is virtually flat, no natural topographic features are identifiable. This proposed amendment does not seek any changes to topographic features. An aerial photograph showing the neighborhood surrounding the University and the parking garage follows.

*The rest of this page is intentionally left blank.*

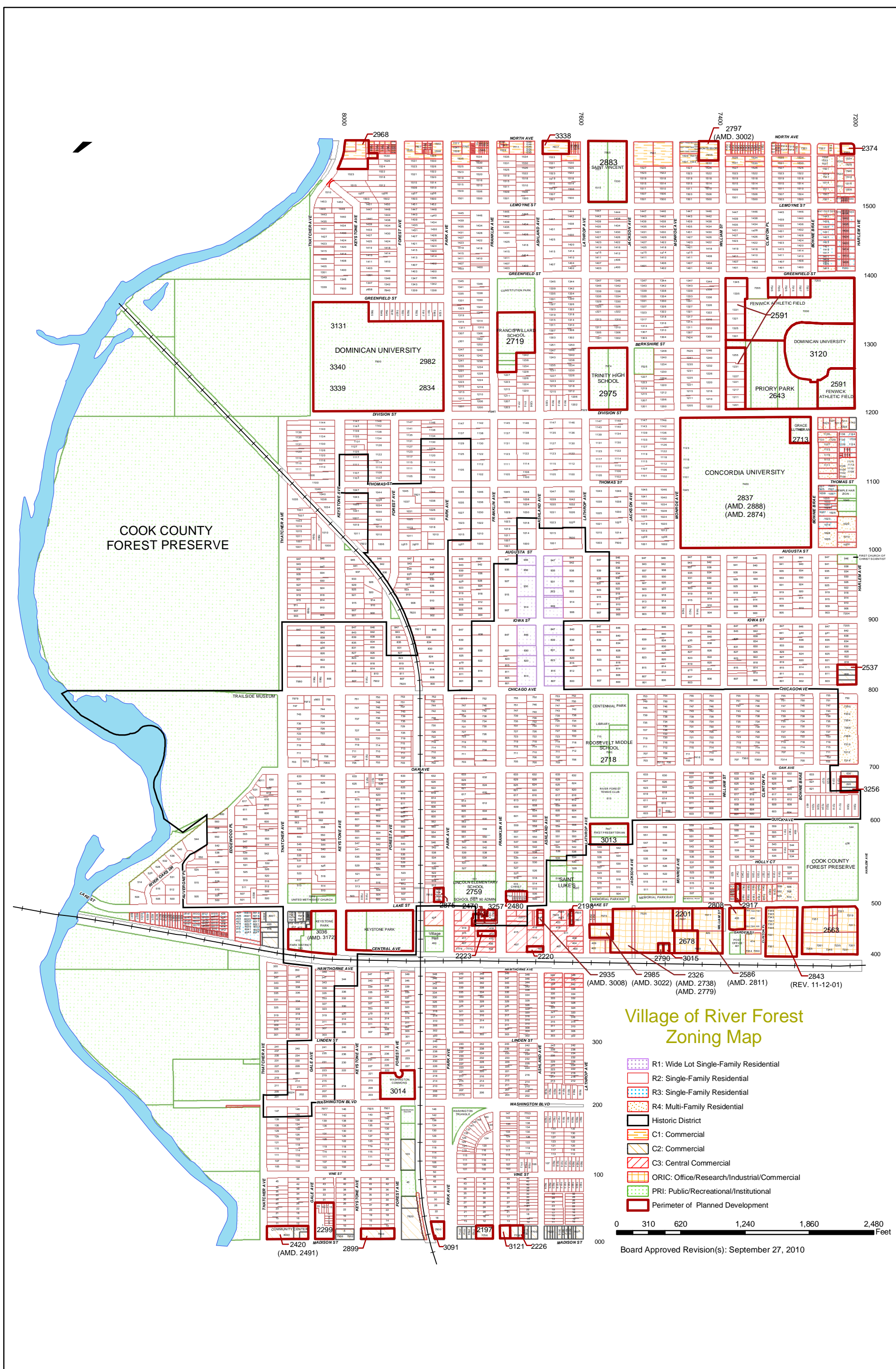


**c. Zoning Districts**

The Zoning districts contiguous to the campus are depicted on the following map entitled: "Village of River Forest Zoning Map."

*The rest of this page is intentionally left blank.*





**d. Public Thoroughfare**

The project covered by this application is fronted by Bonnie Brae Place on the east. Division Street is to the north of the project and Thomas Street to the southeast.

**e. Transportation**

The project covered by this application will not impact the use of private vehicles, PACE bus service, CTA rapid transit, or Metra trains that serve the Concordia University neighborhood.

**f. Utilities**

Present utilities are shown on the Plat of Survey for the properties in **Section IV**. Proposed utilities are shown as indicated below.

Water. There is no change from the approved Planned Development Ordinance No. 2874. This project does not require any water supply.

Sewer. There is no change from the approved Amendment Ordinance No. 2874, to the initially approved Planned Development Ordinance No. 2837 or Ordinance No. 3335A dated July 12, 2010. There is no sewer use required for this project.

Electric. The project will require electric power to the locations of the equipment for the Verizon facility. Concordia believes a sufficient power source is in place based upon the already existing cellular facilities at the parking garage.

Gas. There is no change from the approved Planned Development Ordinance No. 2837, Ordinance No. 2874, or Ordinance No. 3335A dated July 12, 2010. There is no gas use required for this project.

Telephone. The cellular telephone and wireless communication service will require telephone service to be extended to the equipment belonging to Verizon. Concordia believes sufficient telephone capabilities are in place based upon existing telephone facilities at the parking garage.

*The rest of this page is intentionally left blank.*



**VII. Scaled Proposed Development**

The proposed development will not affect previously approved plans for landscaping, parking, traffic flow, or storm water detention. Nor will the proposed development affect previously approved plans for any other Concordia University building. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of the requirements for a scaled site plan of the area. Accordingly, no scaled site plan is included with this application

*The rest of this page is intentionally left blank.*

**VIII. Schematic Drawings**

Schematic drawings showing locations of the proposed Verizon wireless voice and data transmission equipment and the antenna arrays follow.

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CONSULTANT TEAM

PROJECT CONSULTANT:

TERRA CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
(847) 698-6400

SURVEYOR:

WILLIAMS AND WORKS  
549 OTTAWA AVE NW  
GRAND RAPIDS, MI 49503  
(616) 224-1500

APPROVALS

REAL ESTATE:

RF:

CONSTRUCTION:

EQUIPMENT ENGINEERING:

OPERATIONS:

PROJECT TYPE

PROPOSED LESSEE ANTENNAS TO BE MOUNTED ON PARKING STRUCTURE WITH PLATFORM ON GROUND.

SITE COORDINATES:

LATITUDE: 41° 53' 59.04" N (1A CERTIFICATION)

LONGITUDE: 87° 48' 27.91" W (1A CERTIFICATION)

ELEVATION: ±628' (1A)

VICINITY MAP

N.T.S.



REGIONAL MAP

N.T.S.



CHICAGO SMSA

limited partnership

CHICAGO SMSA LIMITED PARTNERSHIP

d/b/a VERIZON WIRELESS

1515 WOODFIELD ROAD, SUITE 1400

SCHAUMBURG, ILLINOIS 60173

PHONE: (847) 619-5397      FAX: (847) 706-7415

LOCATION NUMBER: 418745

7400 AUGUSTA ST

RIVER FOREST, IL 60305

THOMAS A. ZIMMERMANN

062-053210

exp. 11/30/19

5/31/18

LICENSED PROFESSIONAL ENGINEER

STATE OF ILLINOIS

PROJECT INFORMATION

P.I.N. #:

13-29-120-001-0000

ADDRESS:

7400 AUGUSTA ST  
RIVER FOREST, IL 60305

UTILITIES:

POWER: ComEd  
FERNANDO FLORES  
708-410-431  
ACCT # 58590-61005

FIBER: ONE FIBER  
MARK ZOLTEK  
312-989-2025

JURISDICTION:

VILLAGE OF RIVER FOREST

OCCUPANCY:

UNINHABITED

ZONING:

PLANNED DEVELOPMENT

CONSTRUCTION TYPE:

ROOFTOP

GENERATOR TYPE:

TAP BOX

PROPERTY OWNER:

CONCORDIA UNIVERSITY CHICAGO  
7400 AUGUSTA ST  
RIVER FOREST, IL 60305

APPLICANT:

VERIZON WIRELESS PERSONAL COMMUNICATIONS LP  
d/b/a VERIZON WIRELESS  
1515 WOODFIELD ROAD, SUITE 1400  
SCHAUMBURG, IL 60173  
(920) 841-1263

CONSTRUCTION MANAGER:

MICHAEL EISENMENGER (847) 619-3043

REAL ESTATE MANAGER:

NICK POLYDOROS (224)381-0539

SHEET

DRAWING INDEX

REVISION

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LP

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C-1A

C-1B

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ANT-1A

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S-3

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E-5

SP-1

SP-2

P-1

TITLE SHEET

LOCATION PLAN

ENGINEERING SITE PLAN

ANTENNA MOUNTING TO FAUX PENTHOUSE

PROPOSED CABLE ROUTE

SITE DETAILS

PLATFORM FOUNDATION PLAN

SITE ELEVATION & ANTENNA LAYOUT

ANTENNA MOUNTING DETAILS (AT GAMMA SECTOR)

ANTENNA INFORMATION

SITE DETAILS

EQUIPMENT DETAILS

EQUIPMENT DETAILS

ROOF PLAN

ELEVATION AND DETAILS

DETAILS

UTILITY ROUTING PLAN

SITE GROUNDING PLAN

GROUNDING DETAILS

GROUNDING DETAILS

ELECTRICAL DETAILS

SPECIFICATIONS

SPECIFICATIONS

EXISTING SITE PHOTOS

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5,6,8

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SE-1

RF-1,2

SITE SURVEY

PRE-EME REPORT (BY OTHERS)

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9

REVISIONS

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DATE

BY

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02/19/18

LS

6

REVISED PER FIBER COORDINATION

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RA

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9

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04/25/18

JTM

10

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05/03/18

JTM

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

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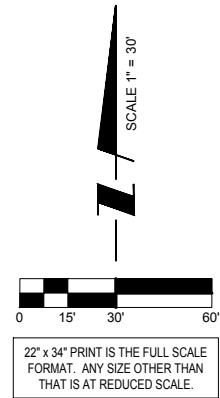
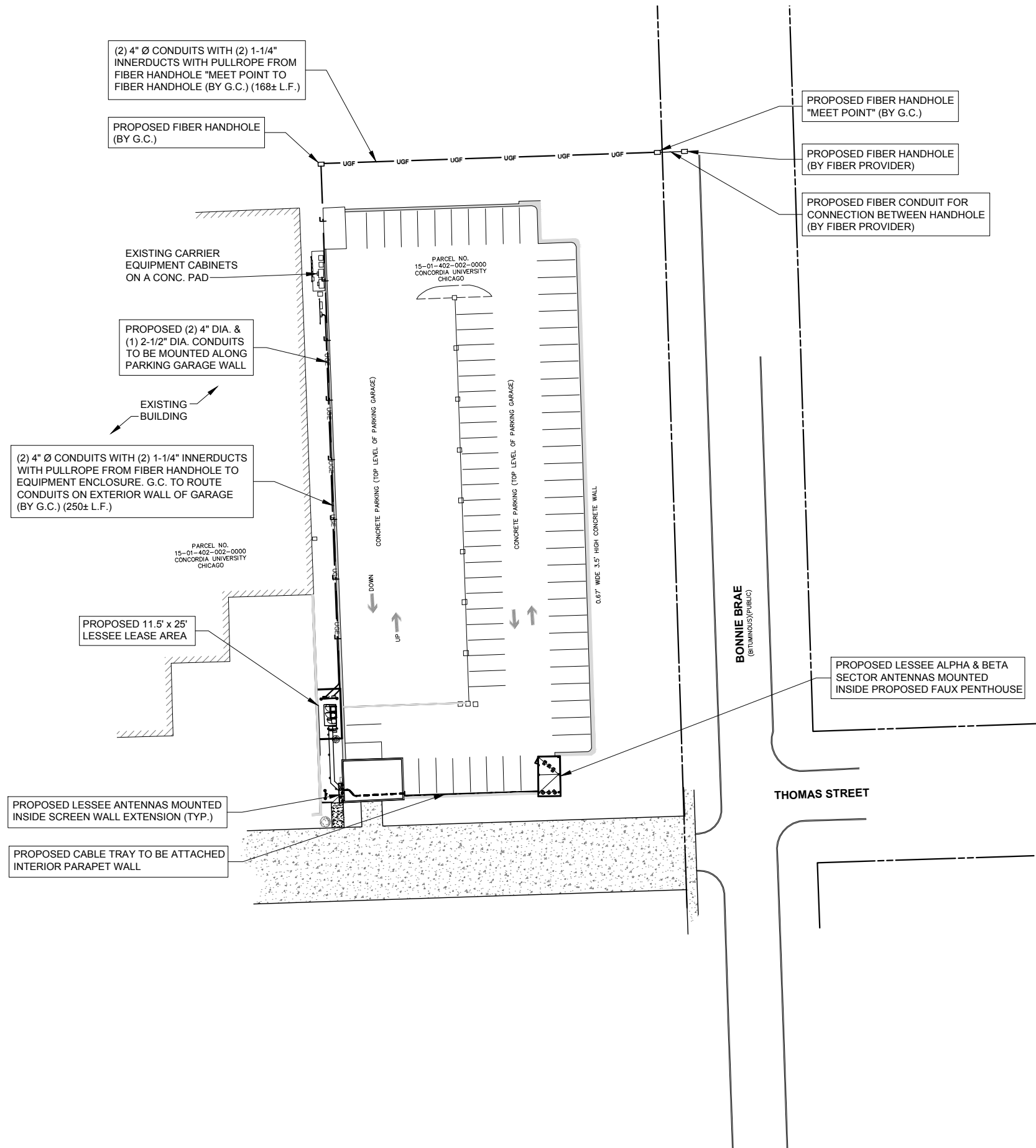
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TITLE SHEET

SHEET NUMBER

T-1



**CHICAGO**  
**SMSA**  
*limited partnership*  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSTRUCTIVE GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

REVISIONS	
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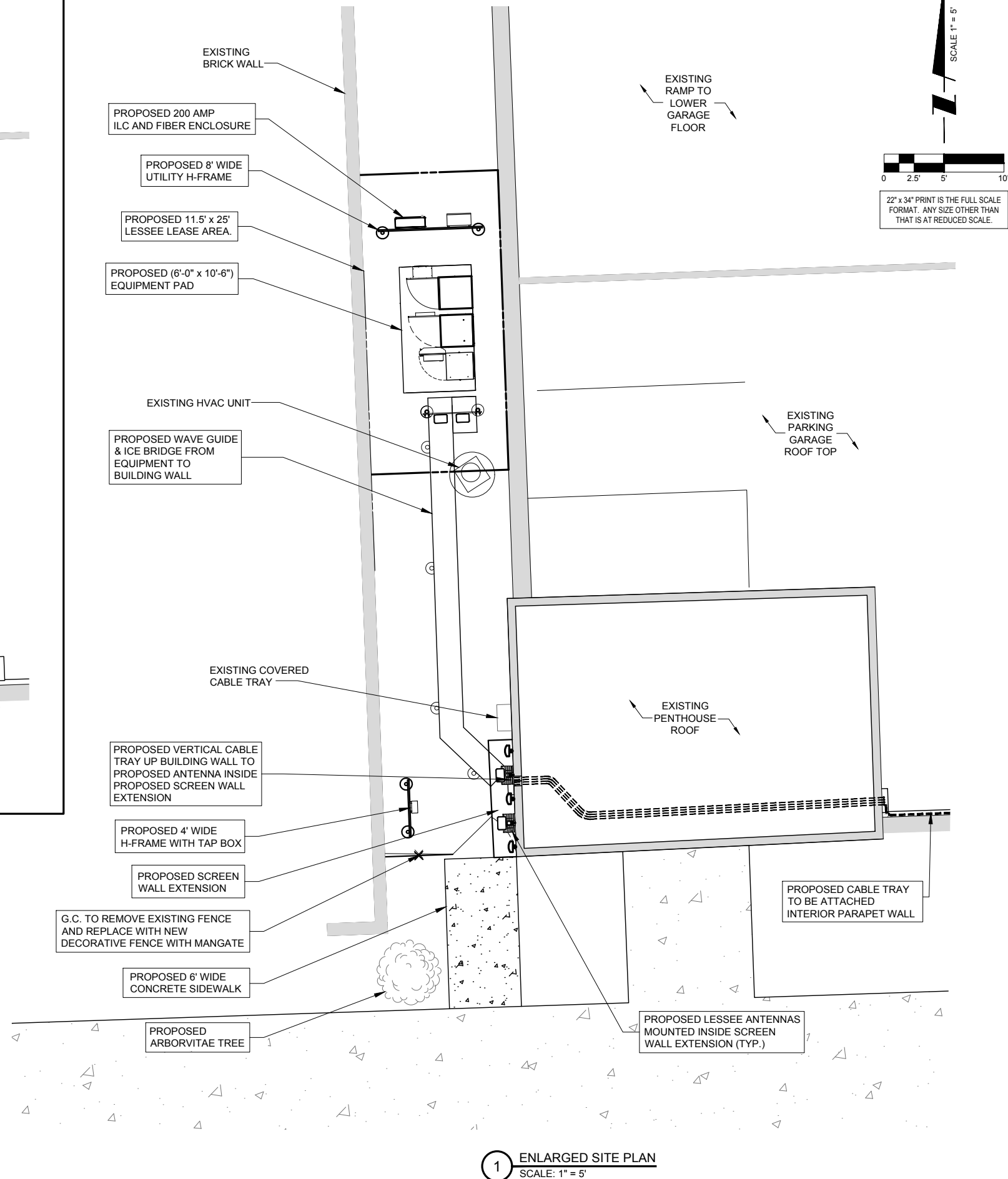
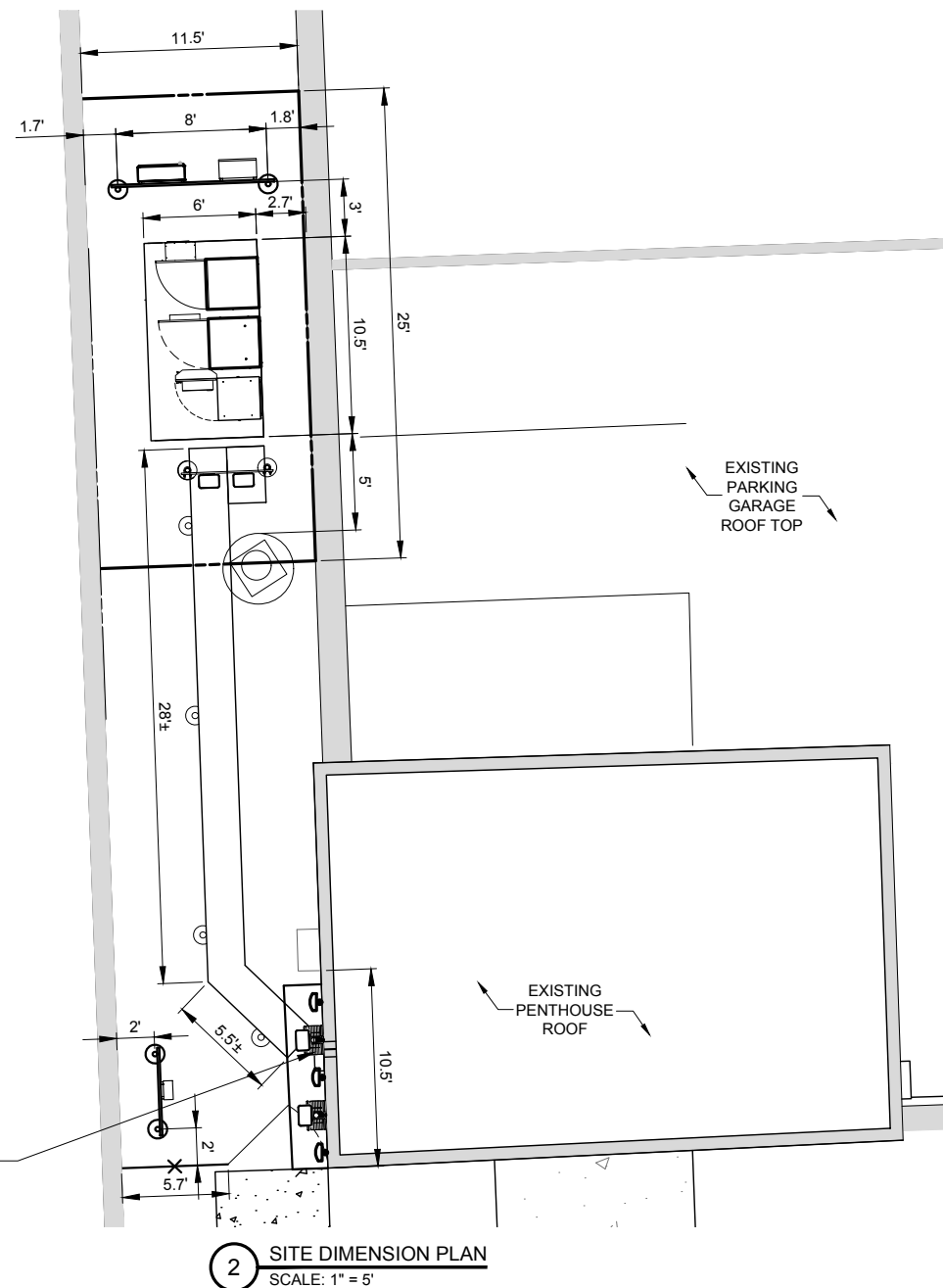
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<b>LP</b>





**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



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REVISED PER FIBER COORDINATION		7	04/02/18	RA
UPDATE PER LL COMMENTS		8	04/23/18	LS
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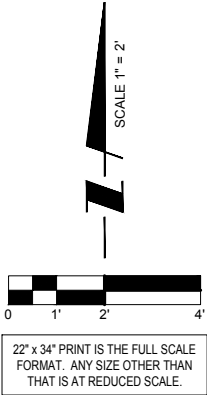
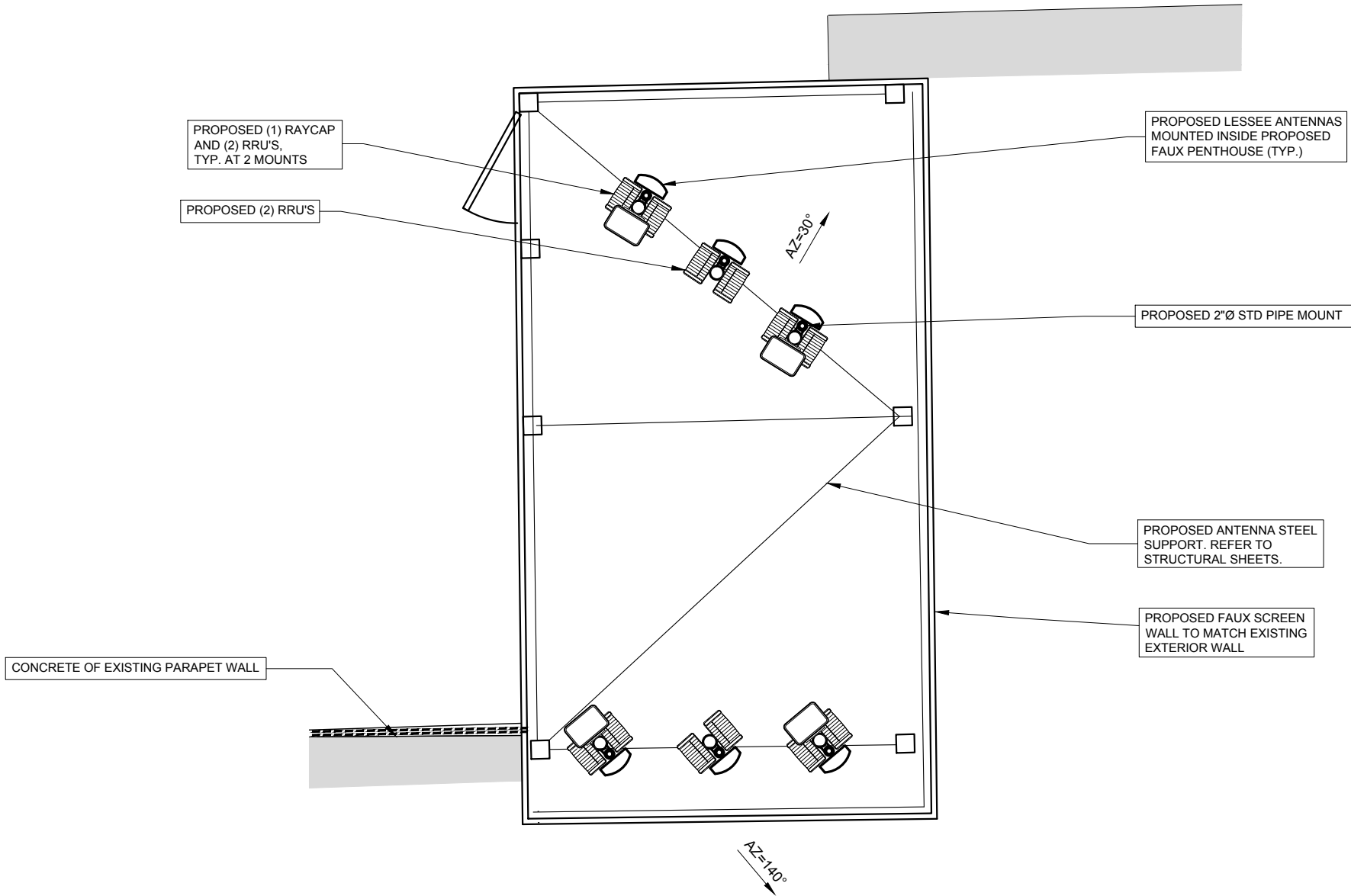
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PROJECT #:	33-2430

SHEET TITLE  
**ENLARGED  
SITE PLAN**

SHEET NUMBER

**C-1**



22" x 34" PRINT IS THE FULL SCALE  
FORMAT. ANY SIZE OTHER THAN  
THAT IS AT REDUCED SCALE.

1 ANTENNA MOUNTING TO FAUX PENTHOUSE ROOF  
SCALE: 1" = 2'-0"

**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSTRUCTIVE GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

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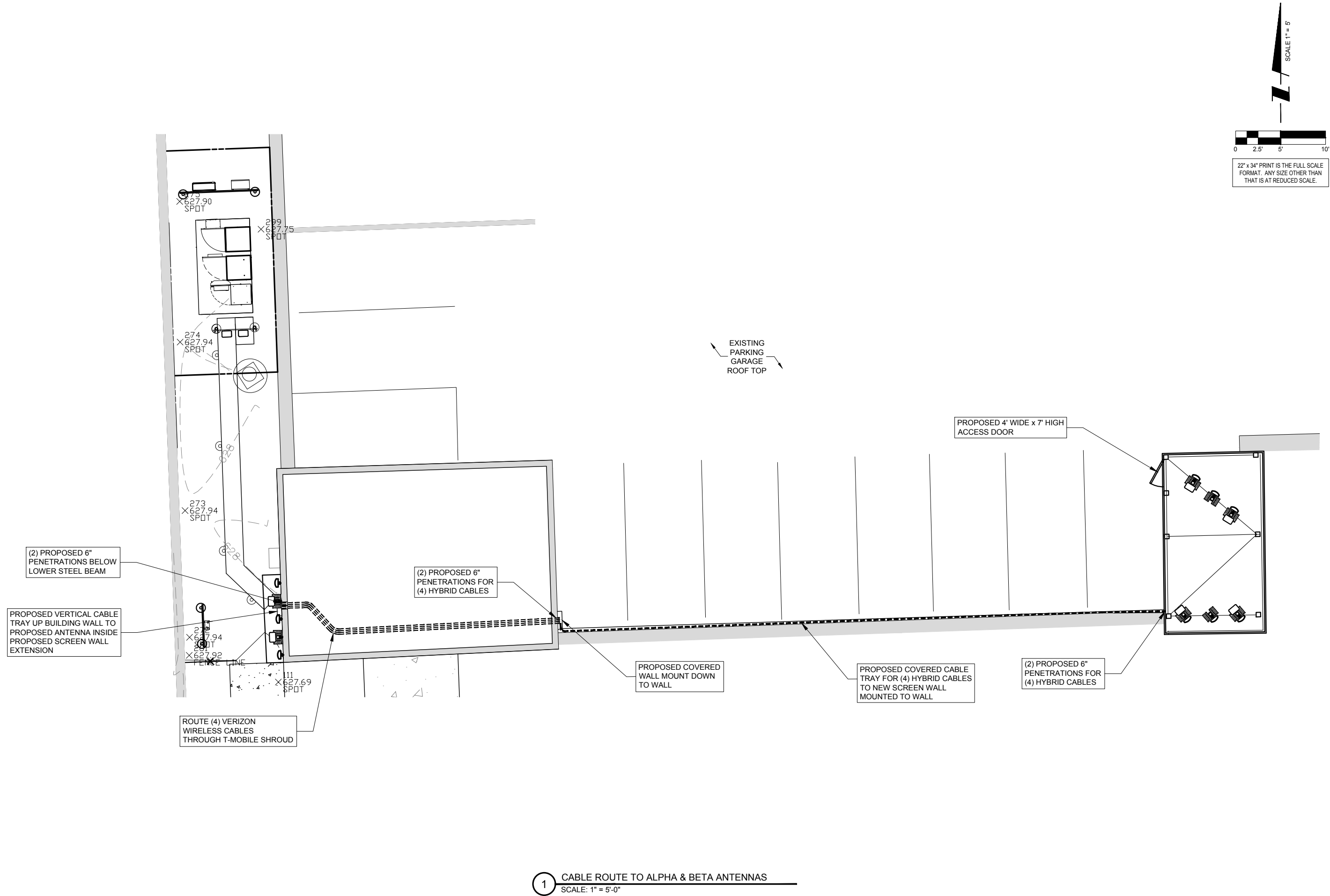
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RIVER FOREST, IL 60305

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PROJECT #:	33-2430

SHEET TITLE  
ANTENNA  
MOUNTEND TO FAUX  
PENTHOUSE

SHEET NUMBER  
**C-1A**



22" x 34" PRINT IS THE FULL SCALE  
FORMAT. ANY SIZE OTHER THAN  
THAT IS AT REDUCED SCALE.

0 2.5' 5' 10'

SCALE 1" = 5'

1 CABLE ROUTE TO ALPHA & BETA ANTENNAS  
SCALE: 1" = 5'-0"

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

REVISIONS		NO.	DESCRIPTION	DATE	BY
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		5	RE-ISSUED PER REVISIONS	02/19/18	LS
		6	REVISED PER FIBER COORDINATION	02/23/18	PA
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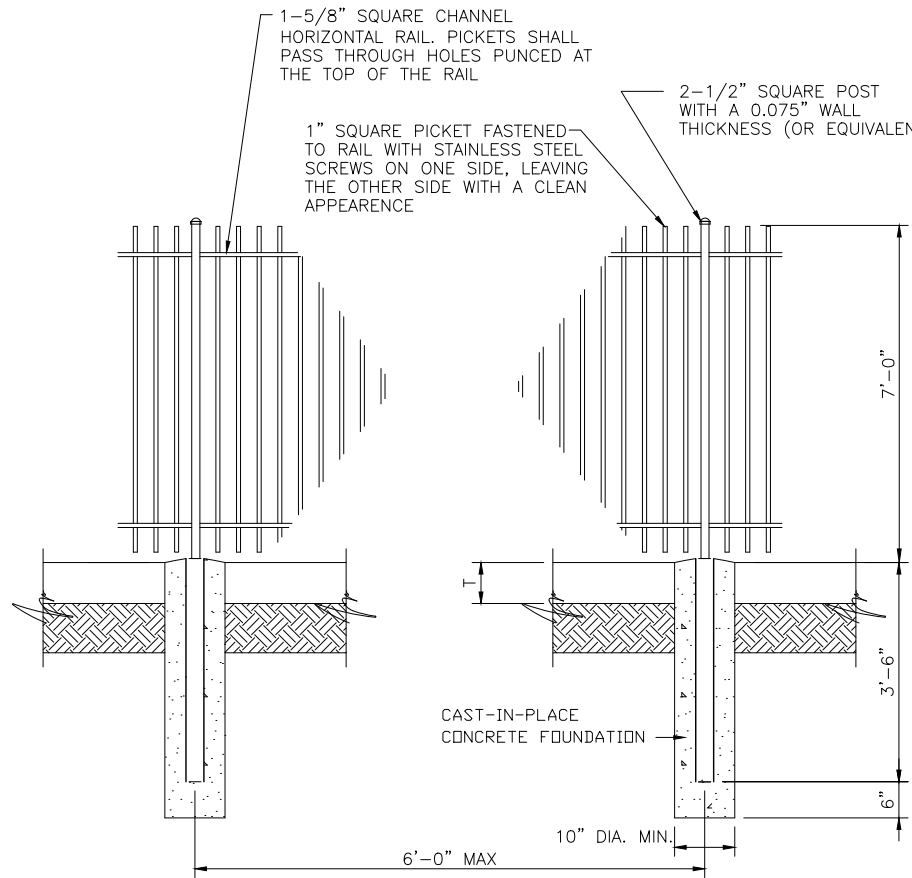
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RIVER FOREST, IL 60305

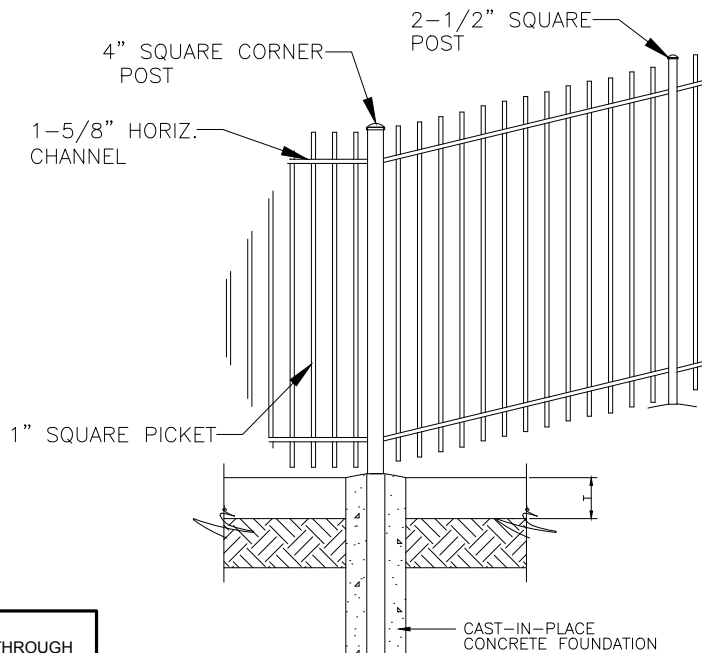
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SHEET NUMBER  
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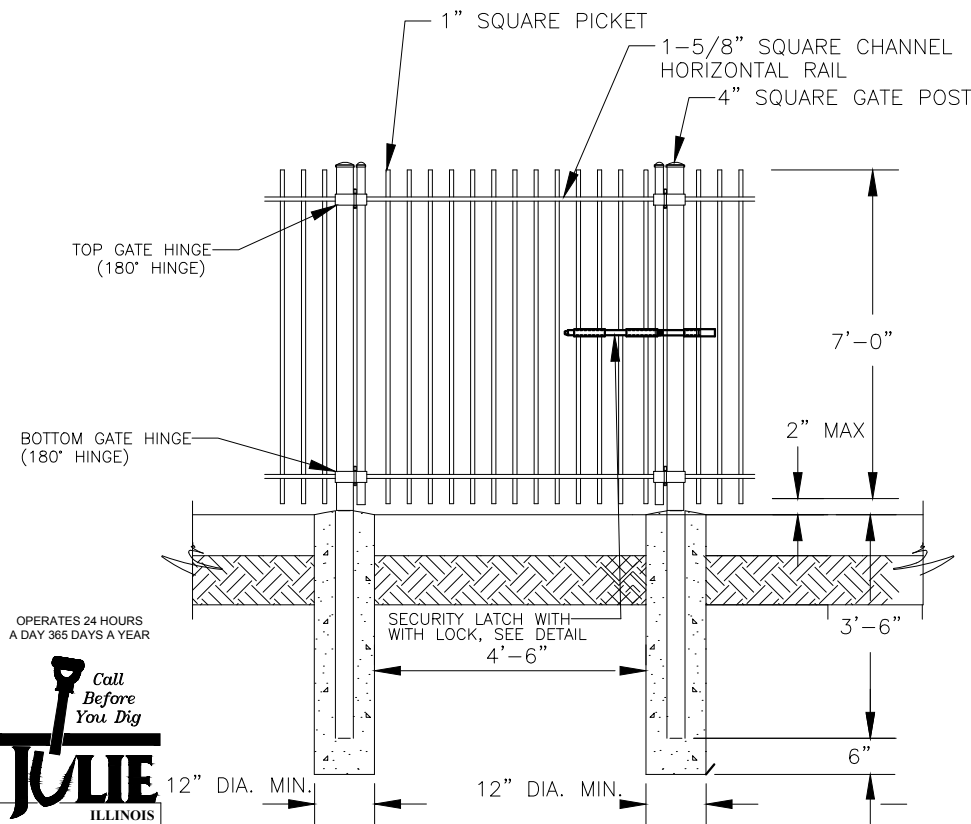


**1 STEEL POST**  
THE FENCE SHALL BE GROUNDED AS SHOWN IN ELECTRICAL DETAILS N.T.S.

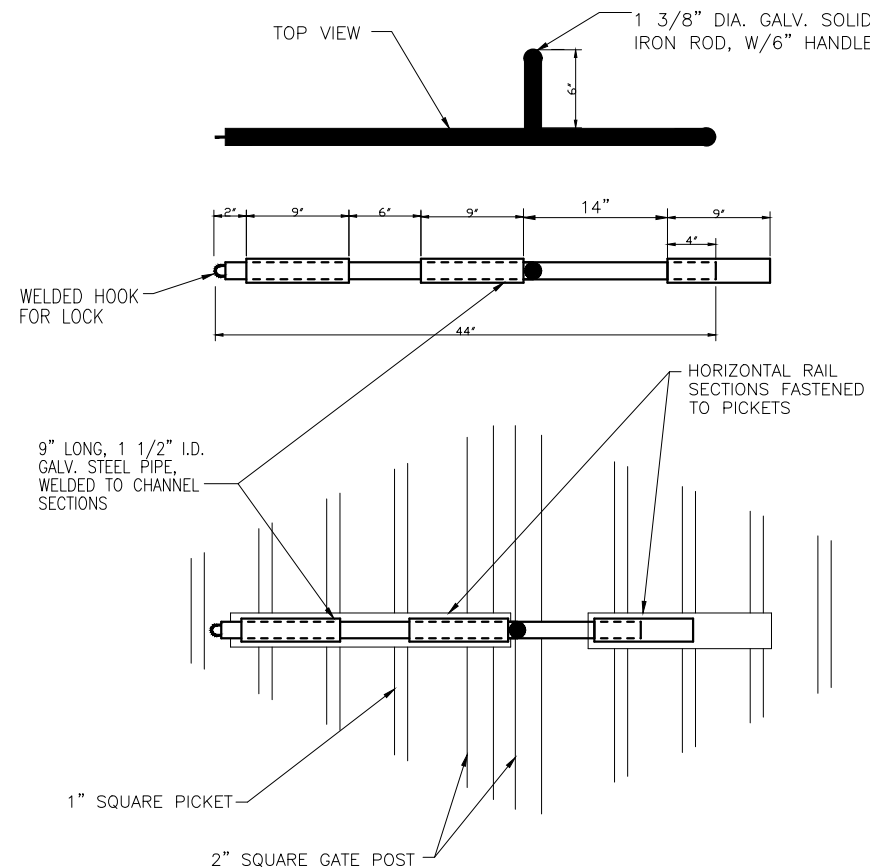


**2 CORNER POST**  
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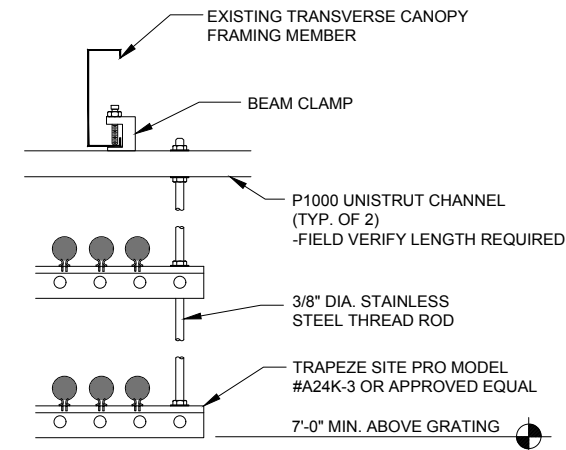
- NOTE: CUC TO HAVE ACCESS THROUGH PROPOSED GATE VIA A KEY OR COMBINATION LOCK
- ALL FENCING AND RELATED ASSEMBLIES SHALL BE GALVANIZED ZINC FINISH (BARB WIRE—ASTM A585 FABRIC—ASTM A392-84 FRAME WORK—ASTM F669-81)
  - ALL CONCRETE FOOTINGS SHALL BE 6.1 BAG MIX 3000 PSI CONCRETE



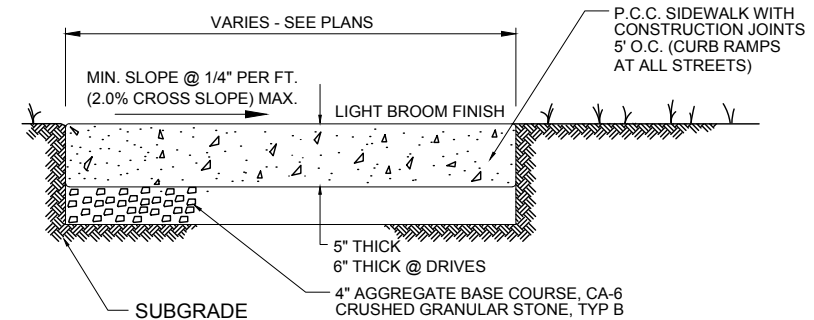
**4 4'-0" SWING GATE**  
THE FENCE SHALL BE GROUNDED AS SHOWN IN ELECTRICAL DETAILS N.T.S.



**4 SECURITY LATCH DETAIL**  
N.T.S.



**5 COAX TRAPEZE DETAIL (AT PLATFORM)**  
N.T.S.



**6 CONCRETE SIDEWALK DETAIL**  
SCALE: NTS

NOTE: COAX WALL BRACKETS AND COVER CAN BE ORDERED AS A KIT THROUGH ANDREW. INSTALL BRACKETS AND COVER PER MANUFACTURERS RECOMMENDATIONS. ALL MOUNTING HARDWARE MUST BE ORDERED SEPARATELY. SUPPLIED & INSTALLED BY CONTRACTOR

STEEL COVER TO ENCLOSE COAX. PRIME/PAINT COAX COVER TO MATCH BUILDING

ANDREW 2-BRACKET AND COVER IS TO BE SIZED BASED ON NUMBER OF COAX CABLES IN ROUTE

ANDREW (#WC-SC8D) WALL COAXIAL SUPPORT COVER WITH SNAP IN HANGERS & Z-BRACKET

**7 WALL MOUNTED COAX SUPPORT**  
N.T.S.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



NO.	DESCRIPTION	DATE	BY	TJS	LS	PA	RA	LS	JTM	JTM
4	UPDATE PER ILL COMMENTS	12/03/17								
5	RE-ISSUED PER REVISIONS	02/19/18								
6	REVISED PER FIBER COORDINATION	02/23/18								
7	UPDATE PER ILL COMMENTS	04/02/18								
8	UPDATE PER ILL COMMENTS	04/23/18								
9	UPDATE PER ILL COMMENTS	04/25/18								
10	UPDATE PER VILLAGE COMMENTS	05/03/18								

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

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DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
SITE DETAILS

SHEET NUMBER

**C-2**

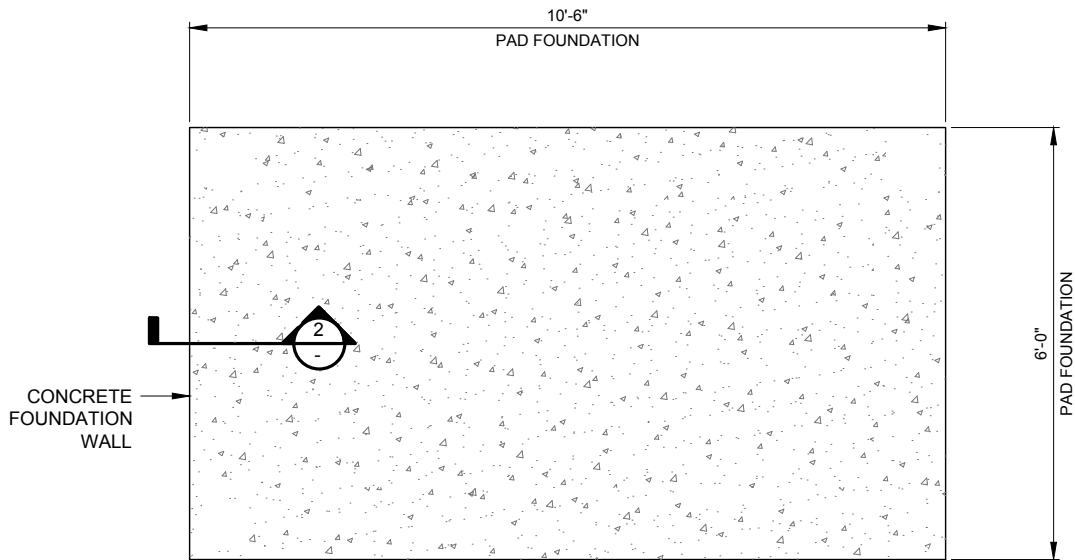
OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR



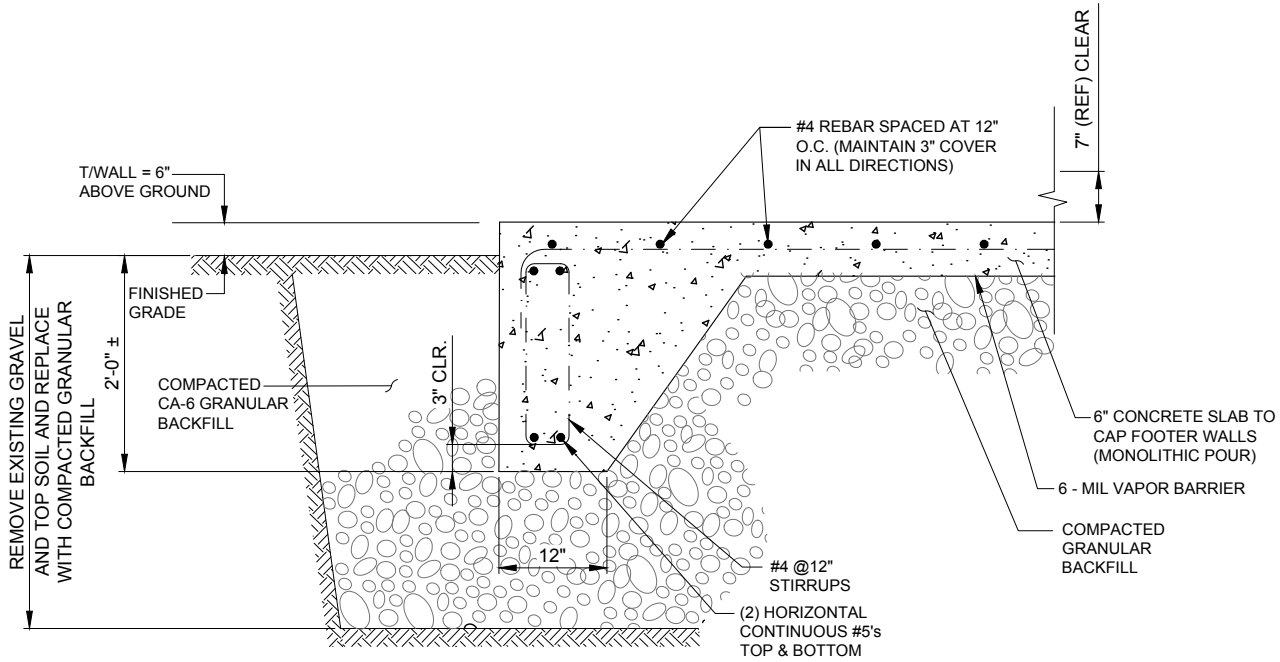
CALL JULIE TOLL FREE  
1(800) 892-0123  
48 HOURS BEFORE  
YOU DIG



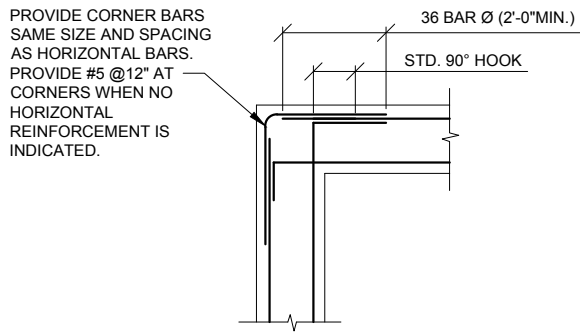
NOTE:  
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL.



1 ELEVATED STEEL EQUIPMENT PLATFORM - FOUNDATION PLAN  
SCALE: 3/4" = 1'-0"



2 FOUNDATION WALL SECTION  
SCALE: N.T.S.



CORNER

3 CONCRETE WALL REINFORCEMENT DETAILS  
SCALE: NTS

CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF F<sub>c</sub>=4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
3. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
4. ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISHED GRADES OR TO FROST WHICH EVER IS GREATER.
5. CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW.
6. ALL FOOTINGS TO BEAR ON MINIMUM NET ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF TO BE VERIFIED IN FIELD.

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE
NO.	DESCRIPTION	TJS	LS
4	UPDATE PER LL COMMENTS	12/03/17	
5	RE-ISSUED PER REVISIONS	02/19/18	
6	REVISED PER FIBER COORDINATION	02/23/18	
7	UPDATE PER LL COMMENTS	04/02/18	
8	UPDATE PER LL COMMENTS	04/23/18	
9	UPDATE PER LL COMMENTS	04/25/18	
10	UPDATE PER VILLAGE COMMENTS	05/03/18	

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
FOUNDATION PLAN

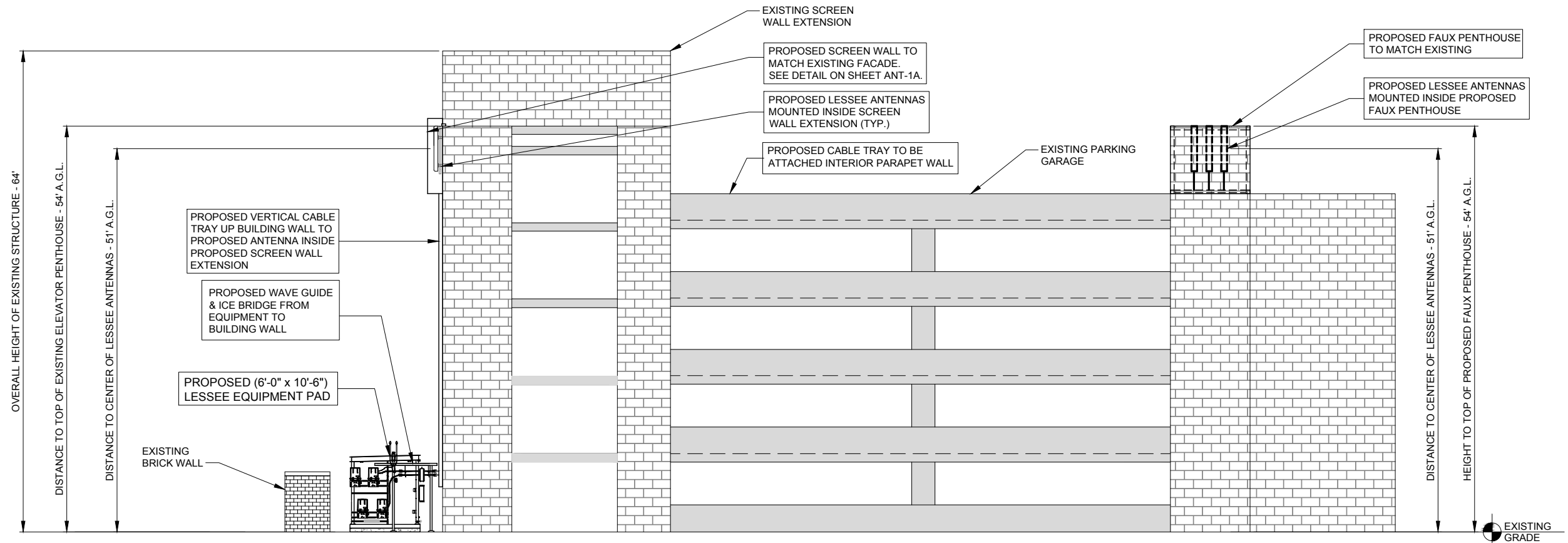
SHEET NUMBER

C-3

OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR



CALL JULIE TOLL FREE  
1(800) 892-0123  
48 HOURS BEFORE  
YOU DIG



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

**CHICAGO SMSA**  
limited partnership  
d/b/a VERIZON WIRELESS

**TERRA**  
CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

REVISIONS						
NO.	DESCRIPTION	DATE	BY	TJS	LS	JTM
4	UPDATE PER ILL COMMENTS	12/03/17				
5	RE-ISSUED PER REVISIONS	02/19/18				
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8	UPDATE PER ILL COMMENTS	04/23/18				
9	UPDATE PER ILL COMMENTS	04/25/18				
10	UPDATE PER VILLAGE COMMENTS	05/03/18				

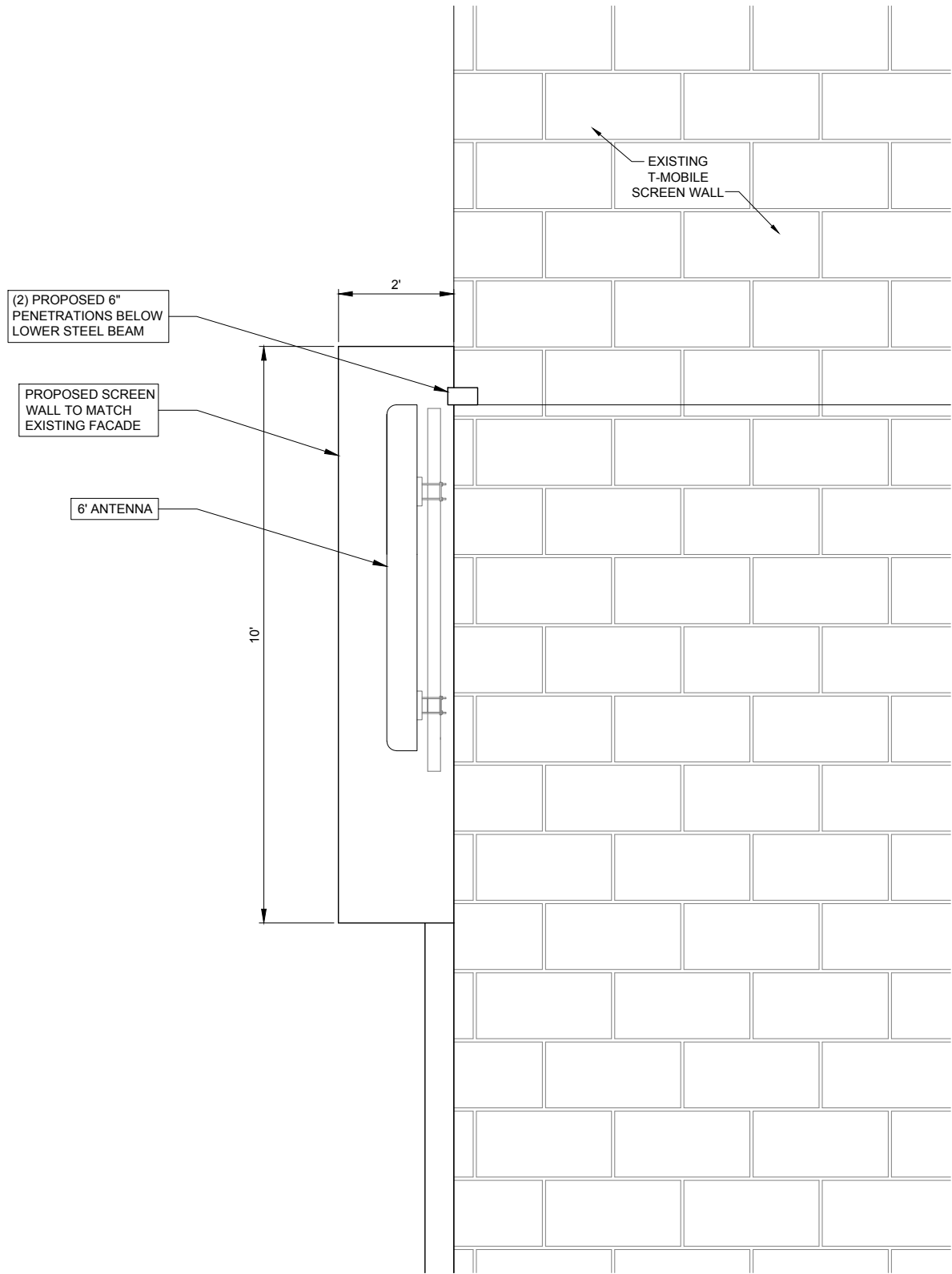
LOC. # 418745

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RIVER FOREST, IL 60305

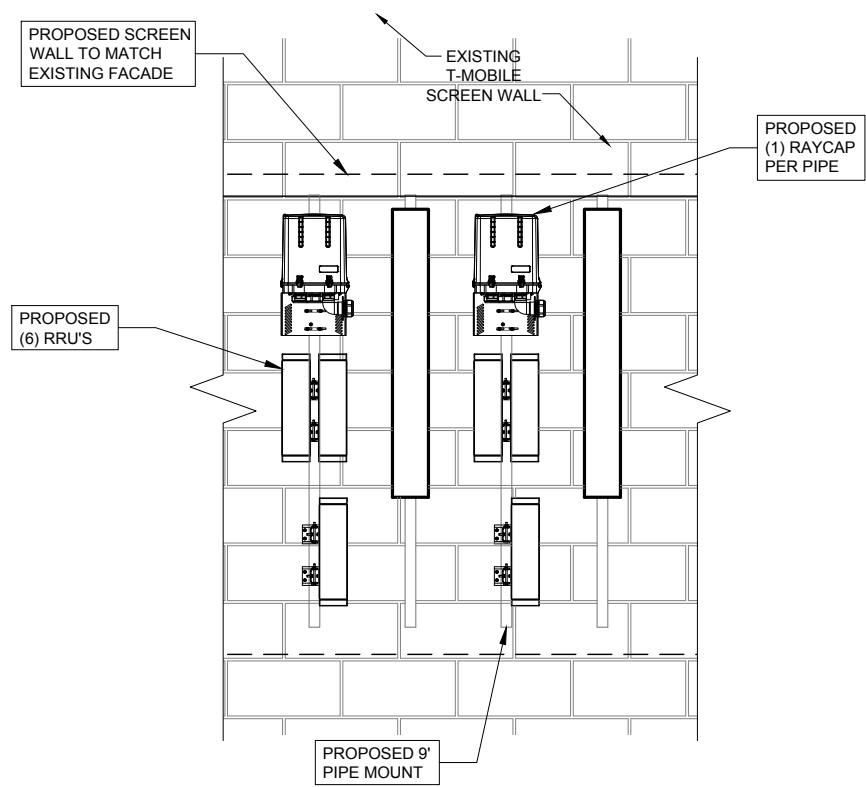
DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
SITE ELEVATION

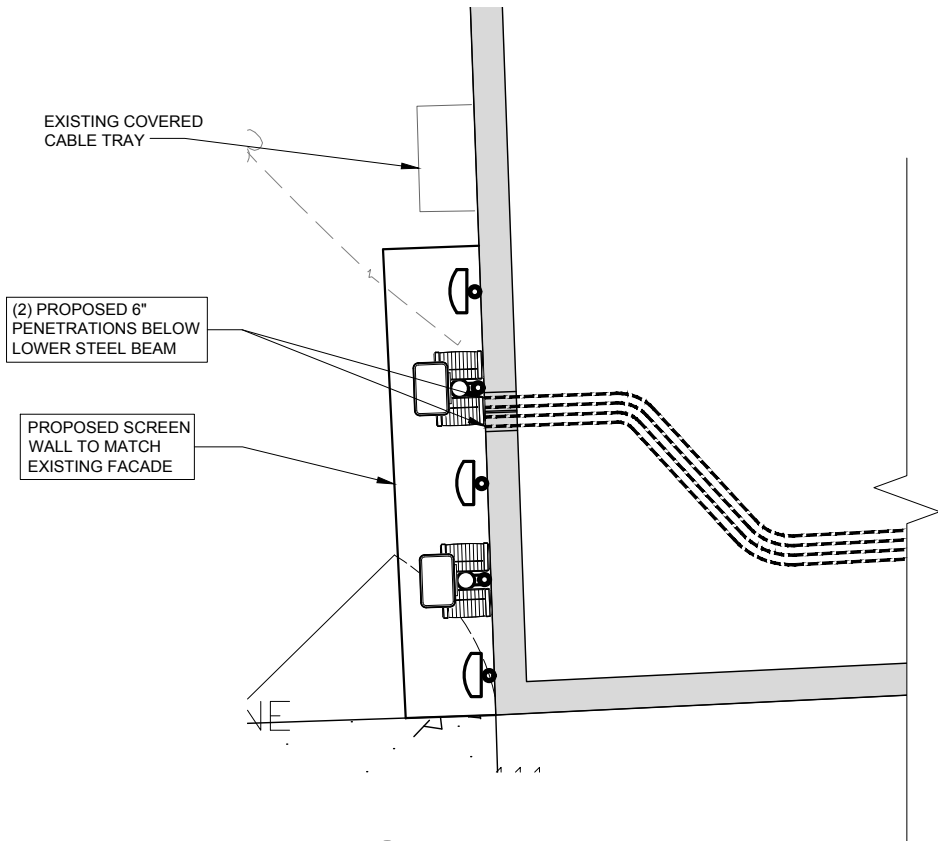
SHEET NUMBER  
**ANT-1**



1 ENLARGED GAMMA SECTOR ELEVATION  
SCALE: 3/4" = 1'-0"



2 ENLARGED GAMMA SECTOR (PARTIAL) ELEVATION  
SCALE: 1/2" = 1'-0"



3 ENLARGED GAMMA SECTOR PLAN  
SCALE: 1" = 2'

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NO.		REVISIONS		DATE	BY
		DESCRIPTION			
4		UPDATE PER LL COMMENTS	TJS	12/03/17	
5		RE-ISSUED PER REVISIONS	LS	02/19/18	
6		REVISED PER FIBER COORDINATION	PA	02/23/18	
7		UPDATE PER LL COMMENTS	RA	04/02/18	
8		UPDATE PER LL COMMENTS	LS	04/23/18	
9		UPDATE PER LL COMMENTS	JTM	04/25/18	
10		UPDATE PER VILLAGE COMMENTS	JTM	05/03/18	

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
ANTENNA MOUNTING  
DETAILS  
(AT GAMMA SECTOR)

SHEET NUMBER  
**ANT-1A**

<b>Cell Name</b>	FORESTPK NORTH			<b>Cell ID</b>	
<b>Location Number</b>		<b>RF Engineer</b>	Sabhi Siddiqui	<b>Address</b>	7400 Augusta St
<b>Date of Request</b>	2/20/2017	<b>Market</b>	EL-2	<b>City/State/Zip</b>	River Forest, IL

Comments	

1 PROPOSED ANTENNA CONFIGURATION  
N.T.S.

Passive Components	Location	Manufacturer	Component Model	Count	Action
	Top (Platform)				
	Top (Platform)	Ericsson	RRUS - 700	6	Install
	Top (Platform)	Ericsson	RRUS - 850	6	Install
	Top (Platform)	Ericsson	RRUS32 - PCS	3	Install
	Top (Platform)	Ericsson	RRUS32 - AWS	3	Install
	Top (Platform)				
	Top (Platform)	Andrew	CB078-DF-8-DCB	6	Install
	Top (Platform)	Raycap	RCMDC-3315-PF-48	6	Install
	Bottom (Shelter)	Raycap	RCMDC-3315-PF-48	6	Install
Bottom (Shelter)					

Coax	Sector	Coax Manufacturer	Type	Size	Count	Action
	Alpha /Beta /Gamma		HFT1206-24S49-XXX			
		Andrew		1 5/8	6	Install

3 CABLE DIAGRAM  
N.T.S.



**TERRA**  
CONSULTING GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-698-6400  
FAX: 847-698-6401

REVISIONS				
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10	UPDATE PER VILLAGE COMMENTS	05/03/18	JTM	

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

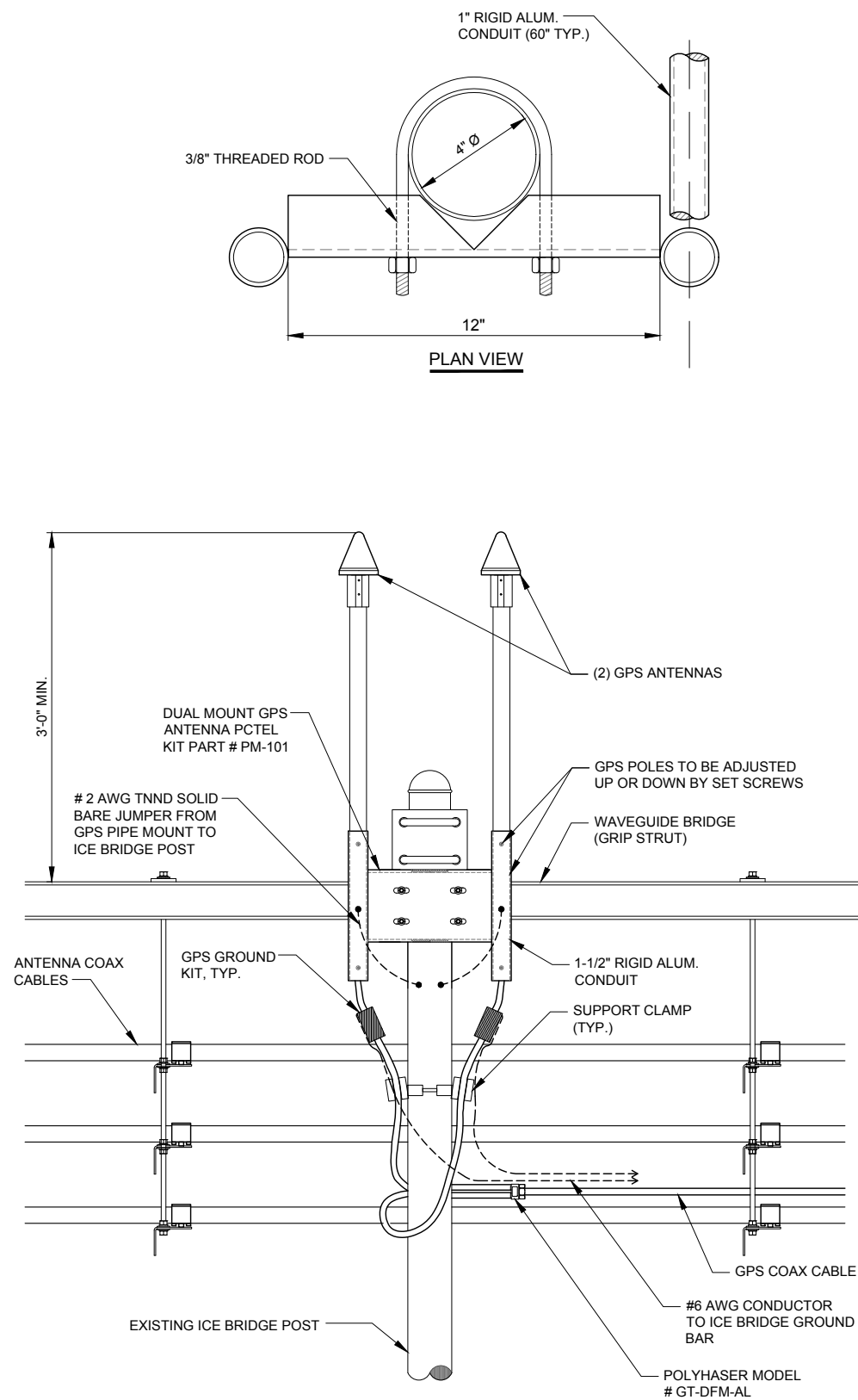
CHECKED BY: TAZ

PROJECT #: 33-2430

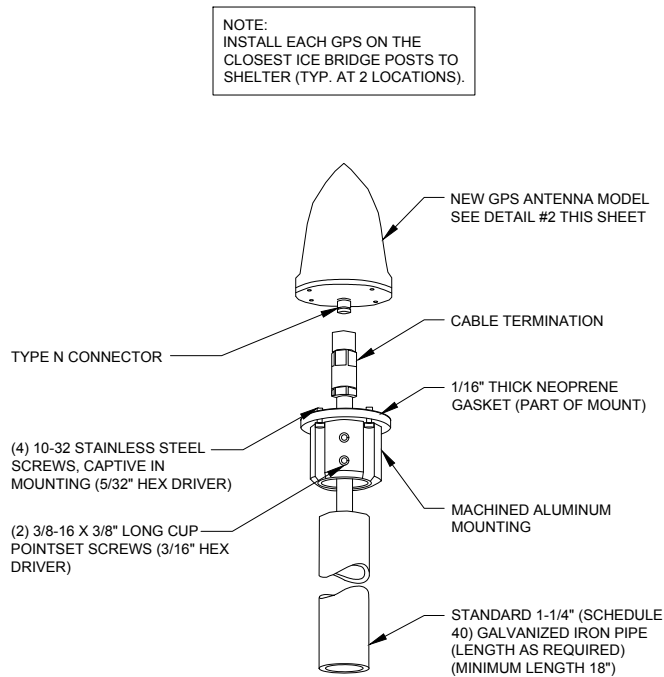
## ANTENNA INFORMATION

# ANT-2



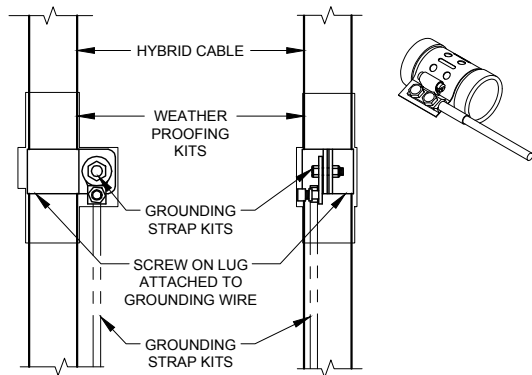


1 GPS MOUNTING DETAIL  
N.T.S.

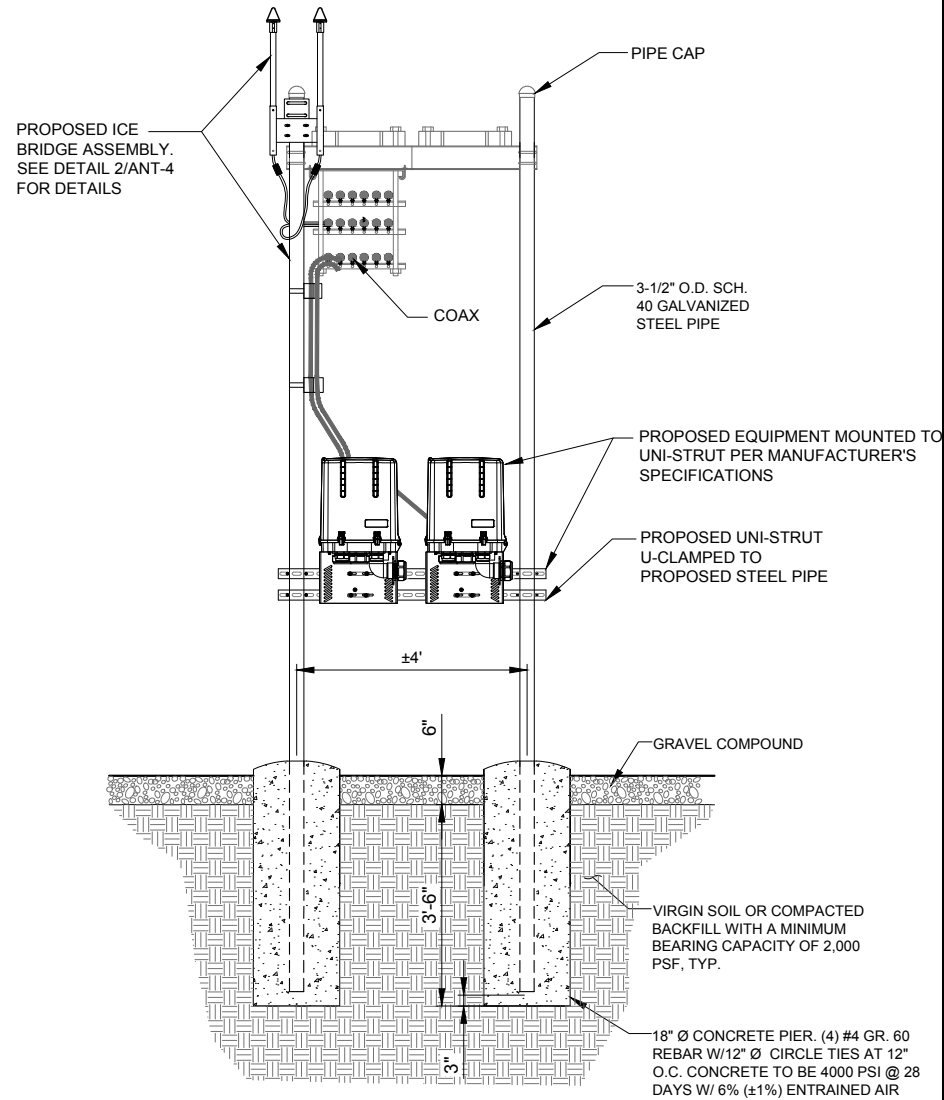


2 TYPICAL GPS DETAIL  
N.T.S.

- NOTES:
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
  2. THIS DETAIL IS TYPICAL FOR EACH CABLE WHERE IT IS SPECIFIED TO BE GROUNDED
  3. CABLE TO BE GROUNDED AT ANTENNA LEVEL AND PRIOR TO ENTERING SHELTER ENTRY PANEL.
  4. CABLE ALSO TO BE GROUNDED TO GROUND BAR AT TOWER BASE IF APPLICABLE.
  5. USE ONLY TIN PLATED GROUNDING KITS.



4 COAX/ HYBRID GROUND KIT DETAIL  
N.T.S.



3 RAYCAP MOUNT DETAIL - IF APPLICABLE  
N.T.S.

**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISONS		NO.	DESCRIPTION	DATE	BY
		4	UPDATE PER LL COMMENTS	12/03/17	TJS
		5	RE-ISSUED PER REVISIONS	02/19/18	LS
		6	REVISED PER FIBER COORDINATION	02/23/18	PA
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		9	UPDATE PER LL COMMENTS	04/25/18	JTM
		10	UPDATE PER VILLAGE COMMENTS	05/03/18	JTM

LOC. # 418745

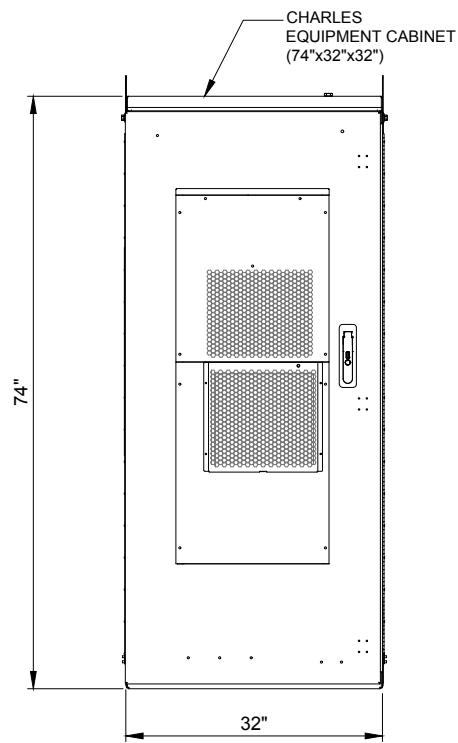
7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
SITE  
DETAILS

SHEET NUMBER

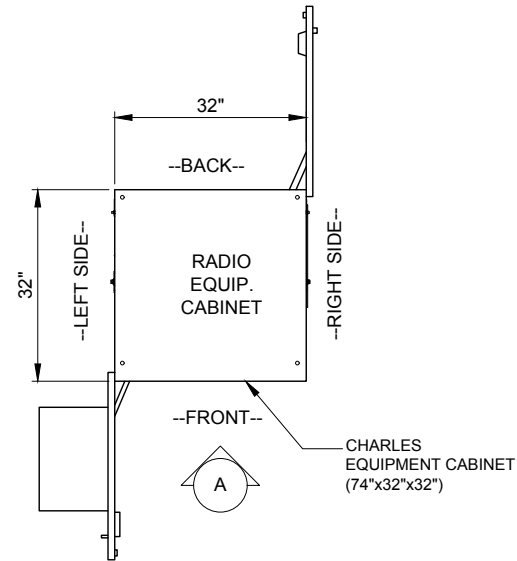
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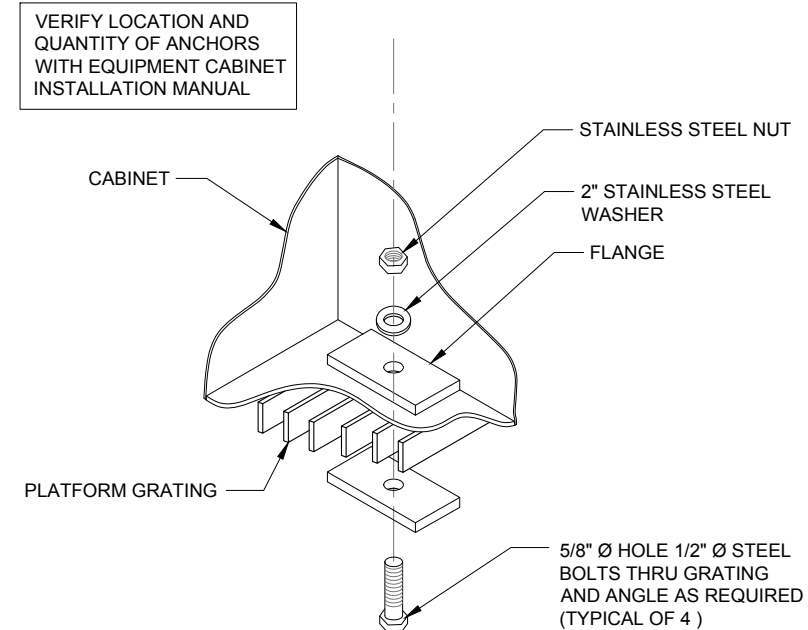
CABINET ELEVATION A

Category	
Dimensions and weight	74"H x 32"W x 32"D 535 lbs. as shipped
23" Front and Rear Equipment Rack Space and Hole Spacing	68" (39RU) EIA spacing with tapped 12 - 24 mounting holes
Color	Off- White
Material	.125" Welded Aluminum
Maximum Heat Dissipation	2900W
10000 BTU Air Conditioner with 2000W heater	Dantherm #1A/CT-B1000
Electrical outlet	One GFCI outlet
-48VDC power system with controller	GE infinity S: NES4824-23-AC5-PS8-DC1E
Bonding and Grounding	(4) 2x8-position Ground Bars
Cable Entrance	REFER TO DETAIL BELOW
Operating Temp. Range, Inside Enclosure	-40° to +149°F, 40° to 65°C
Operating Temp. Range, Outside Enclosure	-40° to +115°F, 40° to 46°C
Humidity	0 to 95% (non-condensing)
Altitude	Up to 2,000 meters (6560')

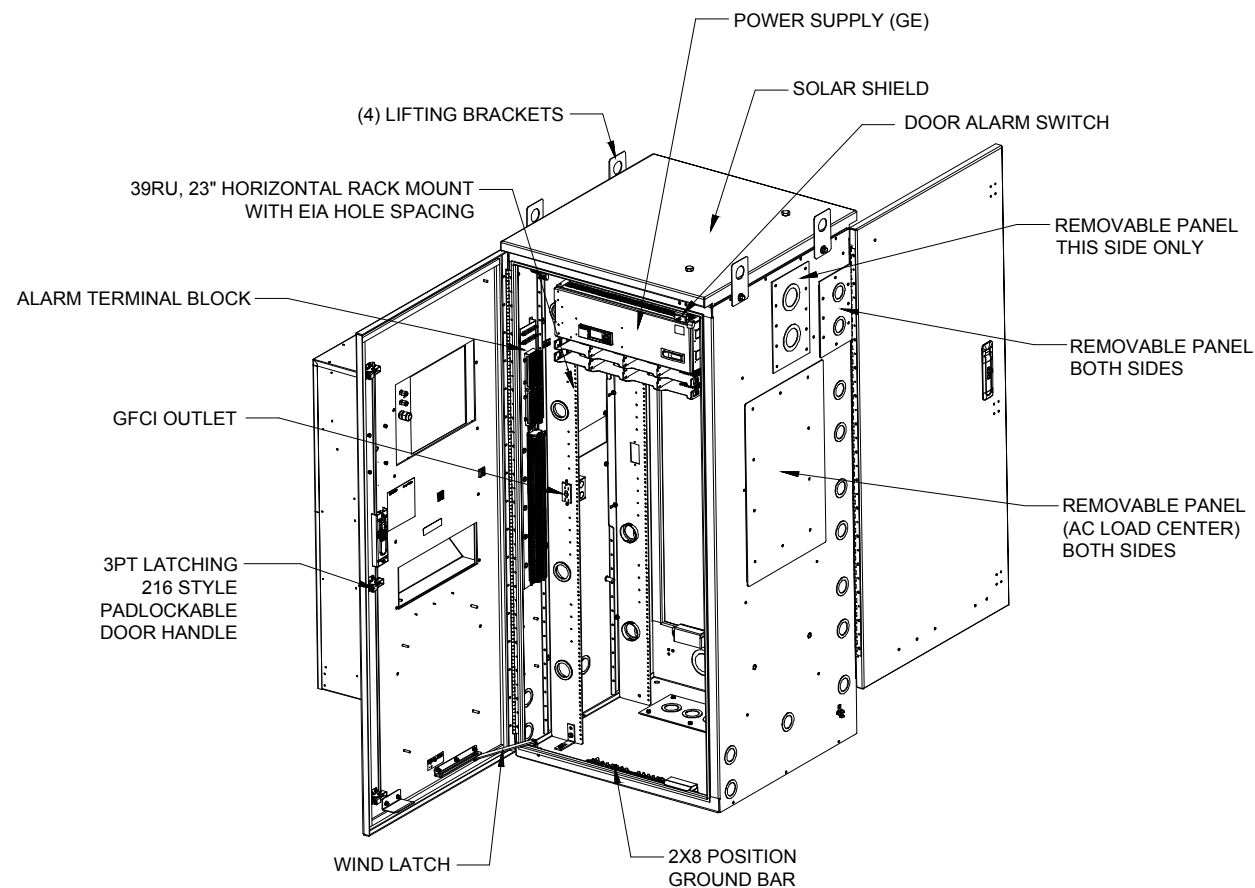
1 CHARLES CUBE-PM63912UN3 CABINET DIMENSIONS  
SCALE: N.T.S



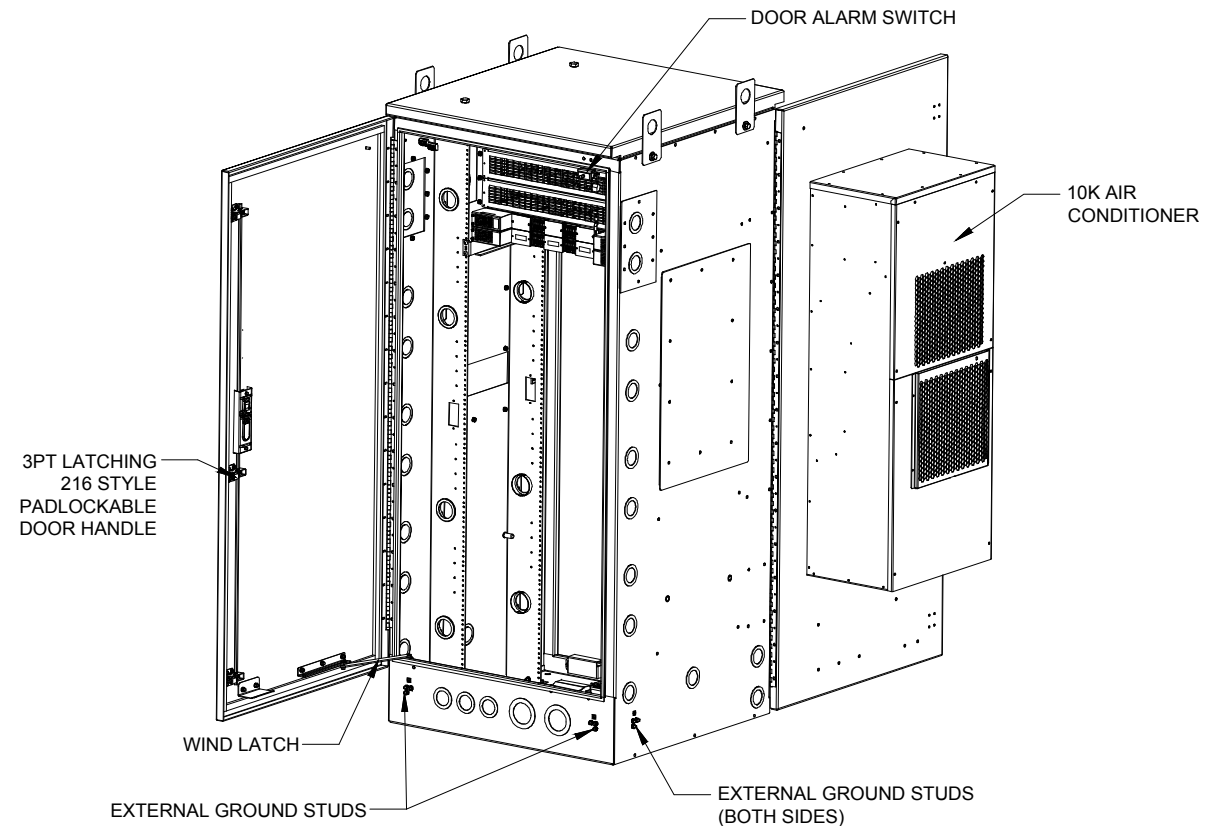
2 CHARLES CUBE-PM63912UN3 CABINET DIMENSION PLAN  
SCALE: N.T.S



3 TYPICAL CABINET ANCHORING DETAIL  
SCALE: N.T.S



4 CHARLES CUBE-PM63912UN3 CABINET COMPONENTS  
SCALE: N.T.S



**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE	TJS	LS	PA	RA	LS	JTM	JTM
NO.	DESCRIPTION									
4	UPDATE PER ILL COMMENTS		12/03/17							
5	RE-ISSUED PER REVISIONS		02/19/18							
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9	UPDATE PER ILL COMMENTS		04/25/18							
10	UPDATE PER VILLAGE COMMENTS		05/03/18							

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RIVER FOREST, IL 60305

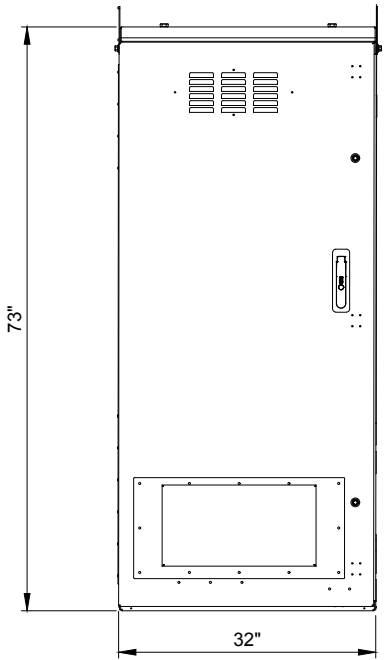
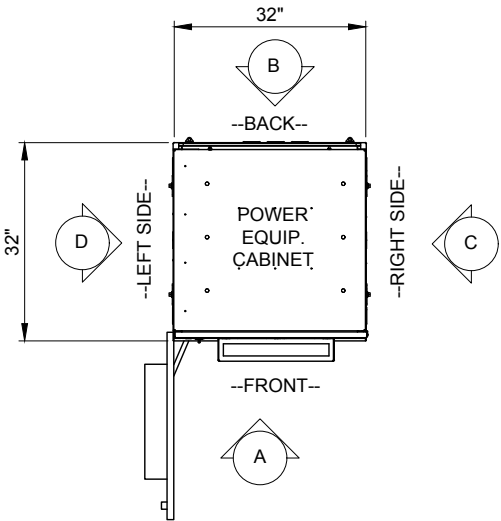
DRAWN BY:	TJS
CHECKED BY:	TAZ
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PROJECT #:	33-2430

SHEET TITLE  
EQUIPMENT  
DETAILS

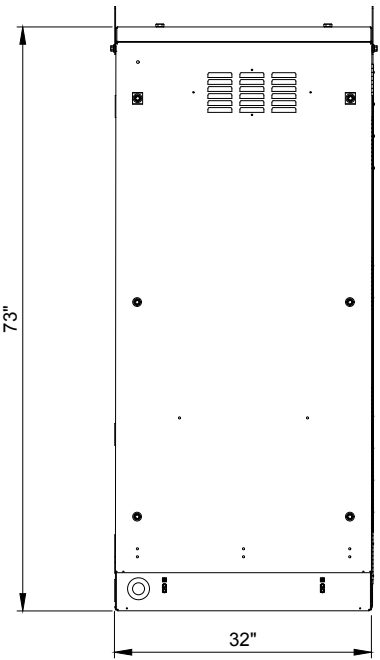
SHEET NUMBER

**EQ-1**

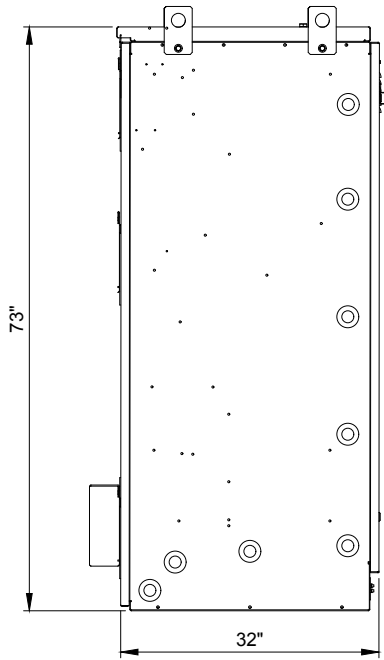
CHARLES CUBE-BB48E1HN1	
DIMENSIONS	32"W x 32"W x 73"H
WEIGHT	900 LBS (EMPTY)
WEIGHT	2650 LBS (w/NI-Cd BTY)
BATT. SUPPORT	5 STRINGS SAFT TEL. 180,48V
THERMAL	DAC



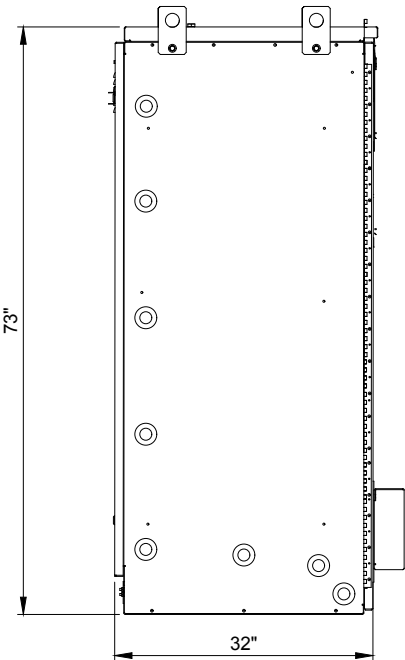
CABINET ELEVATION A



CABINET ELEVATION B



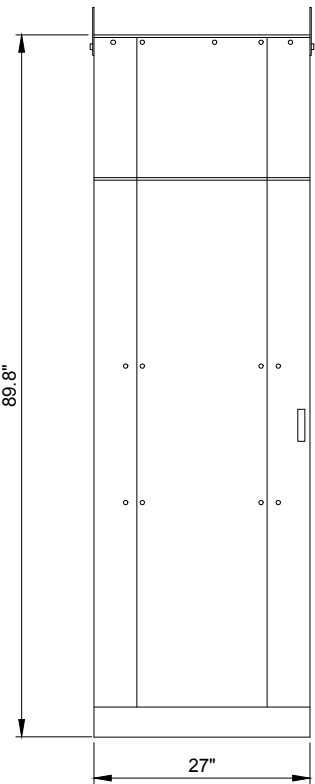
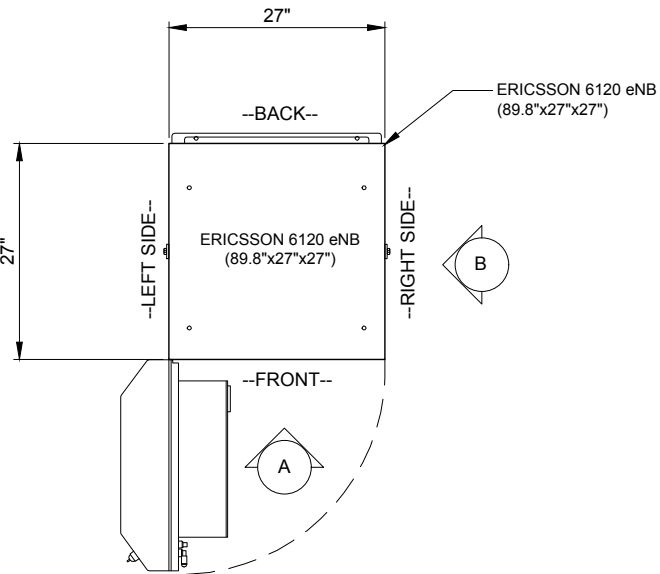
CABINET ELEVATION C



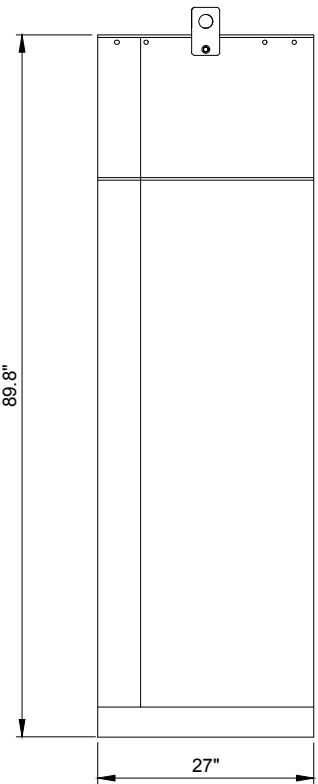
CABINET ELEVATION D

1 CHARLES CUBE-BB48E1HN1 CABINET DIMENSIONS  
N.T.S.

ERICSSON 6120 eNB	
DIMENSIONS	27"W x 27"W x 89.8"H
WEIGHT	___ LBS

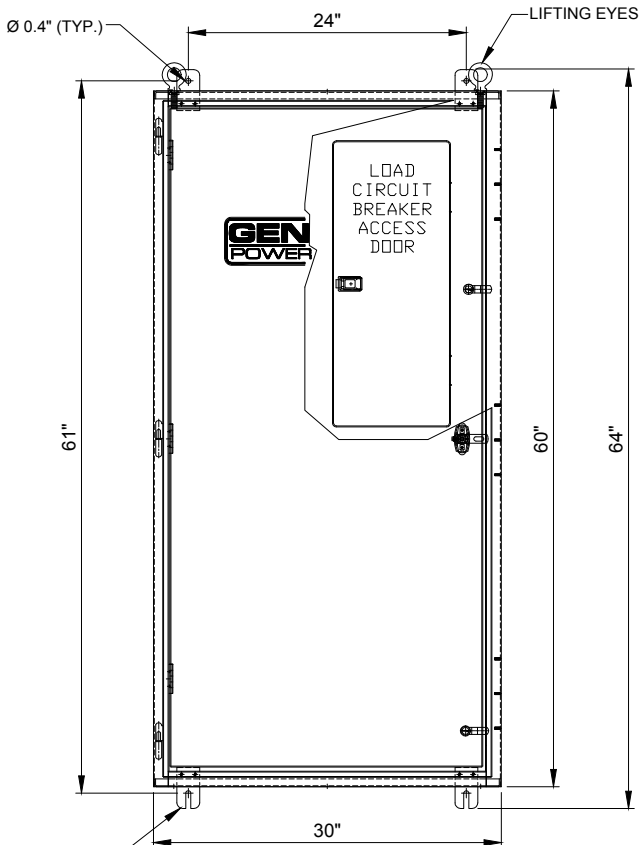


CABINET ELEVATION A



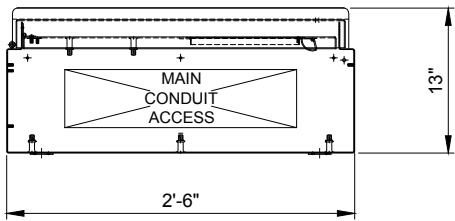
CABINET ELEVATION B

2 ERICSSON 6120 eNB CABINET DIMENSIONS  
SCALE: N.T.S



FRONT VIEW

ILC RATED AMPS	Voltage	Phase	Enclosure Height	Enclosure Width	Enclosure Depth	Weight (lbs.)
200	120/240	1	60"	30"	10"	350
200	120/208	3	60"	30"	10"	350



BOTTOM VIEW

3 INTEGRATED LOAD CENTER  
SCALE: N.T.S

**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS

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RIVER FOREST, IL 60305

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SHEET TITLE  
EQUIPMENT  
DETAILS

SHEET NUMBER  
**EQ-2**

DESIGN LOADS:

CODE: INTERNATIONAL BUILDING CODE 2003

SNOW LOAD = 25 PSF  
WIND LOAD = 20 PSF (MIN.)  
WIND SPEED = 90 MPH  
EXPOSURE = C  
I = 1.0

GENERAL STEEL NOTES:

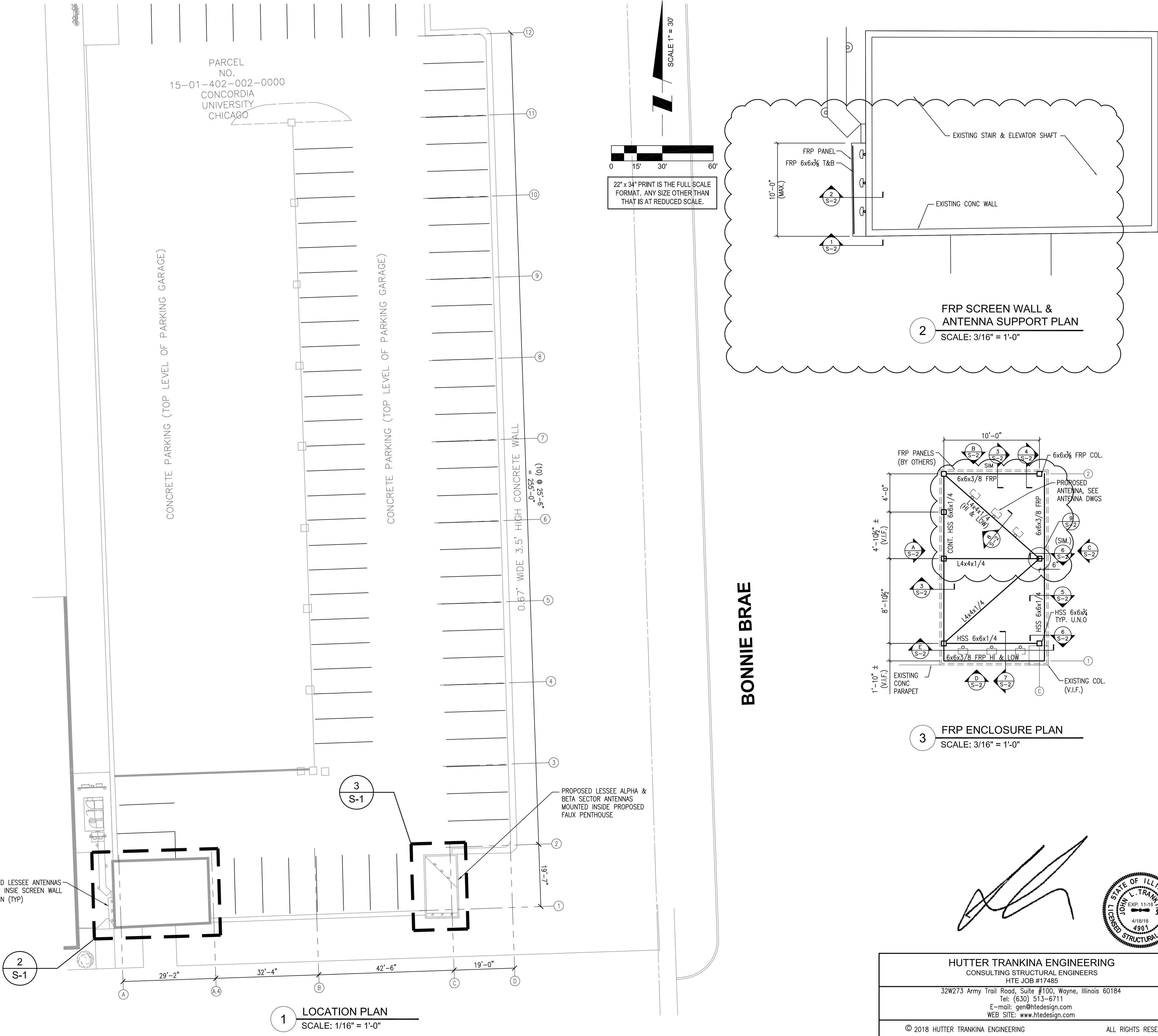
- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
- ALL STRUCTURAL STEEL W SHAPES SHALL CONFORM TO ASTM A572 OR A992 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL CONFORM TO ASTM A36 GR 36, UNLESS NOTED OTHERWISE. GALV. COATED STEEL SHALL CONFORM TO ASTM A653 GRADE 50. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR AND U-BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES. ALL STRUCTURAL STEEL BOLTS SHALL BE ASTM A325. ALL STRUCTURAL STEEL SHAPES, BOLTS AND HARDWARE SHALL BE HOT DIPPED GALVANIZED.
- ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.
- THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
- IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
- SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.
- TAKE NECESSARY PRECAUTIONS WHEN WELDING TO GALVANIZED SURFACES.
- GALVANIZED TOUCH-UP ALL SURFACES AFTER WELDING.

MISCELLANEOUS NOTES:

- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS OF ALL DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.
- NO OPENINGS, OTHER THAN THOSE SHOWN ON DESIGN DRAWINGS AND APPROVED SHOP DRAWINGS, SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL FURNISH ALL TEMPORARY BRACING AND / OR SUPPORTS REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND / OR SEQUENCES.
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- ALL THINGS WHICH, IN THE OPINION OF THE CONTRACTOR, APPEAR TO BE DEFICIENCIES, OMISSIONS, CONTRADICTIONS AND AMBIGUITIES, IN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PLANS AND / OR SPECIFICATIONS WILL BE CORRECTED, OR A WRITTEN INTERPRETATION OF THE ALLEGED DEFICIENCY, OMISSION, CONTRADICTION OR AMBIGUITY WILL BE MADE BY THE ARCHITECT BEFORE THE EFFECTED WORK PROCEEDS.

FIBER REINFORCED PLASTIC NOTES (FRP)

- FIBER REINFORCED PLASTIC TO HAVE THE FOLLOWING DESIGN PROPERTIES:  
 $E = 2,800,000 \text{ PSI}$   
 $F_u = 10,000 \text{ PSI}$   
 $F_y = 1,500 \text{ PSI}$
- ALL FIBER REINFORCED PLASTIC SHALL BE MANUFACTURED BY BEDFORD PLASTICS OR APPROVED EQUAL.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.+
- CALCULATIONS & DRAWINGS BY FRP MANUFACTURER TO BE SIGNED AND SEALED BY FRP'S STRUCTURAL ENGINEER LICENSED IN THE STATE OF ILLINOIS AND SUBMITTED TO PROJECT ENGINEER FOR REVIEW AND COMMENT.
- ALL FRP WALL PANELS SHALL BE FROM STEALTH ®
- ALL FRP BOLTS SHALL BE FIBREBOLTS.

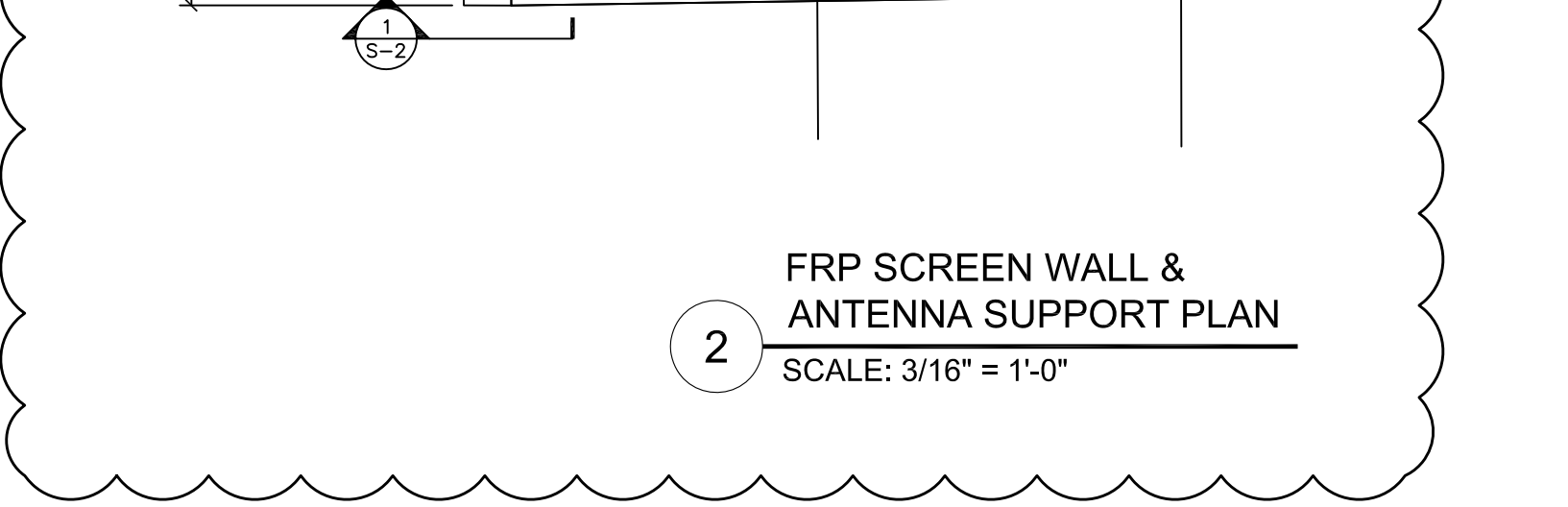


BONNIE BRAE

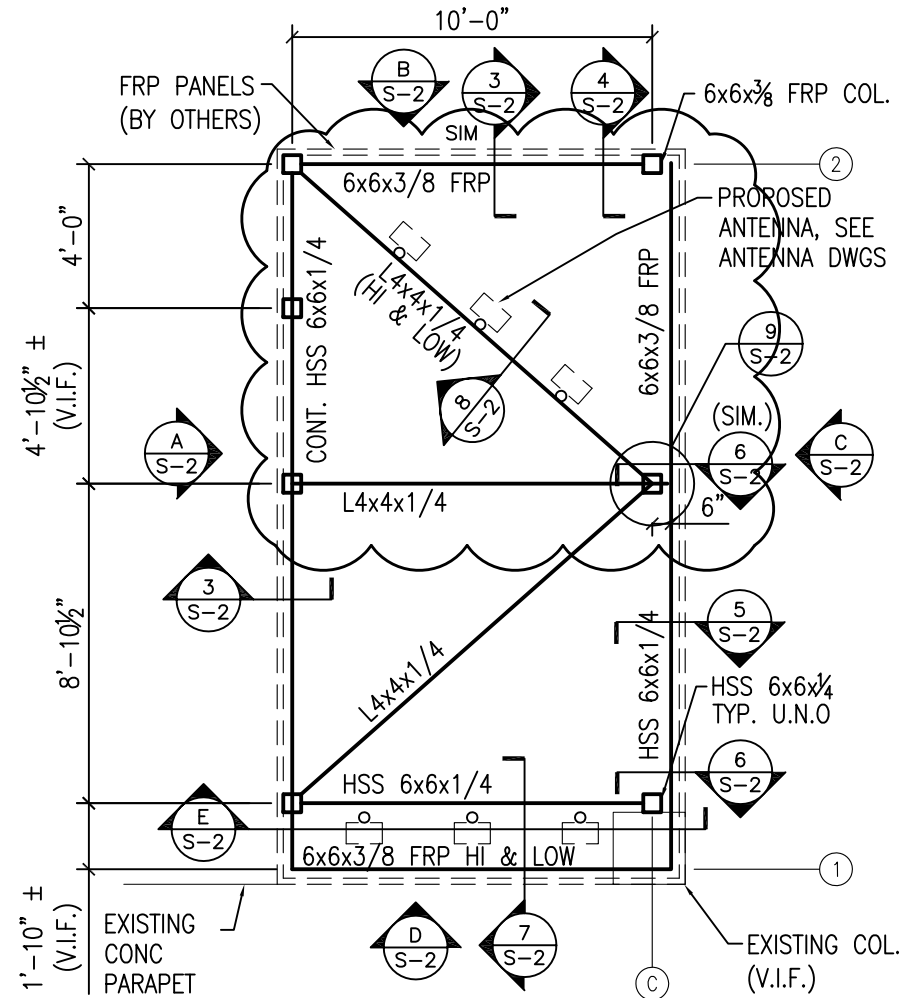
SCALE 1" = 30'

0 15' 30' 60'

22' x 34" PRINT IS THE FULL SCALE FORMAT, ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.

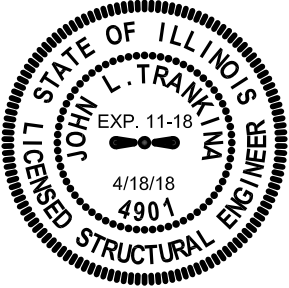


FRP SCREEN WALL & ANTENNA SUPPORT PLAN  
SCALE: 3/16" = 1'-0"



FRP ENCLOSURE PLAN  
SCALE: 3/16" = 1'-0"

*[Signature]*



HUTTER TRANKINA ENGINEERING CONSULTING STRUCTURAL ENGINEERS HTE JOB #17485	
32W273 Army Trail Road, Suite #100, Wayne, Illinois 60184 Tel: (630) 513-6711 E-mail: gen@htedesign.com WEB SITE: www.htedesign.com	
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CHICAGO  
SMSA  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE	UV
NO.	DESCRIPTION	DATE	UV	
1	PEER REVIEW COMMENTS	4/18/18		

LOC. # 418745

FOREST PARK  
NORTH

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

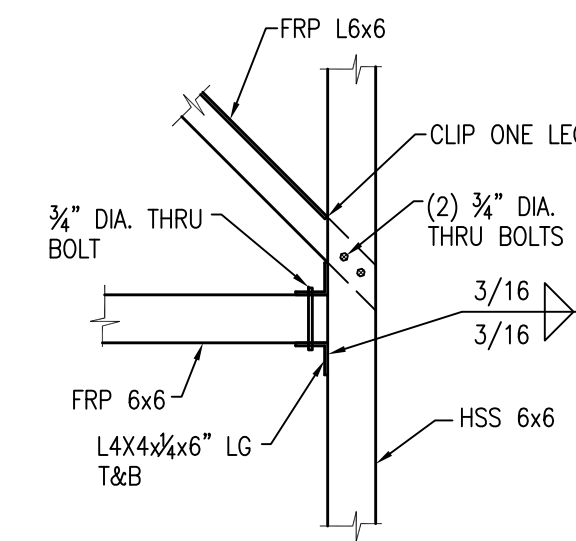
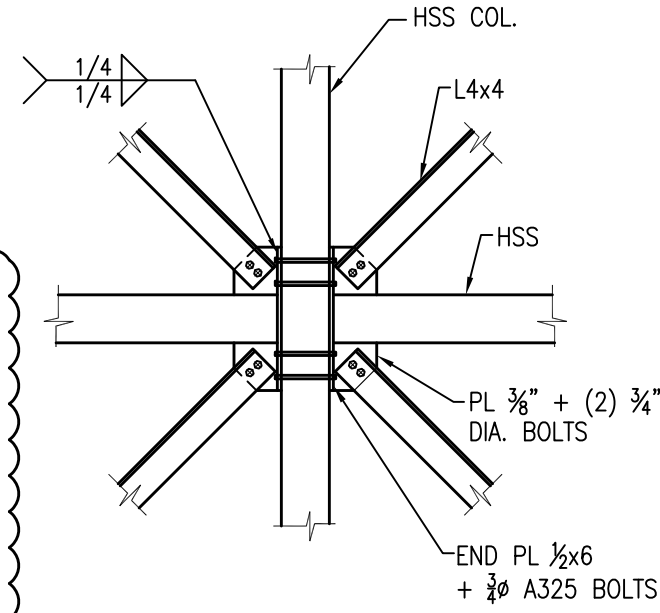
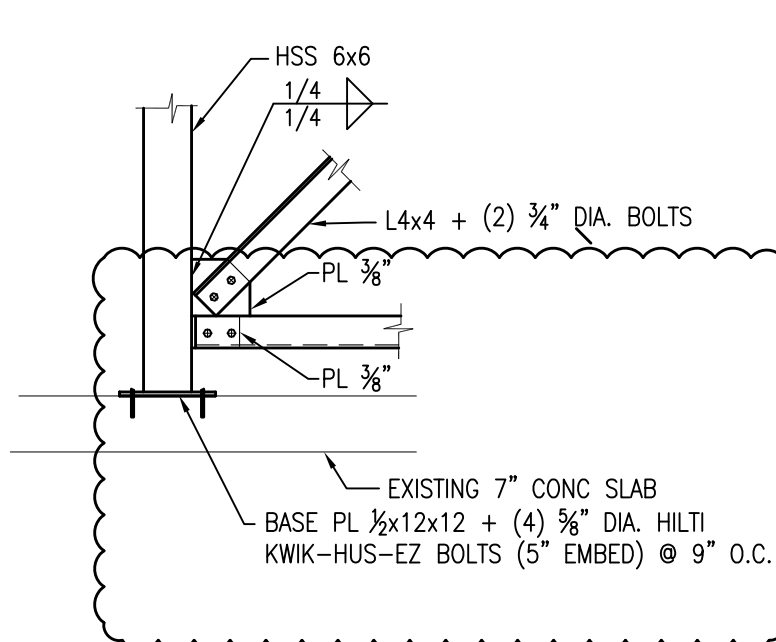
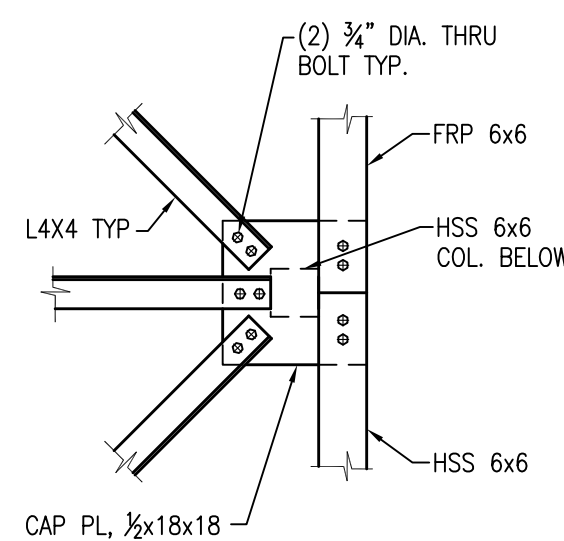
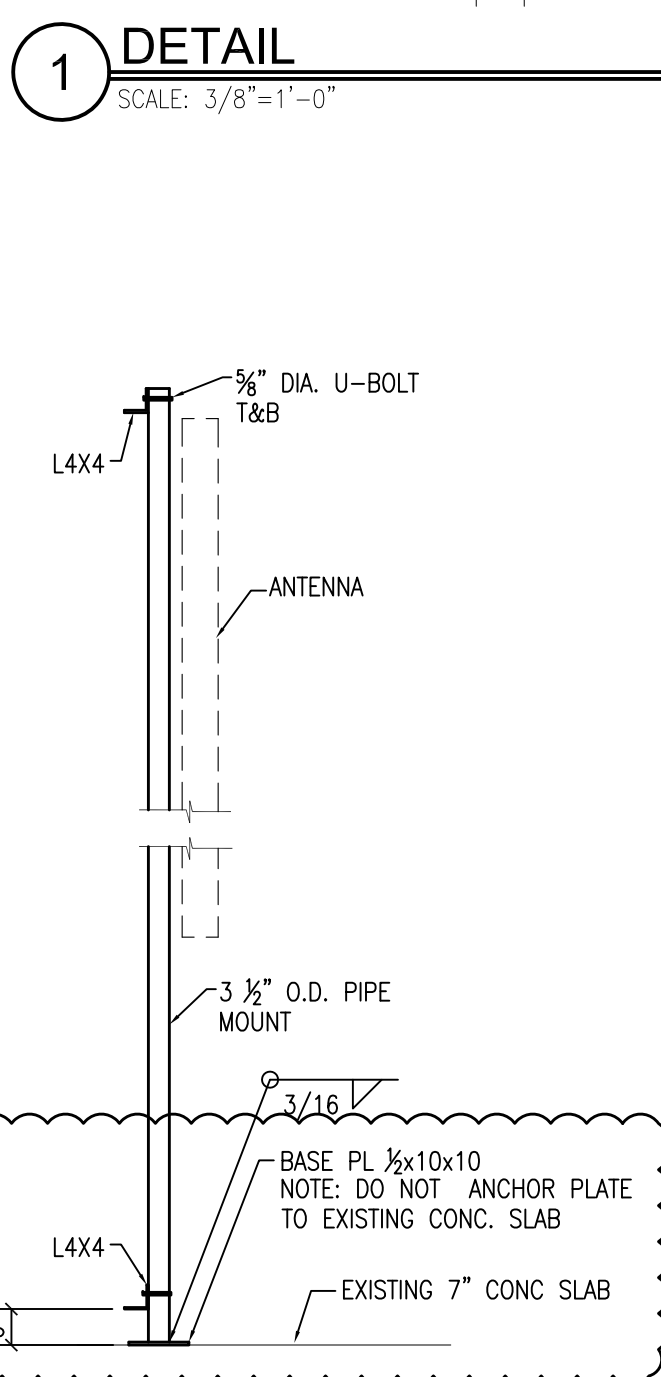
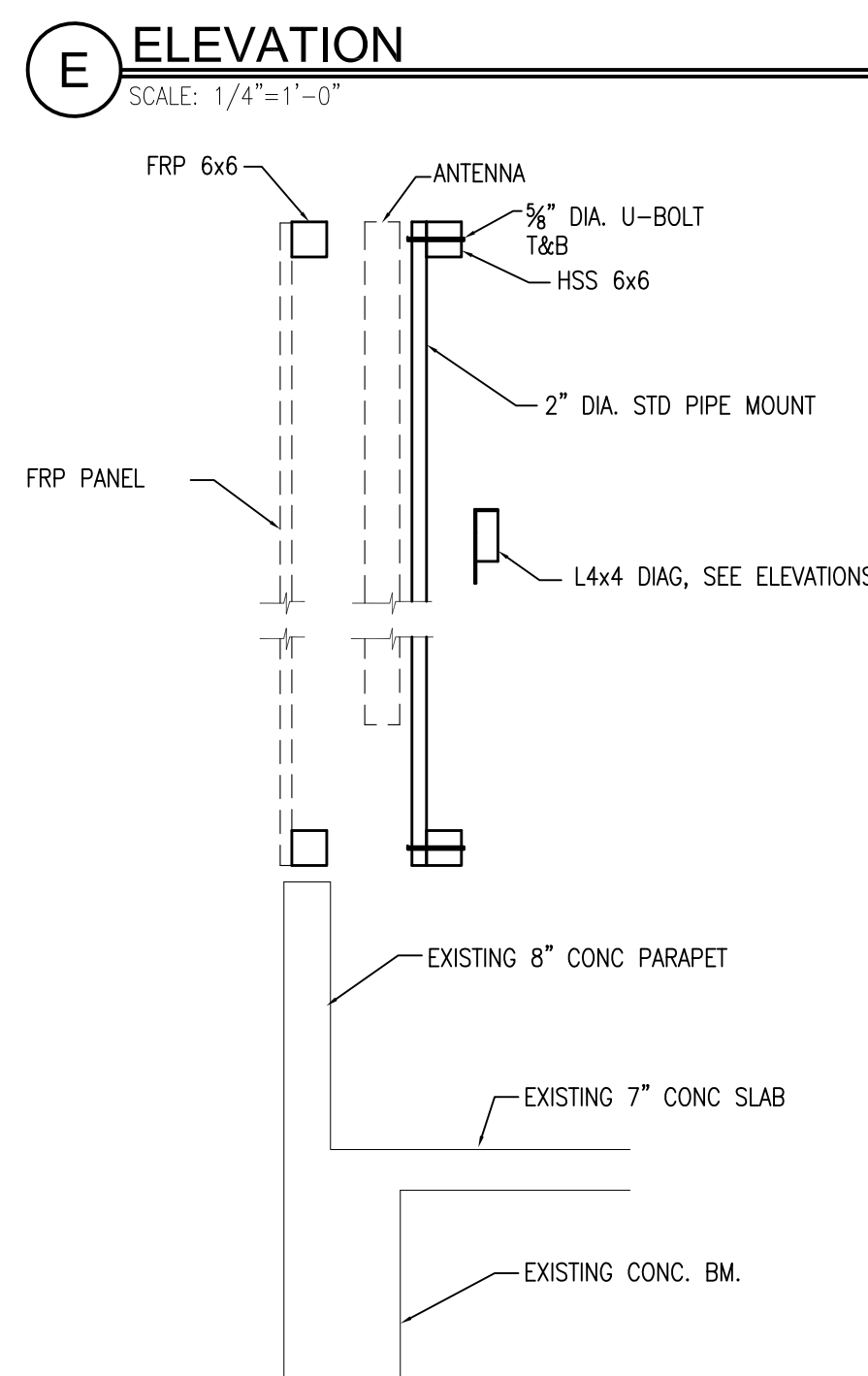
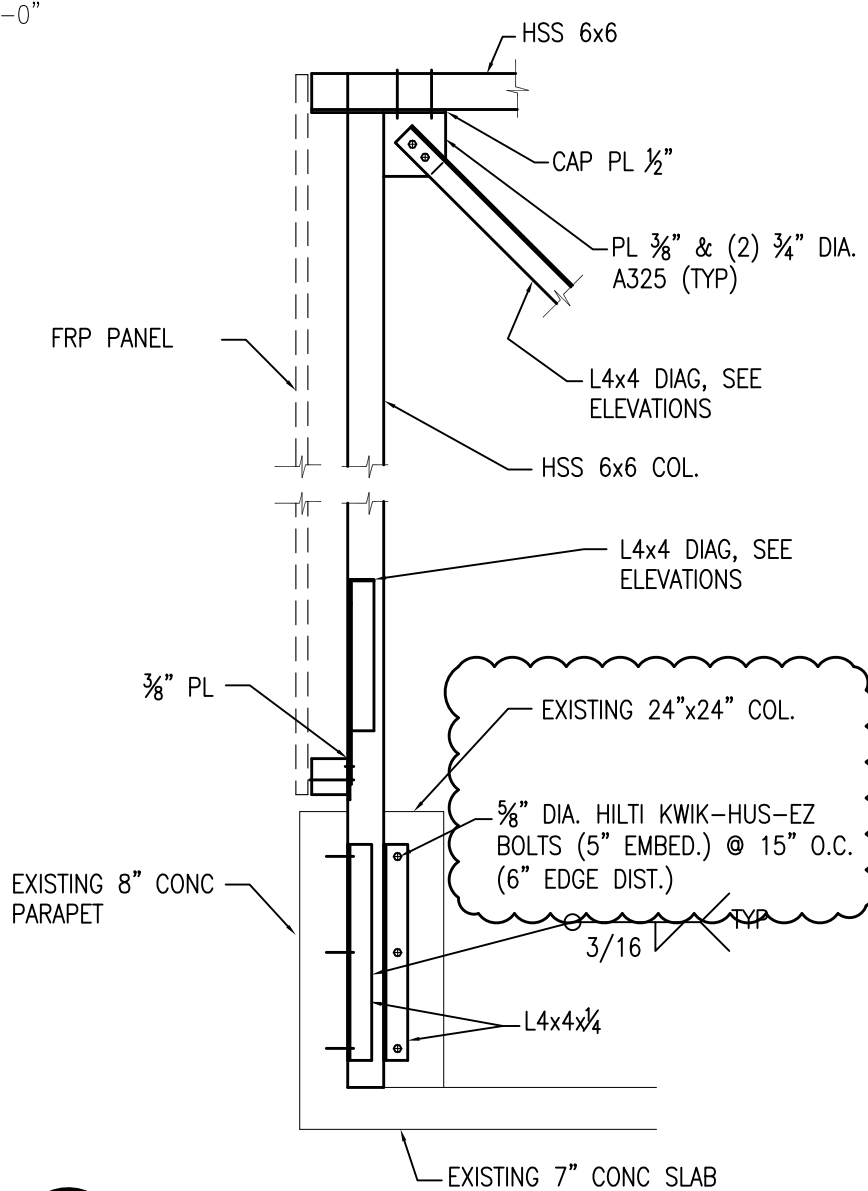
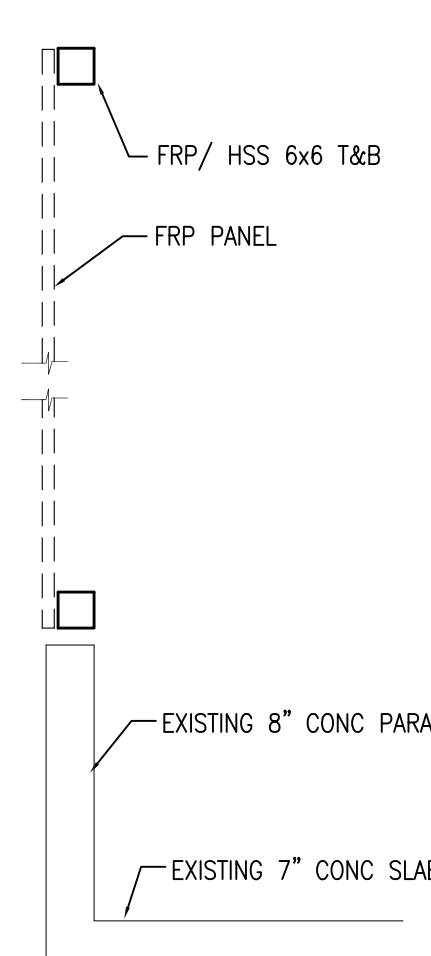
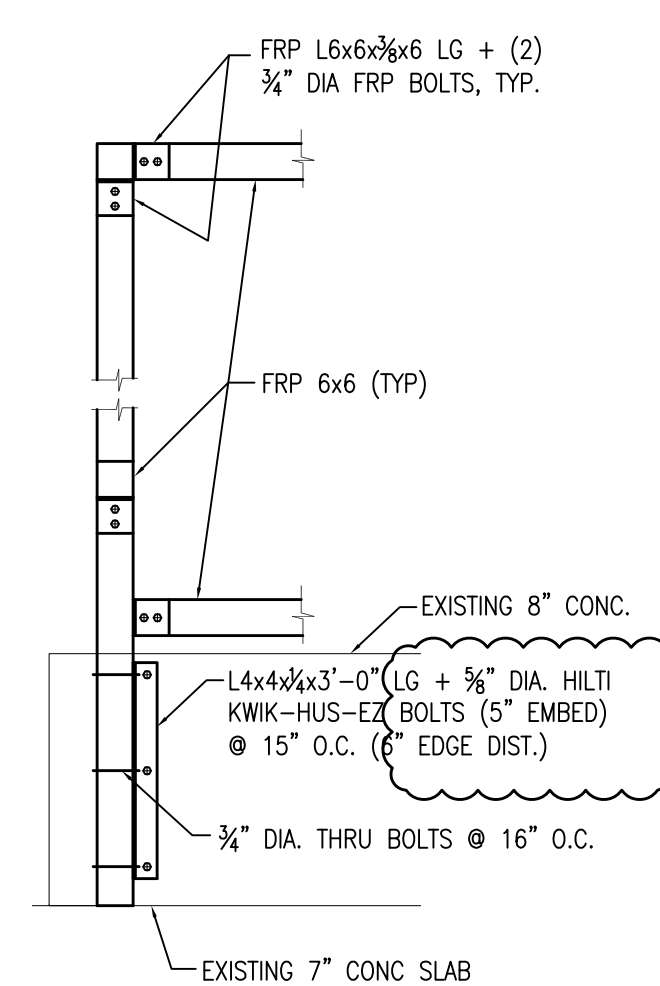
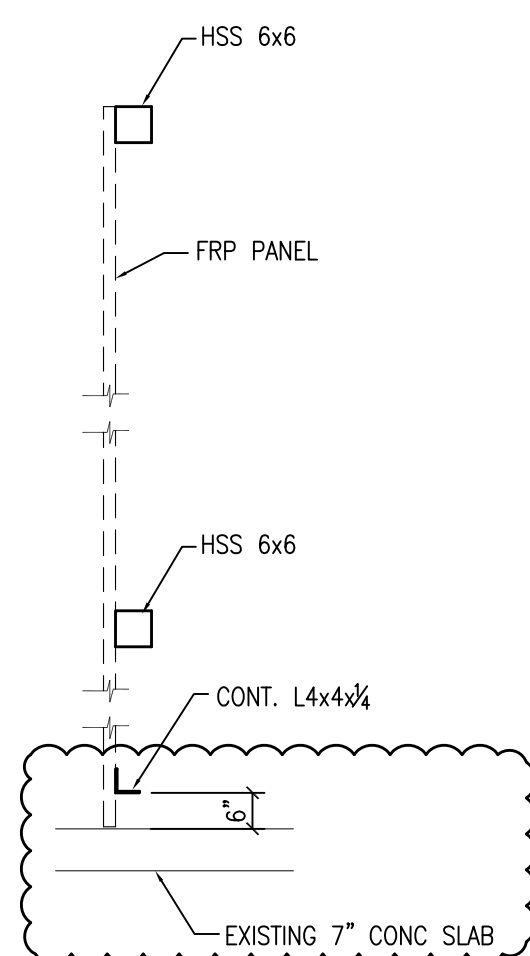
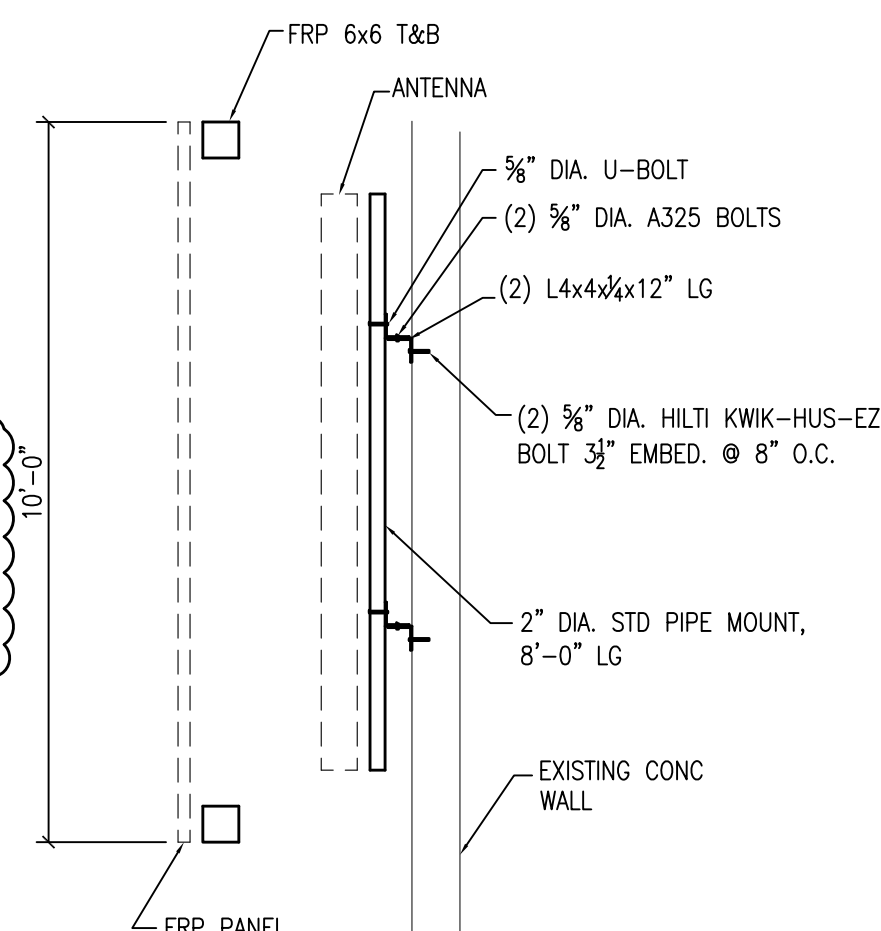
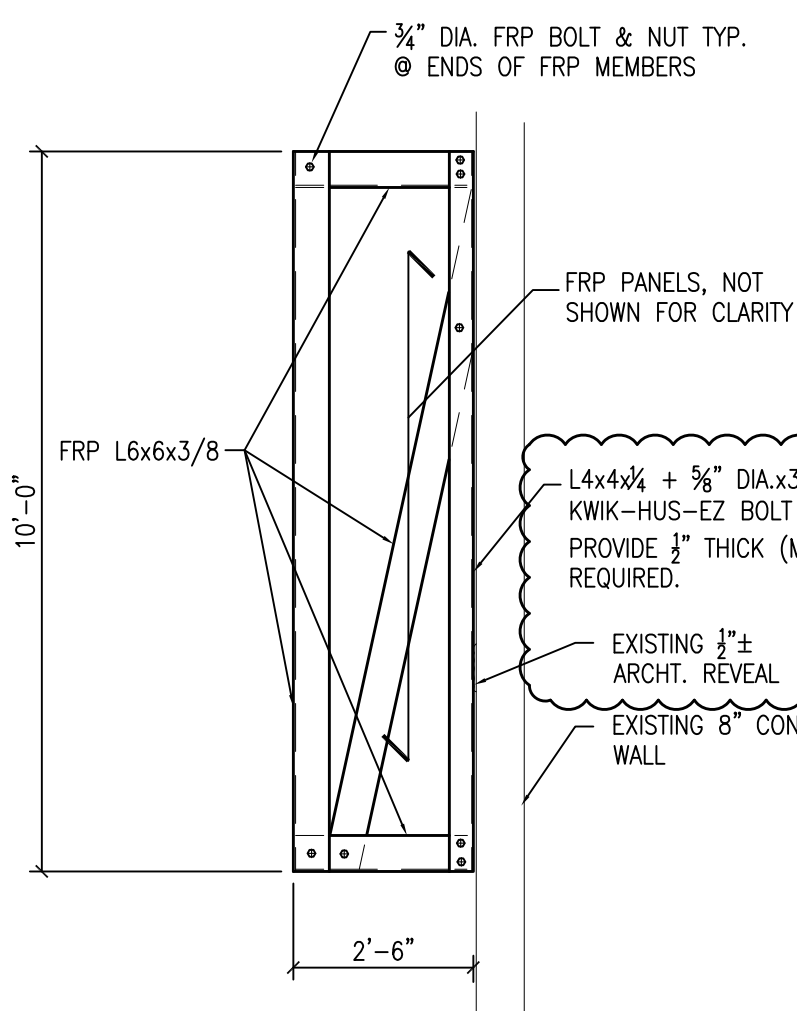
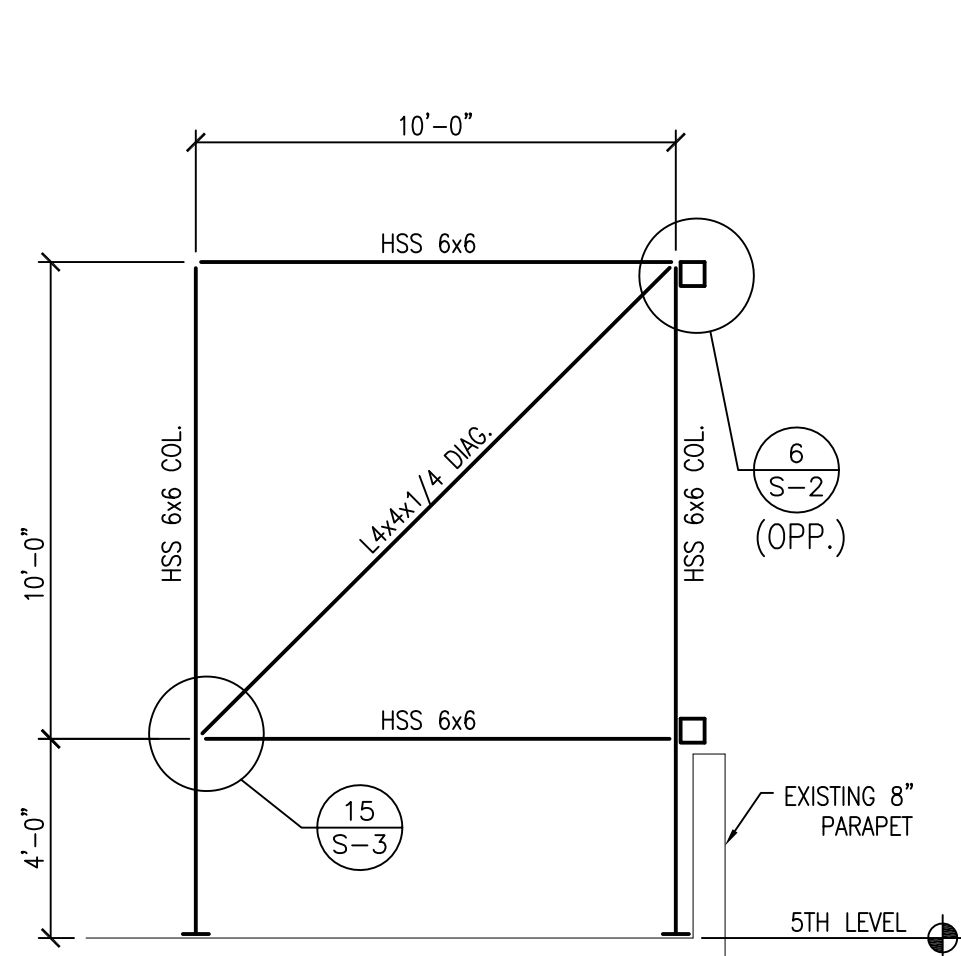
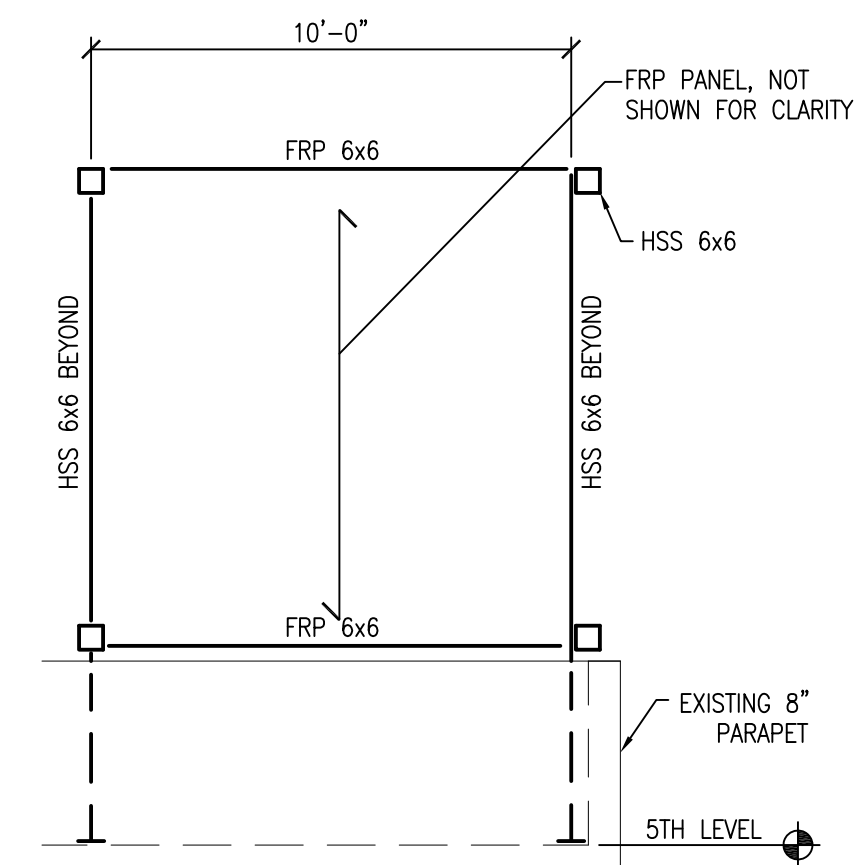
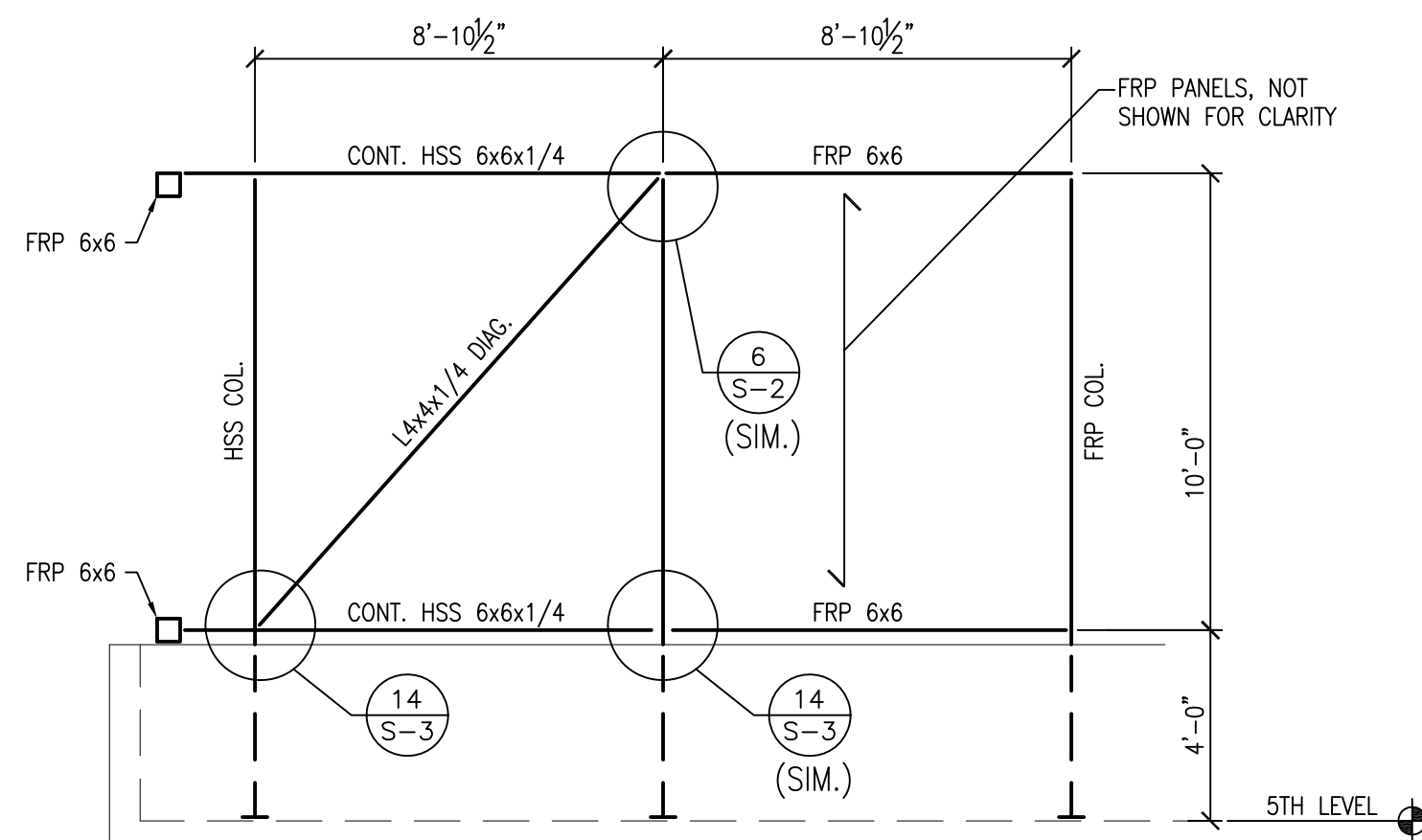
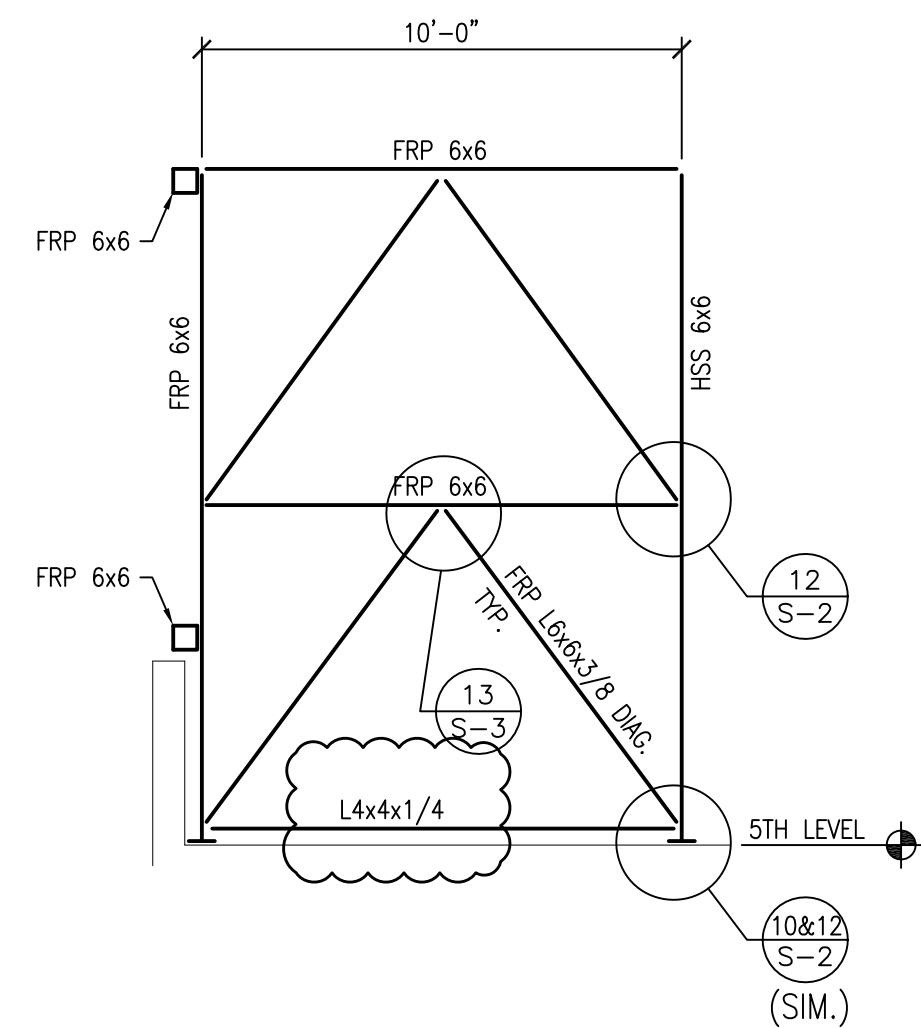
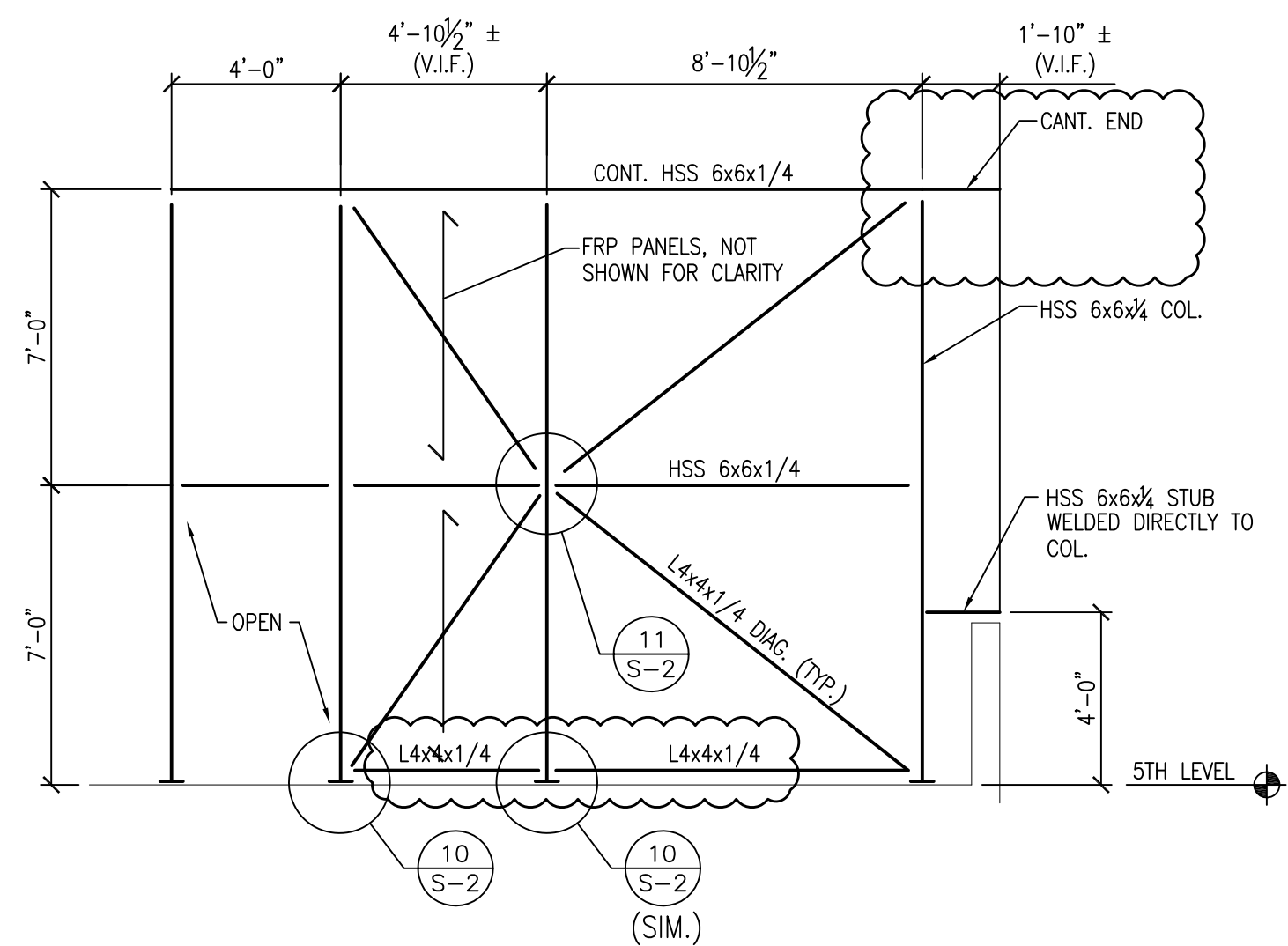
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DATE:	2/9/18
PROJECT #:	33-2430

SHEET TITLE  
ROOF PLAN

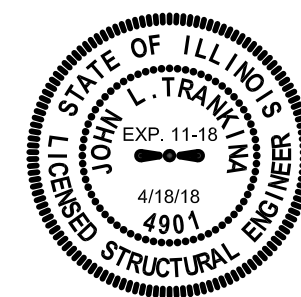
SHEET NUMBER

S-1





G.C. SHALL X-RAY/SCAN EXISTING CONCRETE ELEMENTS FOR EXISTING TENDONS/REINF PRIOR TO STEEL FABRICATION AND INFORM ENGINEER IF INTERFERENCE EXISTS.



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LOC. # 418745

# FOREST PARK NORTH

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

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PROJECT #:	33-2430

SHEET TITLE

ELEVATIONS  
AND DETAILS

SHEET NUMBER

**S-2**



**WORK INCLUDES:**

1. THE PROVISIONS, INSTALLATION, AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A BUILDING AND SECONDARY GROUNDING, CELLULAR TELEPHONE COMMUNICATIONS TOWER AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
2. THE PROVISION AND INSTALLATION OF AN OVERHEAD ELECTRICAL SERVICE OR UNDERGROUND ELECTRICAL SERVICE AND ALL ASSOCIATED WIRE AND CONDUIT AS REQUIRED AND/OR INDICATED ON PLANS.
3. THE PROVISION, INSTALLATION OF CONDUIT AND CONNECTIONS FOR LOCAL TELEPHONE SERVICE.
4. THE FURNISHING AND INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS, CONDUITS, METER SOCKET, AND CONNECTIONS TO THE SERVICE EQUIPMENT WITHIN THE ENCLOSURE.
5. TWO INCH (2") AND THREE INCH (3") DIAMETER PVC CONDUITS SCHEDULE 40.
6. ALL PVC CONDUITS SHOULD BE LEFT WITH NYLON PULL CORD FOR FUTURE USE.
7. EXCAVATION, TRENCHING, AND BACKFILLING FOR CONDUIT(S), CABLE(S), AND EXTERNAL GROUNDING SYSTEM.

**CODES, PERMITS, AND FEES:**

- |          |   |
|----------|---|
| N.E.C.   | NATIONAL ELECTRIC CODE                            |
| A.N.S.I. | AMERICAN NATIONAL STANDARDS INSTITUTE             |
| I.E.E.E. | INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS |
| A.S.T.M. | AMERICAN SOCIETY FOR TESTING MATERIALS            |
| N.E.M.A. | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION     |
| U.L.     | UNDERWRITERS LABORATORIES, INC.                   |
| N.F.P.A. | NATIONAL FIRE PROTECTION ASSOCIATION              |

### RACEWAYS AND WIRING:

1. WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR AS APPROVED BY THE ENGINEER.
2. UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
3. RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE INSTALLATION.
4. PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF RACEWAYS AND WIRING. PROVIDE JUNCTION AND PULLBOXES FOR CONDUIT RUNS WITH MORE THAN (360) DEGREES OF BENDS.
5. PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES.
6. ELECTRICAL PANELBOARD SHALL BE FURNISHED AND INSTALLED BY OTHERS. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION.
7. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING

GENERAL NOTES:

SEE DETAILS AND SCHEDULES ON DRAWINGS AND SPECIFICATIONS FOR MEANING OF ABBREVIATIONS AND ADDITIONAL REQUIREMENTS AND INFORMATION. CHECK ARCHITECTURAL, STRUCTURAL AND OTHER MECHANICAL AND ELECTRICAL DRAWINGS FOR SCALE, SPACE LIMITATIONS, COORDINATION, AND ADDITIONAL INFORMATION, ETC. REPORT ANY DISCREPANCIES, CONFLICTS, ETC. TO ENGINEER BEFORE SUBMITTING BID. ALL EQUIPMENT FURNISHED BY OTHERS (FBO) SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIRE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF (FBO) EQUIPMENT PRIOR TO ROUGH-IN OF CONDUIT AND WIRING TO AVOID CONFLICTS.

COORDINATION WITH UTILITY COMPANY:

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANY FOR A COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS, IF REQUIRED, METER SOCKETS, PRIMARY CABLE RACEWAY REQUIREMENTS, SECONDARY SERVICE, ETC. PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN THE BID ANY OPTIONAL OR EXCESS FACILITY CHARGES ASSOCIATED WITH PROVIDING ELECTRICAL SERVICE FROM LOCAL UTILITY COMPANY. VERIFY BEFORE BIDDING TO INCLUDE ALL COSTS. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE AVAILABLE FAULT CURRENT WITH THE LOCAL UTILITY COMPANY PRIOR TO SUBMITTING BID. ADJUST A.I.C. RATINGS OF ALL OVER CURRENT PROTECTION DEVICES IN DISTRIBUTION EQUIPMENT AS REQUIRED TO COORDINATE WITH AVAILABLE FAULT CURRENT FROM LOCAL UTILITY COMPANY. ALL GROUNDING RODS PROVIDED BY THE POWER OR TELEPHONE UTILITY COMPANIES MUST BE TIED INTO THE MAIN EXTERNAL GROUND RING.

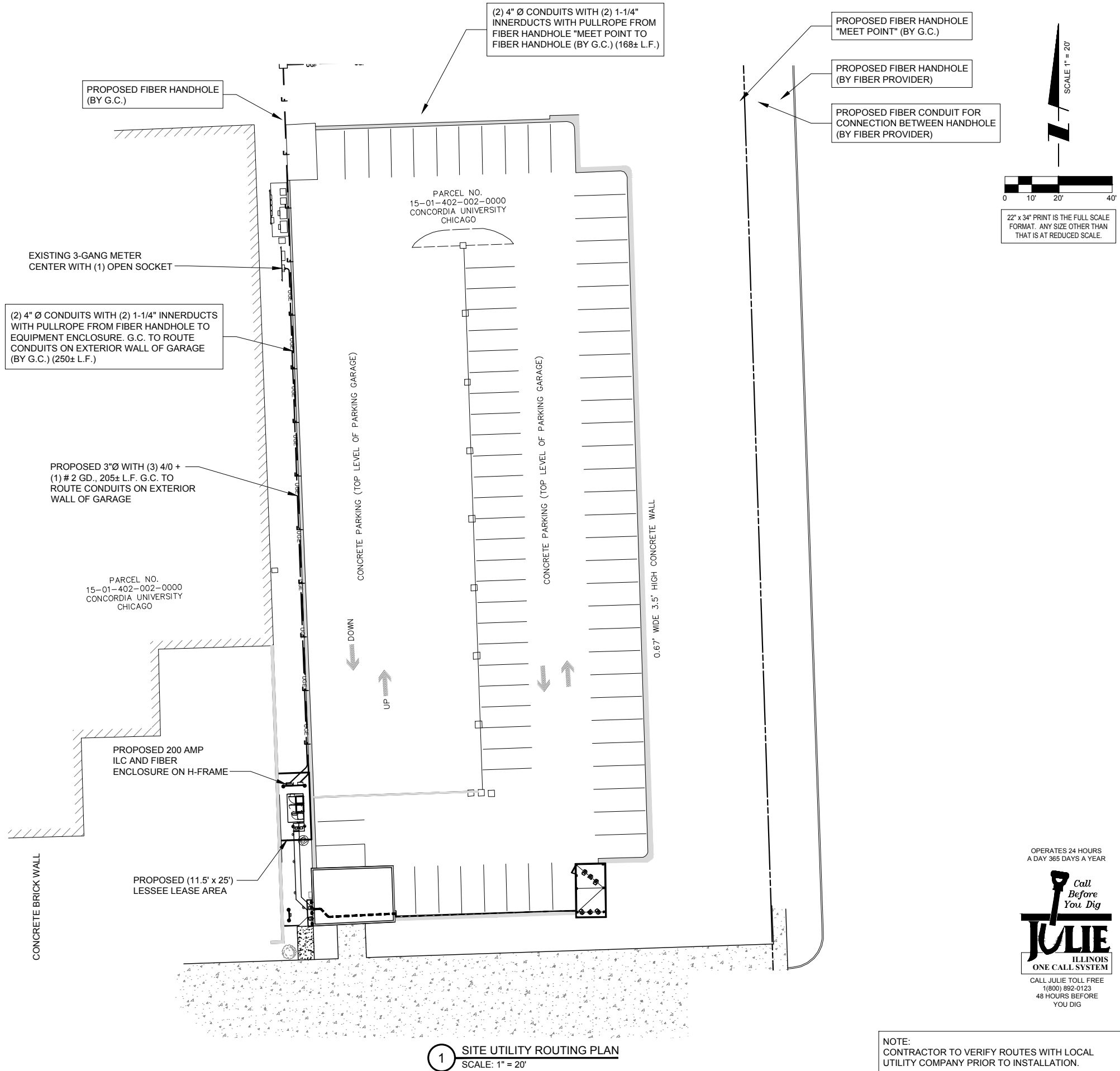
POWER: ComEd  
FERNANDO FLORES  
708-410-431  
ACCT # 58590-61005

FIBER: ONE FIBER  
MARK ZOLTEK  
312-989-2025

OPERATES 24 HOURS  
A DAY 365 DAYS A YEAR



FOR CONTINUATION AND CONNECTION  
OF ELECTRIC AND FIBER SERVICE.  
COORDINATE WITH ELECTRIC AND FIBER  
COMPANY.



NOTE:  
CONTRACTOR TO VERIFY ROUTES WITH LOCAL  
UTILITY COMPANY PRIOR TO INSTALLATION.

**CHICAGO  
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REVISIONS				
NO.	DESCRIPTION	DATE	BY	
4	UPDATE PER LL COMMENTS	12/03/17	TJS	
5	RE-ISSUED PER REVISIONS	02/19/18	LS	
6	REVISED PER FIBER COORDINATION	02/23/18	RA	
7	UPDATE PER LL COMMENTS	04/02/18	RA	
8	UPDATE PER LL COMMENTS	04/23/18	LS	
9	UPDATE PER LL COMMENTS	04/25/18	JTM	
10	UPDATE PER VILLAGE COMMITMENTS	05/03/18	JTM	

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

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CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE

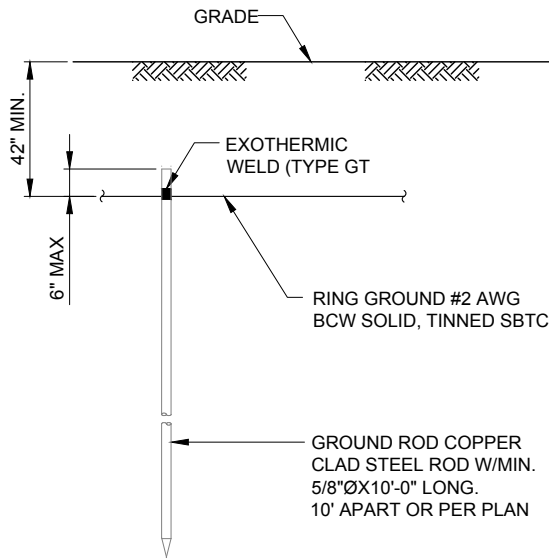
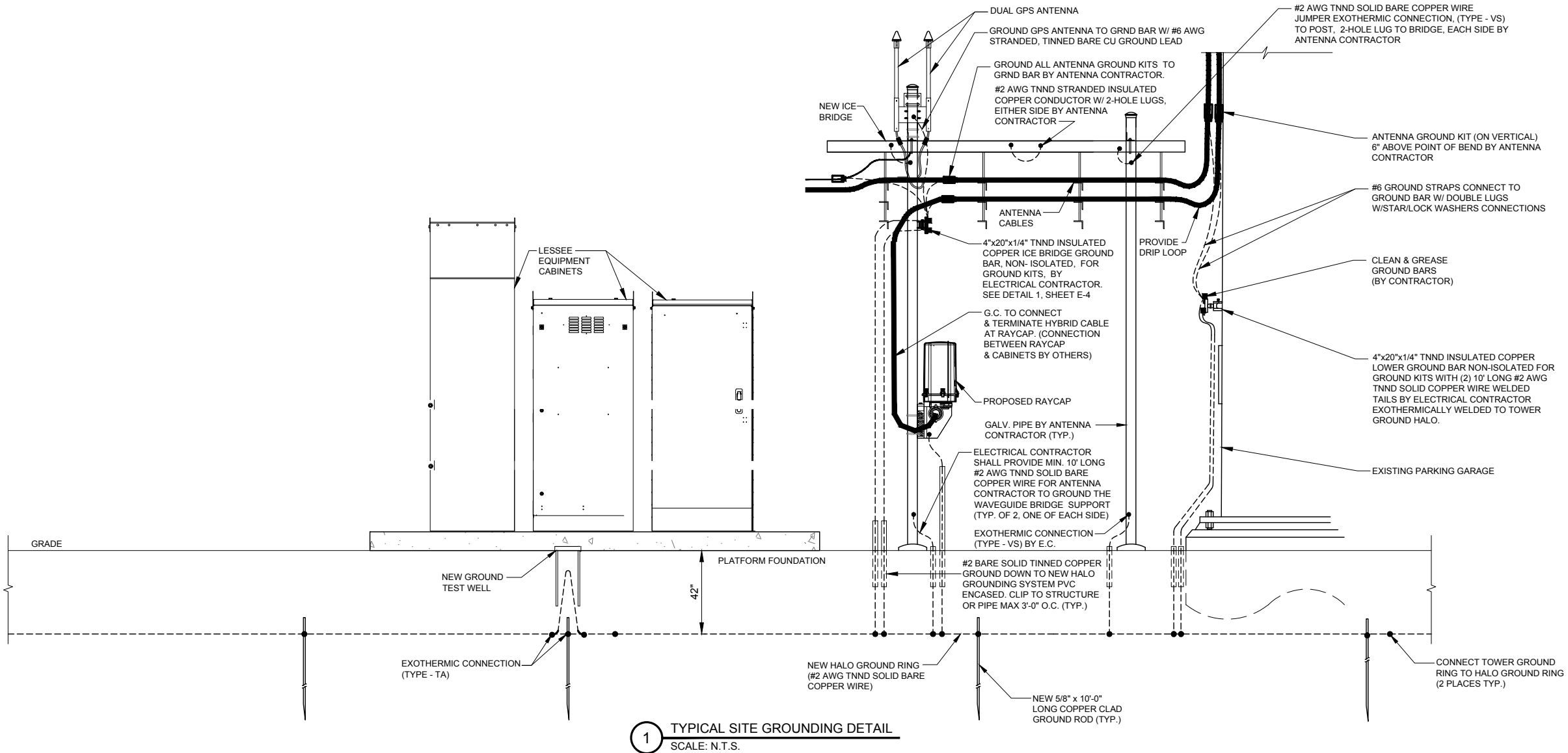
UTILITY ROUTING PLAN

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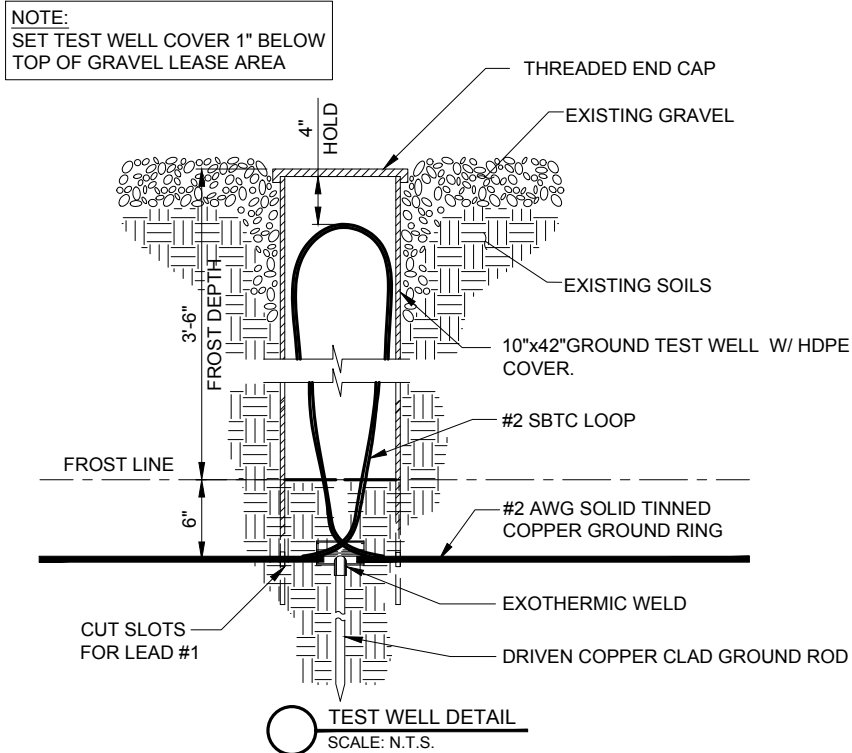
# E-1

NOTE:  
ANTENNA CABLES SHALL BE  
GROUNDED AT THE  
ANTENNA HEIGHT OF TOWER

NOTE:  
ALL CABINET GROUND  
CONNECTION BY OTHERS.



NOTE:  
GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM THE VERTICAL.



**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS



REVISIONS		BY	DATE	DESCRIPTION
NO.	4	TJS	12/03/17	UPDATE PER LL COMMENTS
5	LS	02/19/18	RE-ISSUED PER REVISIONS	
6	PA	02/23/18	REVISED PER FIBER COORDINATION	
7	RA	04/02/18	UPDATE PER LL COMMENTS	
8	LS	04/23/18	UPDATE PER LL COMMENTS	
9	JTM	04/25/18	UPDATE PER LL COMMENTS	
10	JTM	05/03/18	UPDATE PER VILLAGE COMMENTS	

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RIVER FOREST, IL 60305

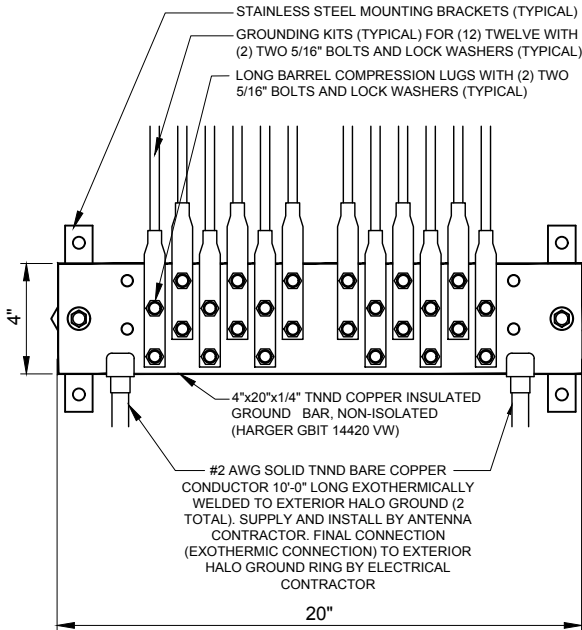
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SHEET TITLE  
GROUNDING DETAILS

SHEET NUMBER  
**E-2**

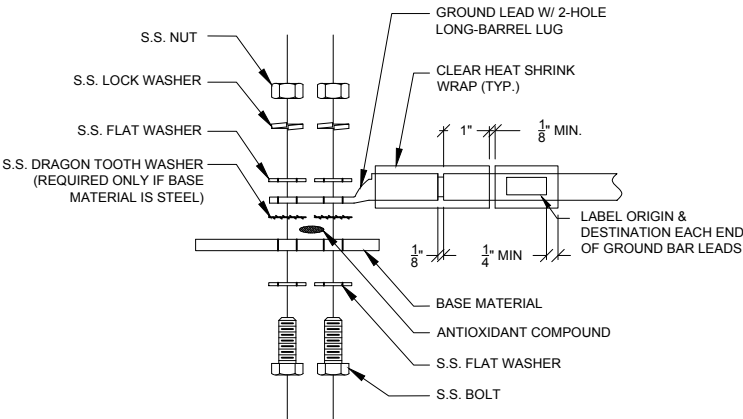
GROUNDING ELECTRODE SYSTEM NOTES:

1. ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
2. ALL EXOTHERMIC CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
4. FENCE/GATE: GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE EXOTHERMIC PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
5. AFTER INSTALLATION OF THE CANOPY AT THE DOOR, GC/EC IS TO BOND THE CANOPY TO THE DOOR FRAME WITH A #2 CONDUCTOR. USE DOUBLE-LUG CONNECTION. PREP AND PAINT SURFACE TO MATCH AFTER INSTALLATION.
6. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
7. GROUND TEST: GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY LESSEE STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS.
8. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
  1. ONE (1) COPY TO OWNER REPRESENTATIVE
  2. ONE (1) COPY TO ENGINEER
  3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE



1 EXTERIOR GROUND BAR DETAIL  
N.T.S.

- NOTES:
1. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING BELLEVILLES. COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
  2. FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH KOPR-SHIELD.
  3. GROUND BARS, INSTALL BOLT HEAD TOWARD WALL
  4. ENCLOSURES, INSTALL BOLT HEAD ON OUTSIDE OF ENCLOSURE



2 GROUND LUG INSTALLATION DETAIL  
N.T.S.



Type GT  
THROUGH CABLE TO TOP OF GROUND ROD.



Type TA  
TEE OF HORIZONTAL RUN AND TAP CABLES.



Type HS  
HORIZONTAL CABLE TAP TO HORIZONTAL STEEL SURFACE OR PIPE. CABLE OFF SURFACE.



Type VV  
THROUGH VERTICAL CABLE TO VERTICAL STEEL SURFACE OR TO THE SIDE OF EITHER HORIZONTAL OR VERTICAL PIPE



Type XB  
CROSS OF HORIZONTAL CABLES. LAPPED AND NOT CUT



Type VN  
HORIZONTAL CABLE TAP TO VERTICAL STEEL SURFACE OR THE SIDE OF HORIZONTAL PIPE



Type VS  
CABLE TAP DOWN AT 45° TO VERTICAL STEEL SURFACE OR SIDE OF HORIZONTAL OR VERTICAL PIPE.



Type GY  
THROUGH CABLE TO SIDE OF GROUND ROD



Type GR  
CABLE TAP TO TOP OF GROUND ROD



Type NC  
THROUGH AND TAP CABLES TO GROUND ROD

3 EXOTHERMIC WELD DETAILS  
EXOTHERMIC AND HARGER ULTRAWELD OR APPROVED EQUAL

SPQ Lug-lug Tap Box

Square D IPaCS has also developed the SPQ lug-lug (SPQTB) tap box that provides the capabilities to connect to a portable generator. This solution incorporates power distribution blocks for the generator breaker cable connections using mechanical lugs in lieu of cam-lock connectors for the generator cable connections.

This version of the SPQ tap box is designed, manufactured and tested under the UL 1773 Standard for Termination Boxes. The SPQTB tap box comes with labeled lugs marked for safe connection sequence.

Design Features

- > UL listed – UL 1773
- > cUL listed
- > NEMA Type 3R Enclosure (can be used for NEMA Type 1 installations)
- 30 in. wide X 36 in. tall X 13 in. deep
- Lockable door for safety and controlled access
- > Mechanical lugs to standby power disconnect
- > Generator connection lugs rated for Type W cable
- > Lugs are labeled for connection sequence
- > Application
  - 400 A and 800 A available
  - 600 V maximum
  - Three-phase + neutral + ground



Generator lugs rated for Type W cable.

Lugs are labeled for connection sequence.

4 SQUARE D TAP BOX DETAILS  
SCALE: N.T.S.

**CHICAGO SMTA**  
limited partnership  
d/b/a VERIZON WIRELESS



NO.		BY		DATE		TJS		LS		RA		RA		LS		JTM	
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4		UPDATE PER LL COMMENTS		12/03/17													
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LOC. # 418745

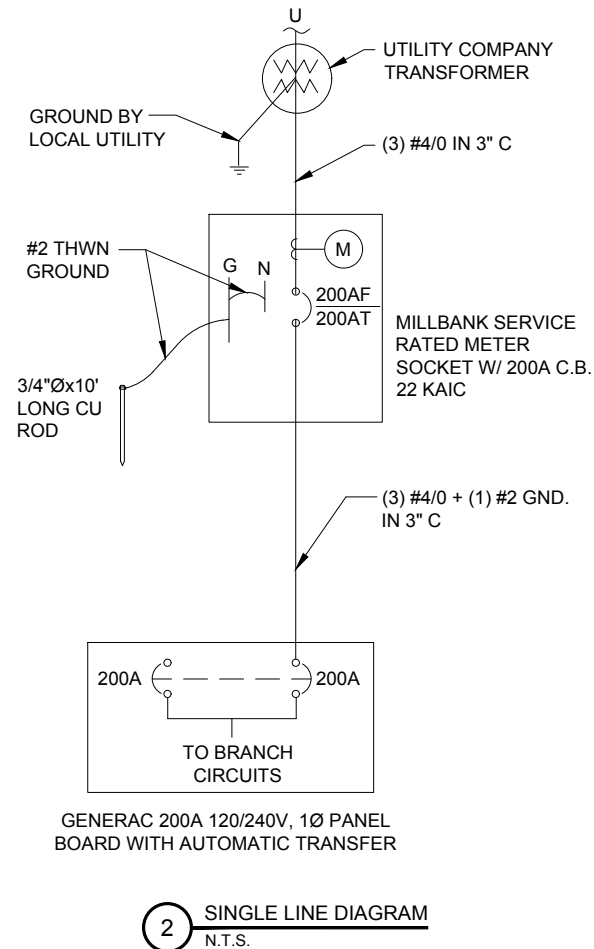
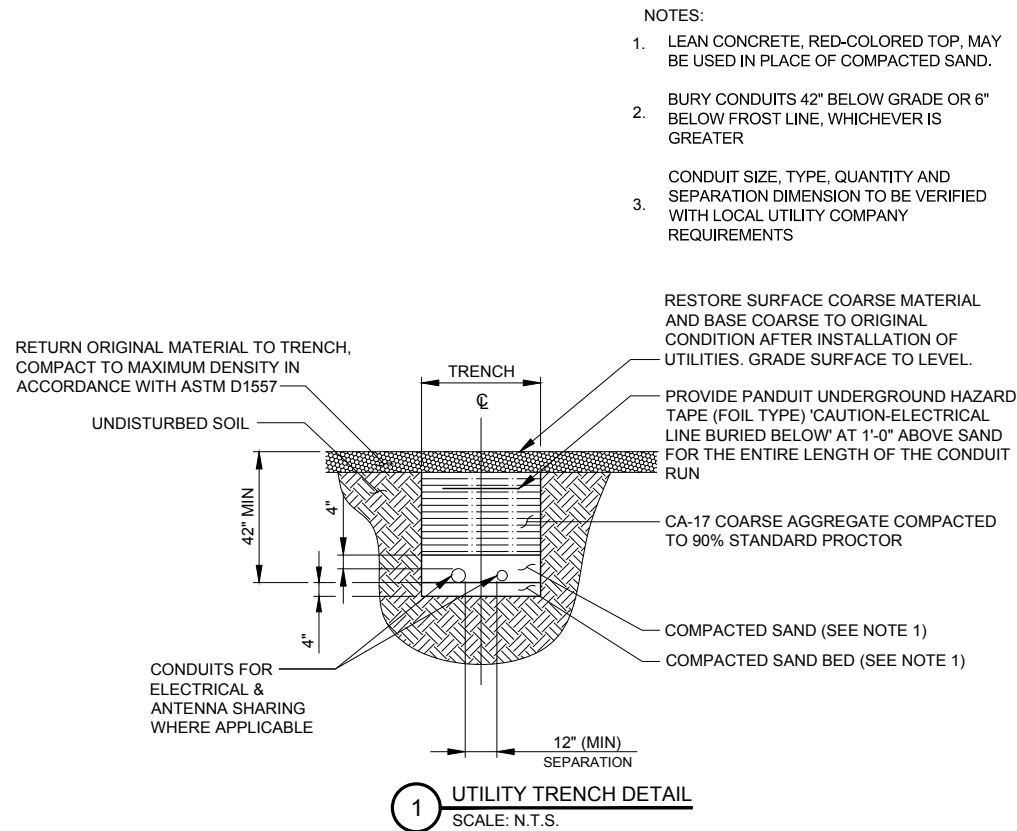
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RIVER FOREST, IL 60305

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PROJECT #:	33-2430

SHEET TITLE  
GROUNDING DETAILS

SHEET NUMBER

E-3



REVISONS		NO.	DESCRIPTION	DATE	BY
		4	UPDATE PER LL COMMENTS	12/03/17	TJS
		5	RE-ISSUED PER REVISIONS	02/19/18	LS
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		9	UPDATE PER LL COMMENTS	04/25/18	JTM
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SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
E-4



GENERAL	
THE CONSTRUCTION DOCUMENT DRAWINGS ARE INTERRELATED. WHEN PERFORMING THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.	
DIVISION 1: GENERAL REQUIREMENTS SECTION 01700 - PROJECT CLOSEOUT	
PART 1 - GENERAL	
A. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES; INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES AND SIMILAR RELEASES.	
B. SUBMIT RECORD DRAWINGS, DAMAGE OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.	
C. COMPLETE FINAL CLEAN UP REQUIREMENTS. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES.	
PART 2 - FINAL CLEANING	
1. COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF COMPLETION.	
a. CLEAN THE PROJECT SITE, YARD AND GROUNDS, IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT AREAS, OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS, RAKE GROUNDS THAT ARE NEITHER PLANTED NOR PAVED, TO A SMOOTH EVEN-TEXTURED SURFACE.	
b. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIAL FROM THE SITE	
c. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT ENCLOSURE.	
d. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.	
e. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT ENCLOSURE, MANHOLES, AND SIMILAR SPACES.	
f. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.	
g. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY	
2. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.	
DIVISION 2: SITE WORK SECTION 02200 - EARTHWORK AND DRAINAGE	
PART 1 - GENERAL	
1. WORK INCLUDED: SEE SITE PLAN.	
2. SEQUENCING	
a. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG EAST FENCE LINE.	
b. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH	
PART 2 - EXECUTION	
1. INSPECTIONS: LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.	
2. PREPARATION	
a. CLEAR TREES, BRUSH AND DEBRIS FROM SITE AS REQUIRED.	
b. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX INCHES (6") BELOW GRADE.	
c. UNLESS OTHERWISE INSTRUCTED BY OWNER, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.	
d. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.	
e. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.	
3. INSTALLATION	
a. GRADE OR FILL THE SITE AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.	
b. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.	
c. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.	
d. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.	
e. PLACE FILL OR STONE IN SIX INCH (6") MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.	
f. THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE FOOT (1') BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.	
g. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.	


h. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.	
i. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAP.	
j. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.	
k. IN DITCHES WITH SLOPES GREATER THAN 10% MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAN THAT 60° OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX FEET (6') ABOVE THE CULVERT ENTRANCE.	
l. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.	
m. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.	
n. ENSURE GROWTH OF SEEDDED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.	
4. FIELD QUALITY CONTROL: COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.	
5. PROTECTION	
a. PROTECT SEEDDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATIVE.	
b. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.	
SECTION 02830 - FENCING AND GATE(S)	
PART 1 - GENERAL	
1. WORK INCLUDED - SEE PLAN FOR SITE AND LOCATION OF FENCE	
2. QUALITY ASSURANCE	
a. ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE "E" ZINC, 18 OUNCES PER SQUARE FOOT.	
3. SEQUENCING	
a. IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.	
4. SUBMITTALS	
a. MANUFACTURER'S DESCRIPTIVE LITERATURE.	
b. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.	
PART 2 - PRODUCTS	
1. FENCE MATERIAL	
a. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.	
b. FABRIC SHALL BE SEVEN-FOOT (7') HIGH OR TO MATCH EXISTING FENCE TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.	
c. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER	
i. LINE	2" SCHEDULE 40 (2 3/8" O.D.)
ii. CORNER	3" SCHEDULE 40 (3 1/2" O.D.)
iii. GATE	3" SCHEDULE 40 (3 1/2" O.D.)
d. ALL TOP AND BRACE RAILS SHALL BE 1 DIAMETER SCHEDULE - 40 MECHANICAL - SERVICE PIPE.	
e. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL - SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.	
f. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.	
g. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.	
h. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS.	
i. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.	
j. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.	

k. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.	
l. ALL POST EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.	
m. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS, AND TENSION BAND CLIPS.	
n. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.	
PART 3 - EXECUTION	
1. INSPECTION: TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS,	
2. INSTALLATION	
a. FOUNDATIONS SHALL HAVE A MINIMUM SIX INCH (6") CONCRETE COVER UNDER POST.	
b. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB; ON QUARTER INCH (1/4")	
c. AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.	
d. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.	
e. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO FOOT (2') INTERVALS.	
f. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC AND THE FINAL GRADE.	
g. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.	
h. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.	
i. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 7 DAYS. CEMENT SHALL EXCEED ASTM C150, TYPE IIIA.	
3. PROTECTION: UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL. APPLICABLE STANDARDS:	
ASTM-A120	SPECIFICATION FOR PIPE, STEEL, BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.
ASTM-A123	ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.
ASTM-A153	STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.
ASTM-A392	SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE FABRIC.
ASTM-A491	SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE FABRIC
ASTM-A525	STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.
ASTM-A570	SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.
A. FEDERAL SPECIFICATION RR-F-191-FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)	
DIVISION 3: CONCRETE	
SECTION 03000 - BASIC CONCRETE MATERIALS AND METHODS	
PART 1 - GENERAL	
1. WORK INCLUDED: FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.	
2. INSPECTIONS	
a. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR HIS SCOPE OF WORK.	
b. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE LESSEE'S CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.	
c. THE LESSEE'S CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.	
3. QUALITY ASSURANCE	
a. CONSTRUCT AND ERECT CONCRETE FORMWORK IN ACCORDANCE WITH ACI 301 AND ASTM 318.	
b. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.	
c. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.	
d. OPEN FOUNDATION TRENCHES SHALL BE INSPECTED BY MES PRIOR TO CONCRETE INSTALLATION.	
4. SUBMITTALS: SUBMIT CONCRETE MIX AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY LESSEE CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWING SHALL BE SUBMITTED IN THE FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.	
PART 2 - PRODUCTS	
1. REINFORCEMENT MATERIALS	
a. REINFORCEMENT STEEL, ASTM A615, 60 ksi YIELD GRADE, DEFORMED BILLET STEEL BARS, PLAIN FINISH.	
b. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE IN FLAT SHEETS, PLAIN FINISH.	
c. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS. SIZED AND SHAPED FOR SUPPORTS OR REINFORCING.	

d. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, ACI 318, ASTM A184.	
2. CONCRETE MATERIALS	
a. CEMENT: ASTM C150, PORTLAND TYPE	
b. FINE AND COURSE AGGREGATES: ASTM C33 - MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED; ONE INCH (1") SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD (1/3) CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.	
c. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE	
d. AIR ENTRAINING ADMIXTURE: ASTM C260	
e. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.	
f. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE. CEMENT, WATER REDUCING AND PLASTICISING AGENTS.	
3. CONCRETE MIX	
a. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.	
b. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.	
c. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:	
i. COMPRESSIVE STRENGTH: 4000 psi AT 7 DAYS. SEE SHEET 2-1 FOR CAISSON CONCRETE COMPRESSIVE STRENGTH.	
ii. SLUMP: 3 INCHES	
PART 3 - EXECUTION	
1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS	
a. THE CONSTRACTOR SHALL COORDINATE AND CROSS-CHECK ARCHITECTURAL, BUILDING & ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.	
b. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.	
c. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENING, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.	
d. INSTALL CONRETE ACCESSORIES STRAIGHT, LEVEL AND PLUMB.	
2. REINFORCEMENT PLACEMENT	
a. PLACEMENT REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.	
b. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.	
c. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.	
d. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE THREE INCHES (3") UNLESS OTHERWISE NOTED.	
e. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED THREE INCHES (3") NOR BE LESS THAN TWO INCHES (2").	
3. PLACING CONCRETE	
a. VIBRATE ALL CONCRETE.	
b. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURE IF SEASONAL CONDITIONS APPLY.	
4. CURING	
a. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.	
b. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.	
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.	
6. FIELD QUALITY CONTROL	
a. SUBMIT THREE (3) CONCRETE TEST CYLINDERS - TAKEN FOR EVERY 15 CUBIC YARD OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE WITH ASTM, C-31 AND C-39.	
b. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER - TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER SAME CONDITIONS AS CONCRETE IT REPRESENTS.	
c. SUBMIT ONE (1) SLUMP TEST - TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.	
7. DEFECTIVE CONCRETE: MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LINES, DETAILS OR ELEVATIONS AT COST OF GC, AS DIRECTED BY ARCHITECT/ENGINEER.	

CHICAGO  
SMSA

limited partnership  
d/b/a VERIZON WIRELESS



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REVISIONS

NO	DESCRIPTION	DATE	BY
4	UPDATE PER LL COMMENTS	12/03/17	TJS
5	RE-ISSUED PER REVISIONS	02/19/18	LS
6	REVISED PER FIBER COORDINATION	02/23/18	RA
7	UPDATE PER LL COMMENTS	04/02/18	RA
8	UPDATE PER LL COMMENTS	04/23/18	LS
9	UPDATE PER LL COMMENTS	04/25/18	JTM
10	UPDATE PER VILLAGE COMMETNS	05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE

SPECIFICATIONS

SHEET NUMBER

SP-1



DIVISION 5: METALS

PART 1 - GENERAL

1. SECTION INCLUDES:  
STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS, AND GROUTING UNDER BASE PLATES.
2. SUBMITTALS:  
SHOP DRAWINGS: INDICATE SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, CONNECTIONS, CAMBERS, LOADS, AND WELDED SECTIONS.
3. QUALITY ASSURANCE  
A. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.  
B. PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 - PRODUCTS

1. MATERIALS:  
A. STRUCTURAL STEEL MEMBERS:                     ASTM A572, GRADE 50  
B. STRUCTURAL TUBING:                             ASTM A500, GRADE B  
C. PIPE:   ASTM A53, TYPE E OR S, GRADE B  
D. BOLTS, NUTS, AND WASHERS:                     ASTM A325  
E. ANCHOR BOLTS:                                 ASTM A307  
F. WELDING MATERIALS:                             AWS 01.1, TYPE REQUIRED FOR MATERIALS BEING WELDED
- G. GROUT:   NON - SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS.
- H. SHOP AND TOUCH-UP PRIMER:                     SSPC 15, TYPE 1, RED OXIDE
- I. TOUCH-UP PRIMER FOR GALV. SURFACES                             ZINC RICH TYPE

2. FABRICATION:  
CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.
3. FINISH:  
A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCEWITH SSPC SP-1 TO SP-10 PROCEDURES.  
B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 - EXECUTION

1. EXAMINATION AND PREPARATION:  
VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE.
2. ERECTION:  
A. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.  
B. FIELD WELD COMPONENTS INDICATED ON SHOP DRAWINGS.  
C. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.  
D. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRMED OR GALVANIZED WITH TOUCH-UP PRMERS AS SPECIFIED UNDER SECTION 05000, 0METALS, PART 2 - PRODUCTS, H & I. SURFACES TO BE IN CONTACT WITH CONCRETE NOT INCLUDED.
3. FIELD QUALITY CONTROL:  
FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS, AND TOURQUING

DIVISION 16: ELECTRICAL

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.
2. ELECTRICAL PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.
3. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A).
4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU, AND "UL" LISTED.
5. ALL CONDUIT SHALL HAVE A PULL CORD.
6. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF TH JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.
7. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
8. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY UBC, NEC AND ALL APPLICABLE CODES.
9. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
10. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS. WEATHERPROOF RECEPTACLES SHALL HAVE SIERRA #WPD-8 LIFT COVERPLATES.

SECTION 1640 - SERVICE AND DISTRIBUTION

1. WIRE AND CABLE CONDUCTORS SHALL BE COPPER, 600V, TYPE THHN OR THWN, WITH A MIN. SIZE OF #12 AWG, COLOR CODED. ALL RECTIFIER DROPS SHALL BE STRANDED TO ACCEPT CRIMP CONNECTORS.
2. ALL CHEMICAL GROUND RODS SHALL BE "UL" APPROVED.
3. METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY MILBANK OR APPROVED EQUAL, AND SHALL BE UTILITY COMPANY APPROVED.
4. CONDUIT:  
A. RIGID CONDUIT SHALL BE U.L LABEL GALVANIZED ZINC COATED WITH GALVANIZED ZINC INTERIOR AND SHALL BE USED WHEN INSTALLED IN OR UNDER CONCRETE SLABS, IN CONTACT WITH THE EARTH, UNDER PUBLIC ROADWAYS, IN MASONRY WALLS OR EXPOSED ON BUILDING EXTERIOR. RIGID CONDUIT IN CONTACT WITH EARTH SHALL BE ½ LAPPED WRAPPED WITH HUNT'S WRAP PROCESS NO. 3.  
B. ELECTRICAL METALLIC TUBING SHALL HAVE U.L. LABEL, FITTING SHALL BE GLAND RING COMPRESSION TYPE.  
C. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR SQUEEZE" TYPE. ALL FLEXIBLE CONDUITS SHALL HAVE FULL LENGTH GROUND WIRE.  
D. ALL UNDERGROUND CONDUIT SHALL BE AS NOTED ON THE DRAWINGS AT A MINIMUM DEPTH OF 42" BELOW GRADE. IT IS REQUIRED AND WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO NOTIFY J.U.L.I.E. AT 1-800-892-0123 OR OTHER SUCH NOTIFYING AGENCY FORTY-EIGHT (48) HOURS PRIOR TO DIGGING.
5. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
6. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC LABELS WITH WHITE ON BLUE BACKGROUND LETTERING (MINIMUM LETTER HEIGHT SHALL BE ONE FORTH INCH (1/4"). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS, NOT ADHESIVE.
7. UPON COMPLETION OF WORK, CONDUCT CONTINUITY, SHORT CIRCUIT, AND FALL POTENTIAL GROUNDING TESTS BY AN INDEPENDENT TESTING SERVICE ENGAGED BY THE CONTRACTOR SHALL BE SUBMITTED FOR APPROVAL. SUBMIT TEST REPORTS TO PROJECT MANAGER. CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK IN A COMPLETE AND UNDAMAGED CONDITION.
8. GROUNDING ELECTRODE SYSTEM  
A. PREPARATION  
1. SURFACE PREPARATION:  
ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTS SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT. NO WASHERS ARE ALLOWED BETWEEN THE ITEMS BEING GROUND. ALL CONNECTIONS ARE TO HAVE A NO-OXIDIZING GENT APPLIED PRIOR TO INSTALLATION.  
2. GROUND BAR PREPARATION  
ALL COPPER GROUND BARS SHALL BE CLEANED, POLISHED AND A NON-OXIDIZING AGENT APPLIED. NO FINGERPRINTS OR DISCOLORED COPPER WILL BE PERMITTED.  
3. SLEEVES:  
ALL GROUNDING CONDUCTORS SHALL RUN THROUGH PVC SLEEVES WHEREVER CONDUCTORS RUN THROUGH WALLS, FLOORS OR CEILINGS. IF CONDUCTORS MUST RUN THROUGH EMT, BOTH ENDS OF CONDUIT SHALL BE GROUNDED. SEAL BOTH ENDS OF CONDUIT WITH SILICONE CAULK.  
B. GROUND BARS  
1. ALL GROUND BARS SHALL BE ONE FORTH INCH (1/4" THICK TINNED COPPER PLATE AND OF AND OF SIZE INDICATED ON DRAWINGS.  
2. ALL CONNECTIONS TO THE GROUND BAR SHALL OBSERVE THE FOLLOWING SEQUENCE:  
A. BOLT-HEAD  
B. 2-HOLE LUG  
C. TINNED COPPER BUSS BAR  
D. STAR WASHER  
E. NUT  
C. EXTERNAL CONNECTIONS  
1. ALL BURIED GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEE'S, CROSSES, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES AND LIGHTNING PROTECTION SYSTEMS ARE TO BE AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" AND INSTALLED PER MANUFACTURER'S RECOMMENDED PROCEDURES.  
2. ALL ABOVE GRADE GROUNDING AND BONDING CONDUCTORS SHALL BE CONNECTED BY TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTIONS (EXCEPT FOR THE ACEG AND GROUND ROD) MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLELY ON SOLDIER SHALL NOT BE USED. ALL CABLE TO CABLE CONNECTIONS SHALL BE HIGH PRESSURE DOUBLE CRIMP TYPE CONNECTIONS. CONNECTIONS TO STRUCTURAL STEEL SHALL BE EXOTHERMIC WELDS.
- D. GROUND RODS  
ALL GROUND RODS SHALL BE 5/8 -INCH DIAMETER X 10' -0" LONG "COPPERWELD" OR APPROVED EQUAL, OF THE NUMBER AND LOCATIONS INDICATED. GROUND RODS SHALL BE DRIVEN FULL LENGTH VERTICAL IN UNDISTURBED EARTH.
- E. GROUND RODS  
ALL GROUND RODS SHALL BE STANDARD TINNED SOLID BARE COPPER ANNEALED, AND OF SIZE INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.
- F. LUGS  
1. LUGS SHALL BE 2 - HOLE, LONG BARREL, STRAND COPPER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. LUGS SHALL BE THOMAS AND BETTS SERIES #548 \_BE OR EQUIVALENT  
A. 535 MCM DLO                     54880BE  
B. 262 MCM DLO                     54872BE  
C. #1/0 DLO                         54862BE  
D. #4/0 THWN AND BARE         54866BE  
E. #2/0 THWN                     54862BE  
F. #2 THHN                         54207BE  
G. #6 DLO                         54205BE

2. WHEN THE DIRECTION OF THE CONDUCTOR MUST CHANGE, IT SHALL BE DONE GRADUALLY. THE CURVATURE OF THE TURN SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING CHART:

	<u>GROUNDING CONDUCTOR SIZE</u>	<u>MINIMUM BENDING RADIUS TO INSIDE EDGE</u>
NO.	6 AWG TO NO. 4 AWG	6 INCHES
NO.	2 AWG TO NO. 1/0 AWG	8 INCHES
NO.	2/0 AWG TO 4/0 MCM	12 INCHES
	250 MCM TO 750 MCM	24 INCHES
G. GROUND RING		
1.	THE EXTERNAL GROUND RING ENCIRCLING THE TOWER (IF APPLICABLE) AND BETWEEN BETWEEN THE EQUIPMENT SHELTER PLATFORM ANCHORS SHALL BE MINIMUM NO. 2 A.W.G SOLID TINNED BARE COPPER CONDUCTOR IN DIRECT CONTACT WITH THE EARTH AT THE DEPTH INDICATED ON THE DRAWINGS. CONDUCTOR BENDS SHALL HAVE A MINIMUM BENDING RADIUS OF EIGHT INCHES (8").	
2.	ALL EXTERNAL GROUND RINGS ARE TO BE JOINED TOGETHER AND ALL CONNECTIONS MUST BE CADWELDED. NO LUNGS OR CLAMPS WILL BE ACCEPTED.	
H. FENCE/GATE		
	GROUND EACH GATE POST, CORNER POST AND GATE AS INDICATED ON DRAWING GROUND CONNECTIONS TO FENCE POST AND ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY EXOTHERMIC WELD PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES, AND SPRAYED WITH COLD-GALVANIZED PAINT.	
3. I.E.E.E. FALL POTENTIAL TESTS		

- UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS AREA OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

1. FIRST TEST - SHALL BE WITH THREE GROUND RODS INSTALLED (MINIMUM), EQUALLY SPACED AROUND THE TOWER FOUNDATION, BUT NOT CONNECTED TO THE SHELTER PAD EXTERNAL GROUND RING. FURNISH WIRE TO CONNECT (TEMPORARY CLAMP) ALL THREE GROUND RODS TOGETHER TO MAKE A SYSTEM TEST AFTER EACH ROD IS INDIVIDUALLY TESTED. IF ANY INDIVIDUAL ROD TESTS 25 OHMS OR MORE, NOTIFY THE CONTRACTOR AND OWNER'S REPRESENTATIVE SO THAT THE ROD CAN BE DRIVEN DEEPER UNTIL ALL THREE (3) RODS HAVE A RESISTANCE OF 10 OHMS OR LESS ON A DRY DAY.
2. SECOND TEST- SHALL BE WITH THE GROUND RODS CONNECTED, WITH DRY SOIL AND WHEN NO STANDING WATER HAS BEEN PRESENT FOR THE PAST (10) DAYS, THE MAXIMUM ALLOWABLE READING IS 5 OHMS THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT EITHER ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.
- D. EQUIPMENT PAD AND TOWER
1. AFTER THE EQUIPMENT PAD AND TOWER GROUND RESISTANCE TEST IS COMPLETED, CONTRACTOR SHALL TIE EQUIPMENT PAD EXTERNAL GROUND RING AND TOWER EXTERNAL GROUND RING TOGETHER. AFTER FIRST AND SECOND TEST ALL CONNECTIONS MUST BE MADE USING EXOTHERMIC WELD. NO LUGS OR CLAMPS WILL BE ACCEPTED.
2. AFTER ALL THE EXTERNAL GROUND RINGS ARE TIED TOGETHER, COMPETE A MEGGER CHECKER OF THE GROUND SYSTEM SHOULD BE DONE. THE MAXIMUM ALLOWABLE LEADING IS 5 OHMS TO GROUND.

10. GROUNDING RESISTANCE TEST REPORT

UPON COMPLETION OF THE TESTING FOR EACH SITE, A TEST REPORT SHOWING RESISTANCE IN OHMS WITH AUXILIARY POTENTIAL ELECTRODES AT 5 FEET AND 10 FEET INTERVALS UNTIL THE AVERAGE RESISTANCE STARTS INCREASING AND ALSO NOTE THAT 10-15 PHOTOS MUST BE TAKEN TO PROOF ENTIRE EXTERNAL GROUND RING SYSTEM BEFORE BACKFILL. TWO (2) SETS OF TEST DOCUMENTS AREA OF THE INDEPENDENT TESTING SERVICE TO BE BOUND AND SUBMITTED WITHIN ONE (1) WEEK OF WORK COMPLETION.

SECTION 16503 - POLES, POSTS, AND STANDARDS  
(SINGLE MAST AND SELF SUPPORTING TOWERS)

1. GENERAL  
A. LIGHTNING ROD AND EXTENSION PIPE INCLUDING ALL APPURTENANCES, TO BE FURNISHED BY OWNER, IF REQUIRED  
B. PROVIDE TEMPORARY LIGHTING FOR TOWER AS PER FAA REGULATIONS DURING CONSTRUCTION, IF REQUIRED.
- C. GROUNDING:  
GROUND TOWER WITH A MINIMUM OF #2 AWG TINNED SOLID BARE COPPER CONDUCTOR CADWELDED TO TOWER BASE PLATE. TWO (2) GROUNDING LEADS PER TOWER BASE PLATE.

NO EXOTHERMIC WELDS SHALL BE ATTACHED DIRECTLY TO THE MONOPOLE TOWER SHAFT

SECTION 16745- TELECOMMUNICATIONS WIRING COMPONENT  
(COAXIAL ANTENNA CABLE)

1. GENERAL

- A. ALL MATERIALS, PRODUCTS OR PROCEDURES INCORPORATED INTO WORK SHALL BE NEW AND OF STANDARD COMMERCIAL QUALITY.
- B. CERTAIN MATERIALS AND PRODUCTS WILL BE SUPPLIED BY THE OWNER (REFER TO GENERAL CONDITIONS FOR THE LIST OF OWNER FURNISHED EQUIPMENT, MATERIALS AND SUPPLIES FOR THESE ITEMS). THE CONTRACTOR IS RESPONSIBLE FOR PICKUP AND DELIVERY OF ALL SUCH MATERIALS
- C. ALL OTHER MATERIALS AND PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR.

2. MATERIALS

- a. COAXIAL CABLE:  
1. INSTALL COAXIAL CABLE AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS WITH COAXIAL CABLES SUPPORTED AT NO MORE THAN 3'-0" O.C. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE FEET (3') IN EXCESS OF EQUIPMENT LOCATION UNLESS OTHERWISE STATED.  
2. ALL COAX RUN LENGTHS GREATER THAN 175 FEET SHALL BE 1-5/8", ALL COAX. RUN LENGTH BETWEEN 101 FEET AND 174 FEET SHALL BE 1-1/4", AND IN LENGTH LESS THAN OR EQUAL TO 100 FEET SHALL BE 7/8".
3. ANTENNA AND COAXIAL CABLE GROUNDING  
a. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)  
4. COAXIAL CABLE IDENTIFICATION  
a. TO PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING, PLASTIC TAGS SHALL BE USED AT THE FOLLOWING LOCATIONS:  
1. FIRST LOCATION IS AT THE END OF THE COAX NEAREST THE ANTENNA (WHERE THE COAXIAL CABLE AND JUMPER ARE CONNECTED).  
2. SECOND LOCATION IS INSIDE THE EQUIPMENT SHELTER NEAR THE WAVEGUIDE ENTRY PORT.  
b. USE ANDREW CABLE TIES (PT. # 7290) TO SECURE IDENTIFICATION TAGS.
5. TESTING  
LESSEE SHALL PROVIDE AN INDEPENDENT TESTING AGENCY TO PERFORM THE COAXIAL SWEEP TEST & REPORT. THE CONTRACTOR IS TO PROVIDE ONE CLIMBER / QUALIFIED PERSONNEL TO ASSIST IN ANY REPAIRS AND WEATHERPROOFING ONCE THE TEST IS COMPLETE. THE CONTRACTOR IS TO PROVIDE LESSEE WITH A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE TIME OF THE SWEEP TEST.

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TERRA

CONSTRUCTIVE GROUP, LTD.  
600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

NO.		DESCRIPTION	DATE	BY	TJS	LS	RA	RA	LS	JTM	JTM
4		UPDATE PER LL COMMENTS	12/03/17								
5		RE-ISSUED PER REVISIONS	02/19/18								
6		REVISED PER FIBER COORDINATION	02/23/18								
7		UPDATE PER LL COMMENTS	04/02/18								
8		UPDATE PER LL COMMENTS	04/23/18								
9		UPDATE PER LL COMMENTS	04/25/18								
10		UPDATE PER VILLAGE COMMETNS	05/03/18								

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE
SPECIFICATIONS

SHEET NUMBER
SP-2



1 EXISTING OVERALL SITE  
SCALE: N.T.S.



2 EXISTING ACCESS DRIVE  
SCALE: N.T.S.



3 EXISTING ANTENNA LOCATION  
SCALE: N.T.S.



4 EXISTING METER CENTER/ FRAME  
SCALE: N.T.S.

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REVISIONS						
NO.	DESCRIPTION	DATE	BY	TJS	LS	JTM
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9	UPDATE PER LL COMMENTS	04/25/18				
10	UPDATE PER VILLAGE COMMENTS	05/03/18				

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
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DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
EXISTING SITE PHOTOS

SHEET NUMBER

**P-1**



verizon  
Radio Frequency Exposure  
FCC Compliance Assessment

☒ Pre-Activation   ☐ Post-Activation

SITE-SPECIFIC INFORMATION			
Site Name	FORESTPK NORTH	Multi-Licensee Facility	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Street Address	7400 Augusta St.	Is Verizon a Significant Contributor to Co-Locator Areas Requiring Mitigation?	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
City, State, Zip	River Forest, IL 60305	Verizon's Max % MPE (Predictive - Occupational)	130.3%
Verizon's Max % MPE (Measured - Occupational)	N/A	Assessment Date	N/A
Structure Type	ROOFTOP	Assessment Purpose	MODIFICATION
Broadcast (AM/FM/TV) Co-Locators	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Total Report Revisions	1
Total Access Points	1	Report Revision Date	N/A
Original Report Date	03/07/2018		
Compliance Status	<input type="checkbox"/> COMPLIANT AS DESIGNED <input type="checkbox"/> COMPLIANT PER RF SAFETY PLAN SUBMISSION <input checked="" type="checkbox"/> MITIGATION IS REQUIRED		

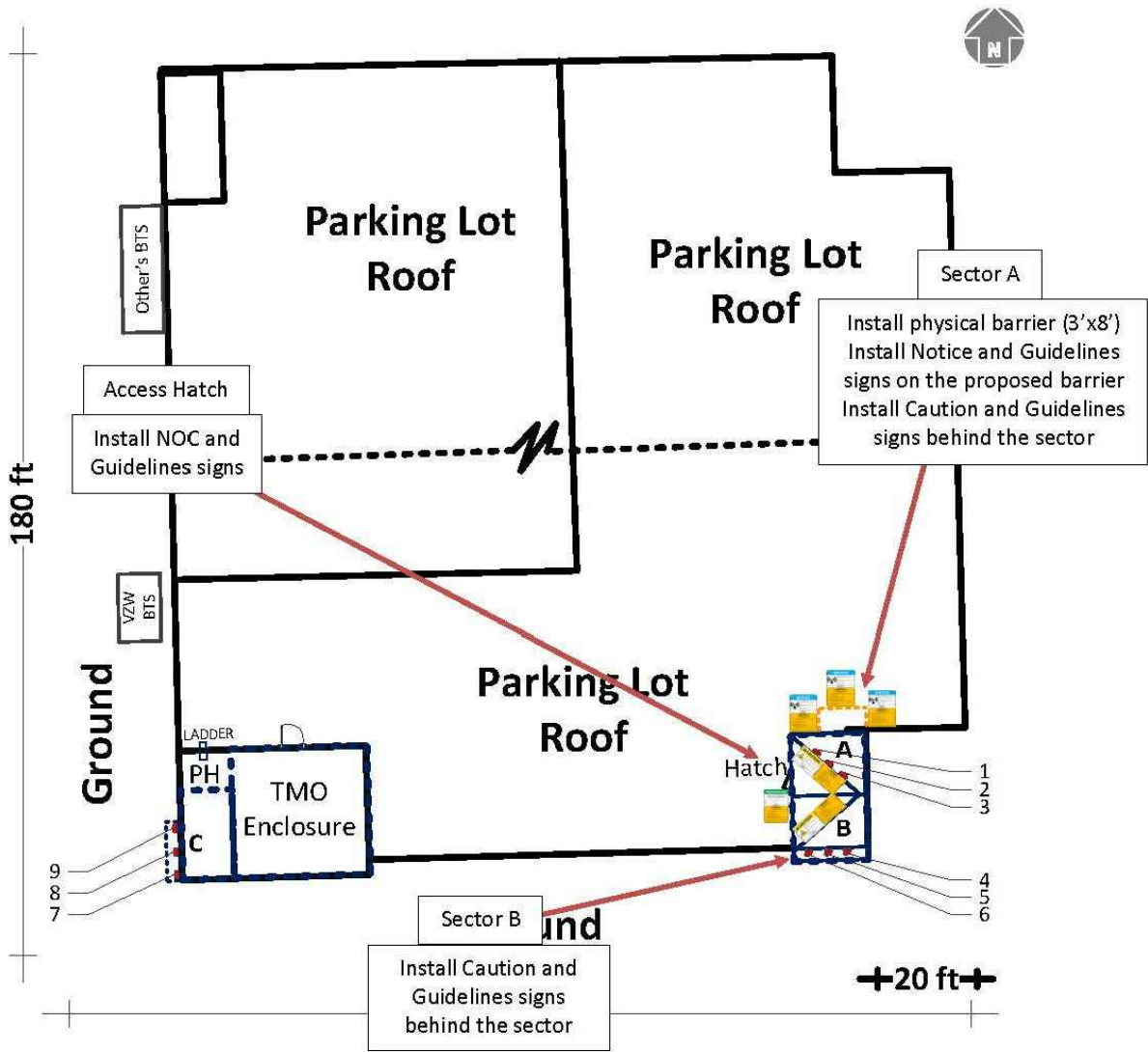
VERIZON'S WORST-CASE RF EMISSIONS IN ACCESSIBLE AREAS AT THIS FACILITY	
<input type="checkbox"/>	BELOW the General Population MPE limit
<input type="checkbox"/>	ABOVE the General Population MPE limit and BELOW the Occupational MPE limit
<input checked="" type="checkbox"/>	ABOVE the Occupational MPE limit and BELOW 10x the Occupational MPE limit
<input type="checkbox"/>	ABOVE 10x the Occupational MPE limit

Final Compliant Configuration					
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO
Access Point(s)	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]
Alpha	<input checked="" type="checkbox"/> [4]	<input checked="" type="checkbox"/> [3]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]
Beta	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location; also in Sec. 4 (B)

Additional Compliance Requirements(s):			
Inform the property owner that NOC should be contacted if work will be performed near the antennas			
Consultant Legal Name	Telnet Inc.	Phone/Fax	301-840-7110
Address	7630 Standish Place, Rockville, MD 20855		

b. Signage/Barrier Diagram



CARRIER ANTENNA:	VERIZON	AT&T	SPRINT	T-MOBILE	METRO PCS	CRICKET	UNKNOWN
TELNET, INC., 7630 Standish Place, Rockville, MD 20855; Phone: 888-883-5638 / Fax: 301-840-0162; Web: www.Telnet-Inc.com							

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REVISIONS		NO.	DESCRIPTION	DATE	BY	TJS	LS	PA	RA	LS	JTM	JTM
4	UPDATE PER LL COMMENTS	12/03/17										
5	RE-ISSUED PER REVISIONS	02/19/18										
6	REVISED PER FIBER COORDINATION	02/23/18										
7	UPDATE PER LL COMMENTS	04/02/18										
8	UPDATE PER LL COMMENTS	04/23/18										
9	UPDATE PER LL COMMENTS	04/25/18										
10	UPDATE PER VILLAGE COMMENTS	05/03/18										

LOC. # 418745







7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
CHECKED BY:	TAZ
DATE:	11/01/16
PROJECT #:	33-2430

SHEET TITLE  
PRE-EME  
REPORT  
(BY OTHERS)







SHEET NUMBER  
**RF-1**



Final Compliant Configuration						
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER
Access Point(s)	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> dimensions
Alpha	<input checked="" type="checkbox"/> [4]	<input checked="" type="checkbox"/> [3]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> 3'x8'
Beta	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Gamma	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> [#]	<input type="checkbox"/> dimensions

NOTE: The table above represents EVERY compliance item that MUST be implemented at this location.

c. Signage/Barrier Installation Detail

Mitigation Actions Required/Taken						
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER
Access Point(s)	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Alpha	<input checked="" type="checkbox"/> [4] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [3] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> 3'x8'
Beta	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input checked="" type="checkbox"/> [1] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
Gamma	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> [#] <input type="checkbox"/> [#]	<input type="checkbox"/> dimensions
	ADD REM	ADD REM	ADD REM	ADD REM	ADD REM	ADD ONLY

NOTE: The table represents either the signage/barriers installed / removed OR items required by the market (if mitigation is not installed by consultant/vendor).

SPECIAL MITIGATION INSTRUCTIONS	
Items to be Installed	<b>Access Point:</b> Install NOC and Guidelines signs at sector A and B Hatch <b>Sector A:</b> Install physical barrier (3'x8') Install Notice and Guidelines signs on the proposed barrier Install Caution and Guidelines signs behind the sector <b>Sector B:</b> Install Caution and Guidelines signs behind the sector
Items to be Removed	N/A
Items to be Repaired/Replaced	N/A





d. Summary


Inform the property owner that NOC should be contacted if work will be performed near the antennas

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c. RF Signage

Areas or portions of any transmitter site may be susceptible to high power densities that could cause personnel exposures in excess of the FCC guidelines. These areas must be demarcated by conspicuously posted signage that identifies the potential exposure. Signage MUST be viewable regardless of the viewer's position.

GUIDELINES	NOTICE	CAUTION	WARNING
This sign will inform anyone of the basic precautions to follow when entering an area with transmitting radiofrequency equipment.	This sign indicates that RF emissions may exceed the FCC General Population MPE limit.	This sign indicates that RF emissions may exceed the FCC Occupational MPE limit.	This sign indicates that RF emissions may exceed at least 10x the FCC Occupational MPE limit.
			

NOC INFORMATION	
Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.	

d. Physical Barriers

Physical barriers are control measures that require awareness and participation of personnel. Physical barriers are employed as an additional administration control to complement RF signage and physically demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example:** chain-connected stanchions

e. Indicative Markers

Indicative markers are visible control measures that require awareness and participation of personnel, as they cannot physically prevent someone from entering an area of potential concern. Indicative markers are employed as an additional administration control to complement RF signage and visually demarcate an area in which RF exposure levels may exceed the FCC General Population limit. **Example:** paint stripes

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600 BUSSE HIGHWAY  
PARK RIDGE, IL 60068  
PH: 847-898-6400  
FAX: 847-898-6401

REVISIONS		NO.	DESCRIPTION	DATE	BY
					TJS LS RA LS JTM
	UPDATE PER LL COMMENTS	4		12/03/17	TJS
	RE-ISSUED PER REVISIONS	5		02/19/18	LS
	REVISED PER FIBER COORDINATION	6		02/23/18	RA
	UPDATE PER LL COMMENTS	7		04/02/18	RA
	UPDATE PER LL COMMENTS	8		04/23/18	LS
	UPDATE PER LL COMMENTS	9		04/25/18	JTM
	UPDATE PER VILLAGE COMMENTS	10		05/03/18	JTM

LOC. # 418745

7400 AUGUSTA ST.  
RIVER FOREST, IL 60305

DRAWN BY:	TJS
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SHEET TITLE  
PRE-EME  
REPORT  
(BY OTHERS)

SHEET NUMBER

RF-2

Elevations showing the southwest corner of the garage depicting the Verizon proposal.

Site Survey follows this page;

Overall site plan follows this page;

Enlarged site plan was previously provided to Village staff;

Tower elevation follows this page.

Four computer generated illustrations showing the existing and proposed view of the Verizon installation at the parking garage from ground level and from the top level of the parking garage follow the construction drawings.

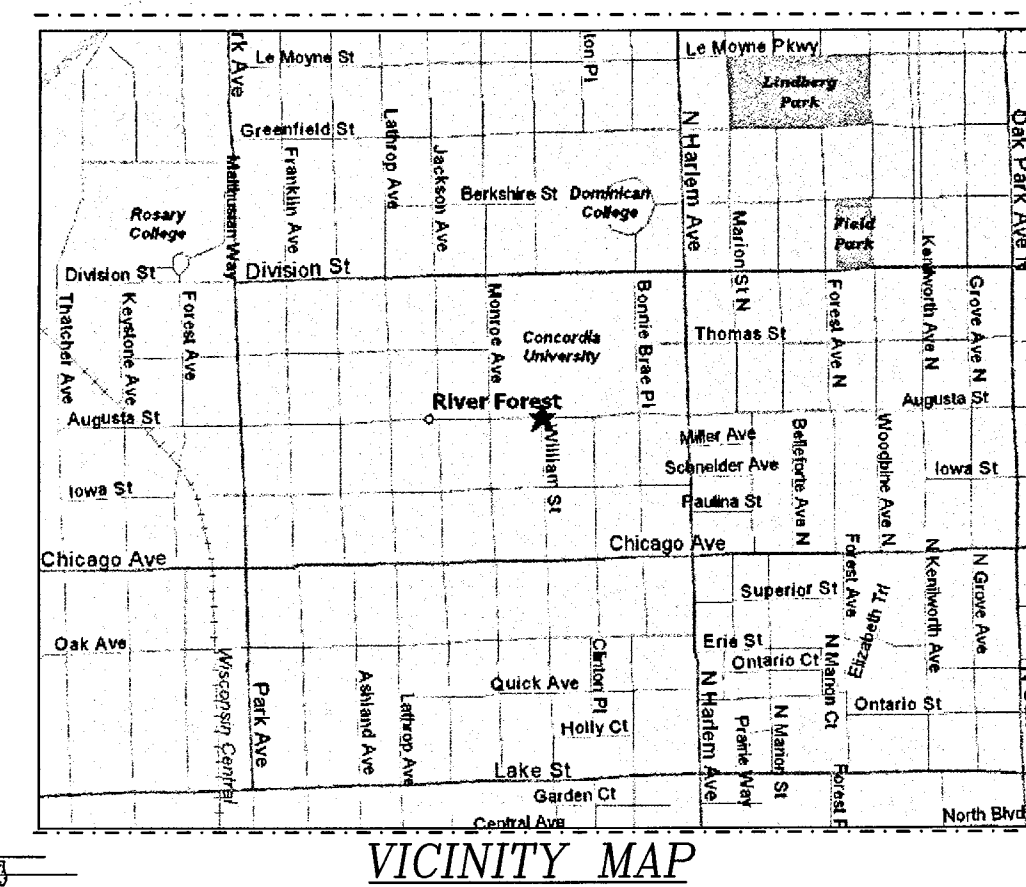
Maps showing the increased coverage for Verizon in northeast River Forest follow the construction drawings and computer generated photos.

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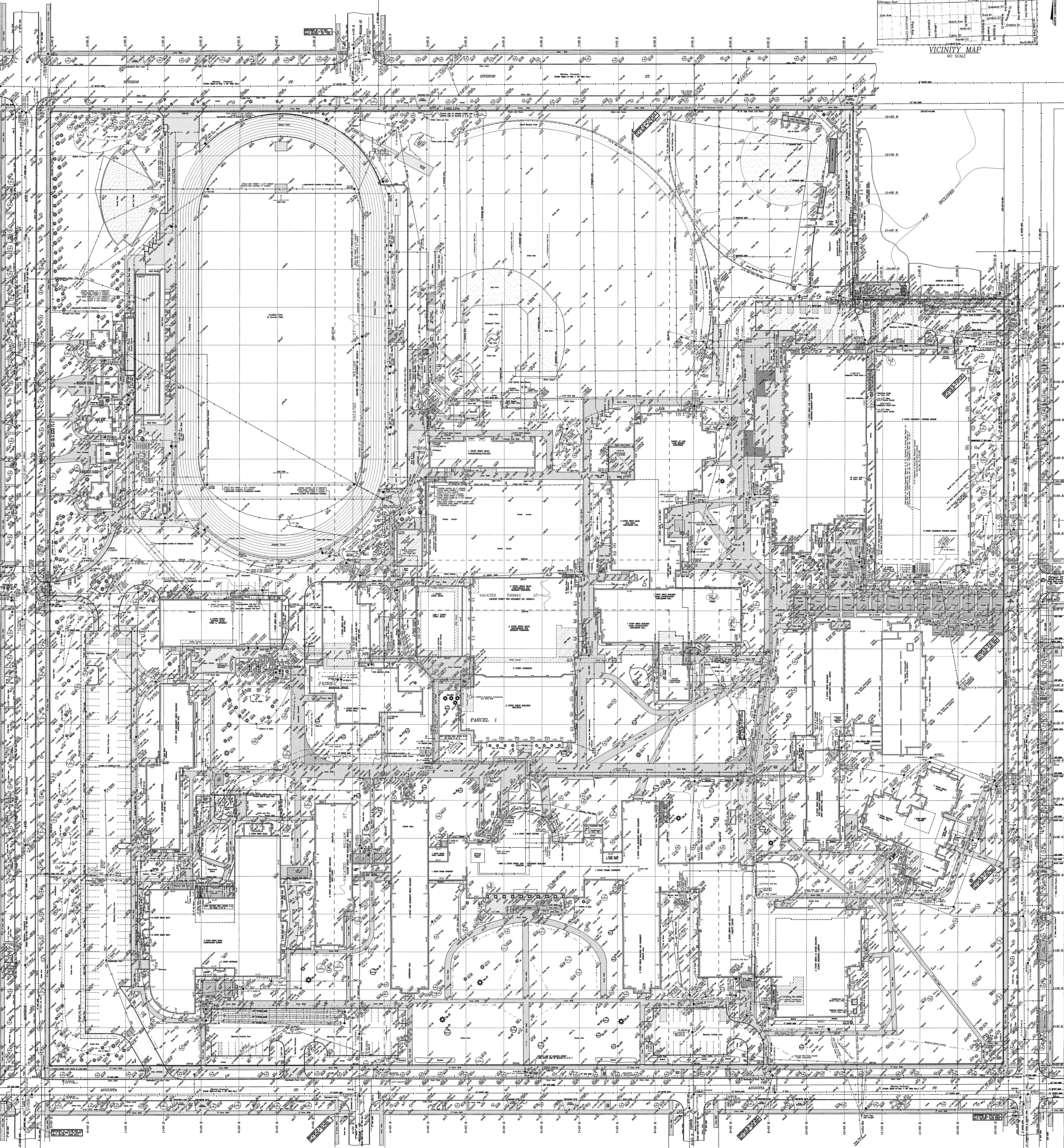








VICINITY MAP  
NO SCALE



**LEGEND FOR NEW & EXISTING TREES:**  
Top #10 = Swamp White Oak  
Top #11 = Snowdrift Crabapple  
Top #12 = Kentucky Coffee Tree  
Top #13 = Shadblow/Honey Locust  
Top #14 = Mission Arbutus  
Top #15 = Frontal Elm  
Top #16 = Sycamore Honey Locust  
Top #17 = Sargent Oak  
Top #18 = Royal Halloway Crab  
Top #19 = Amur Maple  
Top #20 = Zuni Crabapple  
Top #21 = Japanese Lilac Tree  
Top #22 = Eastern Redbud  
Top #23 = Shagbark Hickory  
Top #24 = Frontal Elm

**HATCHING LEGEND**  
REVISED UNDERGROUND  
UTILITY TUNNEL

**NOTE:**  
ELEVATIONS ARE SHOWN IN RELATION TO BENCH MARK FROM OAK PARK TOWNSHIP  
(7-39-N AND R-13-E) COOK COUNTY HIGHWAY DEPARTMENT NO. 160701  
BENCH MARK LOCATED NEAR NORTHWEST CORNER OF SECTION 7, SOUTHEAST CORNER  
OF MAPLE AVE AND 30.85 FT. SOUTH OF CENTER-LINE OF SUPERIOR ST.  
A STANDARD COUNTY DISK SET IN CONCRETE MONUMENT, 34.40 FT. EAST OF CENTERLINE  
OF MAPLE AVE AND 30.85 FT. SOUTH OF CENTER-LINE OF SUPERIOR ST.  
17.75 FT. NORTHWEST CORNER OF BUILDING NO. 328 MAPLE AVE.  
ELEVATIONS ARE SHOWN THUS: X 628.11

USE EXTREME CAUTION NEAR COMED FACILITIES. HAND DIG WHILE CROSSING 69/136/345  
KV TRANSMISSION LINE. COMED TRANSMISSION SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR  
TO THE START OF WORK. TO SCHEDULE AN ONSITE INSPECTOR DURING CONSTRUCTION  
CONTACT  
LESLIE PASCHAL AT 630-437-4767

**NOTE:**  
FOR LEGAL DESCRIPTIONS, TIES, FLOOD CERTIFICATION AND ALTA CERTIFICATE  
REFER TO PROJECT NO. N-129786 ALTA SURVEY.

CONTRACTORS AND BUILDERS SHOULD BE NOTIFIED TO CAREFULLY TEST AND  
COMPARE ON THE GROUND THE POINTS, MEASUREMENTS, ETC. AS NOTED ON  
BUILDING ON THE SAME AND AT ONCE REPORT ANY SETTING OR APPARENT  
MISUNDERSTANDING OR DISCREPANCY OF POINTS MAY BE CORRECTED BEFORE  
DAMAGE IS DONE.

NO DIMENSIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE  
PLAT.  
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF, THUS: 4'-5.75"  
MEANS 4 FEET AND 5.75 INCHES, OR IN FEET AND INCHES, THUS: 4'-6 1/2"  
MEANS 4 FEET AND 6 1/2 INCHES.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT  
REFER TO YOUR ARCHITECT'S BEST CONTRACT AND LOCAL BUILDING LINE  
REQUIREMENTS. THE MOST RESTRICTIVE LINE IS USED IN  
PLACEMENT OF BUILDING.

UTILITY DATA OTHER THAN PHYSICAL EVIDENCE VISIBLE ON THE GROUND IS  
OBTAINED FROM RECORDS AND FIELD SURVEY. DIMENSIONS AND LOCATIONS AS  
INDICATED SHOULD BE ASSUMED TO BE APPROXIMATE.

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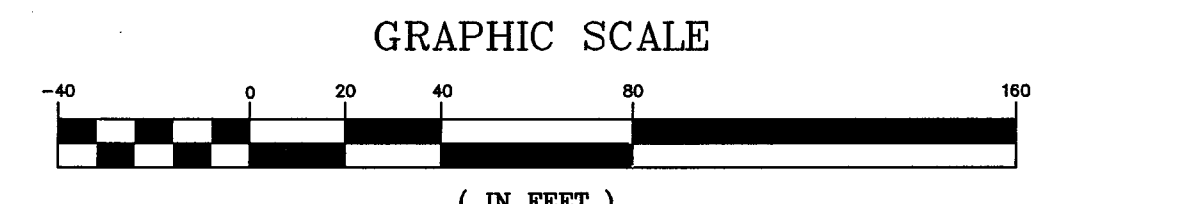
**LEGEND:**  
B = BOTTOM OF MANHOLE  
B.B. = BUFFALO BOX  
B.O. = BACK OF CURB  
B.P. = BUMPER POST  
B/S = BOTTOM OF SLOPE  
C = CURB  
C.B.O. = CONTROL BOX  
C.E.M.H. = CITY ELEC. MANHOLE  
C.L. = CENTER LINE  
C/L.O. = CENTER LINE OF DITCH  
C.O. = CLEAN OUT  
C/P. = CONCRETE PAD  
D.S. = DOWN SPOUT  
E.M. = ELECTRIC MARKING FROM JULIE  
E/M. = EDGE OF MEDIAN  
E/P. = EDGE OF PAVEMENT  
EL. = ELEVATION  
EL. MH. = ELECTRIC MANHOLE  
F/B. = FACE OF BUILDING  
F/C. = FACE OF CURB  
F/F. = FACE OF FENCE  
F/W. = FACE OF WALL  
F.F. = FINISHED FLOOR  
F.H. = FIRE HYDRANT  
G. = GUTTER  
G.M. = GAS MARKING FROM JULIE  
G.M.H. = GAS MANHOLE  
G.P. = GAS PUMP  
G.V. = GAS VALVE  
I. = INVERT OF PIPE  
I.P. = INTAKE PUMP  
H.H. = HAND HOLE  
I/C.U. = INVERT OF CULVERT  
I.G.R. = IRON GUARD RAIL  
I.M. = INLET  
L.P. = LIGHT PEDESTAL  
M.B. = MAIL BOX  
M. = MANHOLE  
M.W. = MONITORING WELL  
P. = PAVEMENT  
R. = RESPECTOR  
R.P. = REINFORCED CONCRETE PIPE  
S.A.M.H. = SANITARY MANHOLE  
S.B.O. = SWITCH BOX  
S.M.H. = SEWER MANHOLE  
S.P. = STANDPIPE

T.M.H. = TELEPHONE MANHOLE  
T/C.U. = TOP OF CULVERT  
T/O. = TOP OF SLOPE  
T.M. = TELEPHONE MARKING FROM JULIE  
T/P. = TOP OF PIPE  
T/P. = TRAP PIPE  
T/S. = TOP OF SLOPE  
T/W. = TOP OF WALL  
T/W.T. = TOP OF WATER  
T.E.P. = TELEPHONE PEDESTAL  
T.R. = TRANSFORMER  
T.S. = TRAFFIC SIGNAL  
T.S.G. MH. = TRAFFIC SIGNAL MANHOLE  
U.P. = UTILITY POLE  
U.T.O. = UNABLE TO OPEN  
V.T. = VAULT  
V.T.P. = VERTICAL TOP OF PIPE  
W. = WALL  
W.F. = WOODSTOCK IRON FENCE  
W.M. = WATER MARKING FROM JULIE  
W.M.H. = WATER MANHOLE  
W.F. = WATER FILL  
W.S. = WATER SPOUT

**UNDERGROUND CAMPUS ELECTRIC CONDUIT =**  
EL. EL. EL. EL. EL.  
COMCAST CABLE TV CABLES = CIV. CIV.  
COMMONWEALTH EDISON CO. UNDERGROUND ELECTRIC CONDUIT =  
E. E. E. E. E.  
FIRE ALARM = FA. FA. FA. FA.  
FIRE LINE = FL. FL. FL. FL.  
GAS MAIN = G. G. G. G.  
IRRIGATION PVC PIPE = IRR. IRR. IRR. IRR.  
AT&T, MCI, SBC UNDERGROUND TELEPHONE CONDUIT =  
T. T. T. T. T.  
OVERHEAD WIRES = SW. SW. SW. SW. SW.  
SANITARY MAIN = S. S. S. S. S.  
SEWER MAIN = S. S. S. S. S.  
STORM MAIN = ST. ST. ST. ST. ST.  
WATER MAIN = W. W. W. W. W.

**WARNING**  
UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS, AND  
THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT  
WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT  
PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND ITEMS. RECORD  
INFORMATION IS BASED UPON DATA COLLECTED FROM BOTH PUBLIC  
AND PRIVATE SOURCES. THE COMPLETENESS AND/OR ACCURACY OF  
THESE RECORDS CANNOT BE GUARANTEED, EXCEPT INsofar AS THEY  
CAN BE VERIFIED BY FIELD MEASUREMENT. PRIOR TO ANY  
EXCAVATION CONTACT "CALLERS" AT 1-800-882-0123, JOINT  
UTILITY LOCATING INFORMATION EXCHANGERS.

**ABBREVIATION LEGEND:**  
B.D.C. = BUILDING  
C.O.C. = CONCRETE  
C.O.R. = CORNER  
D. = DITCH  
D.C. NO. = DOCUMENT NUMBER  
M. (M.C.S.) = MEASURED  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCING  
P. = RECORD  
S.E.C.T. = SECTION  
N.E. = NORTHEAST  
N.W. = NORTHWEST  
S.E. = SOUTHEAST  
S.W. = SOUTHWEST  
E. = EAST  
N. = NORTH  
S. = SOUTH  
W. = WEST

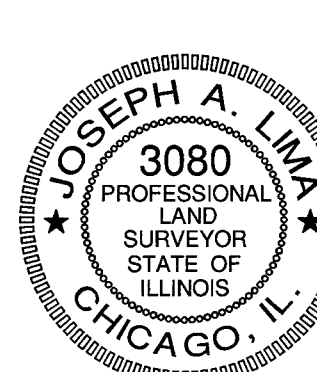


ADDED BUILDING FOUNDATIONS JAN. 11, 2017  
SURVEY NO. N-129962 OVERALL TOPOGRAPHY DATE: NOV. 22, 2016

**State of Illinois**  
County of Cook  
We hereby certify that the measurements shown hereon  
are based upon actual field survey and that the above plat is a true  
representation of said topography. Dimensions are corrected to a  
temperature of 62° Fahrenheit. This professional service conforms to  
the current Illinois minimum standards for topographic surveys.

**NATIONAL SURVEY SERVICE, INC.**  
PROFESSIONAL LAND SURVEYORS  
30 S. MICHIGAN AVENUE, SUITE 200  
CHICAGO, ILLINOIS 60603  
WWW.NATIONALSURVEYSERVICE.COM  
TEL: 312-650-9480 FAX: 312-650-9484

By *Joseph A. Lima*  
Professional Land Surveyor No. 3080  
JLima@nationalsurveyservice.com DRAWN BY S.M.  
MY LICENSE EXPIRES 11/30/2018







BEFORE



AFTER

View from South looking North



**TERRA**  
CONSULTING GROUP, LTD.  
600 Busse Highway, Park Ridge, IL 60068  
Phone: 847.698.6400 Fax: 847.698.6401

**verizon**





BEFORE



AFTER

View from West looking East



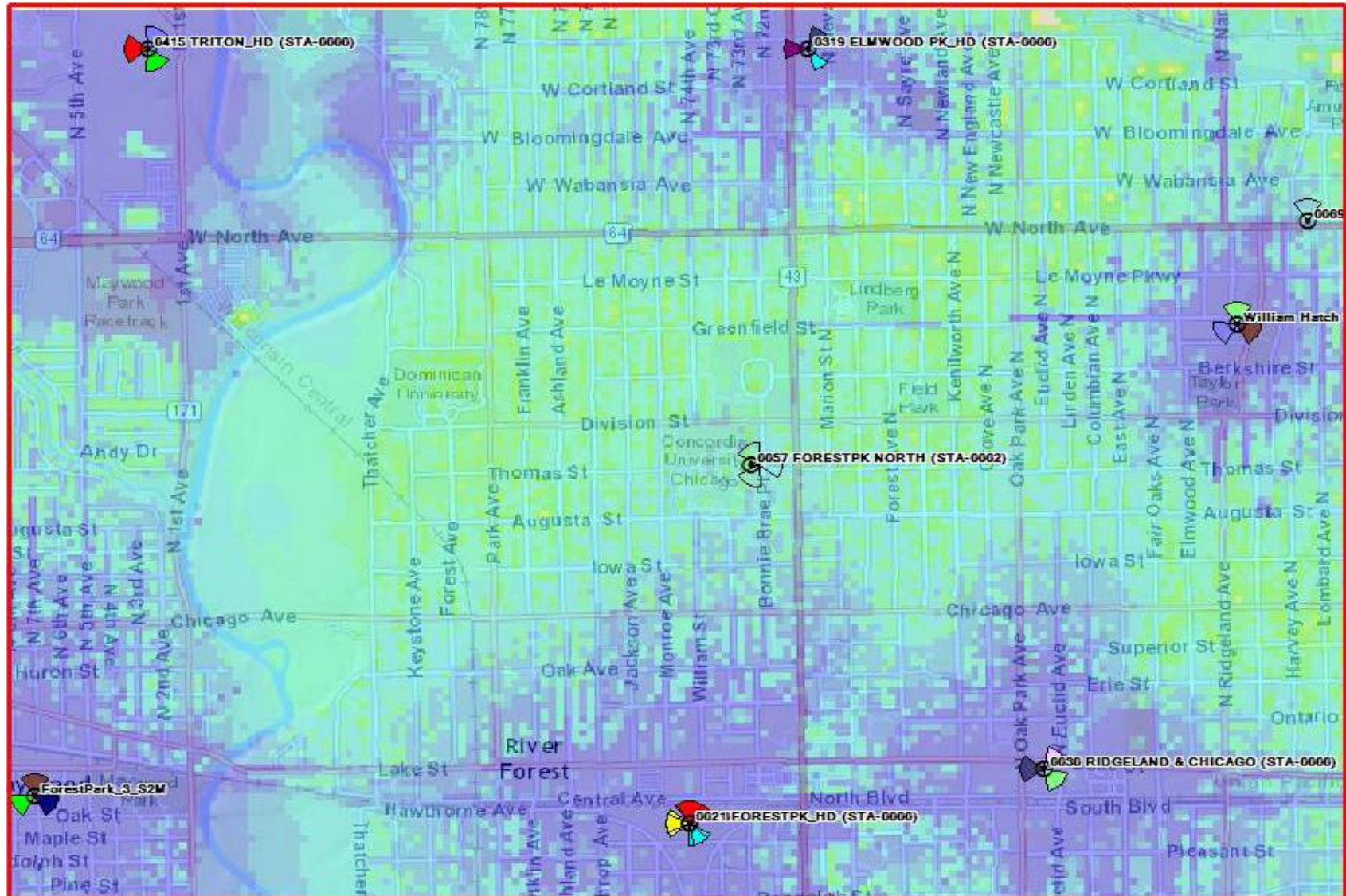
**TERRA**  
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**verizon**✓



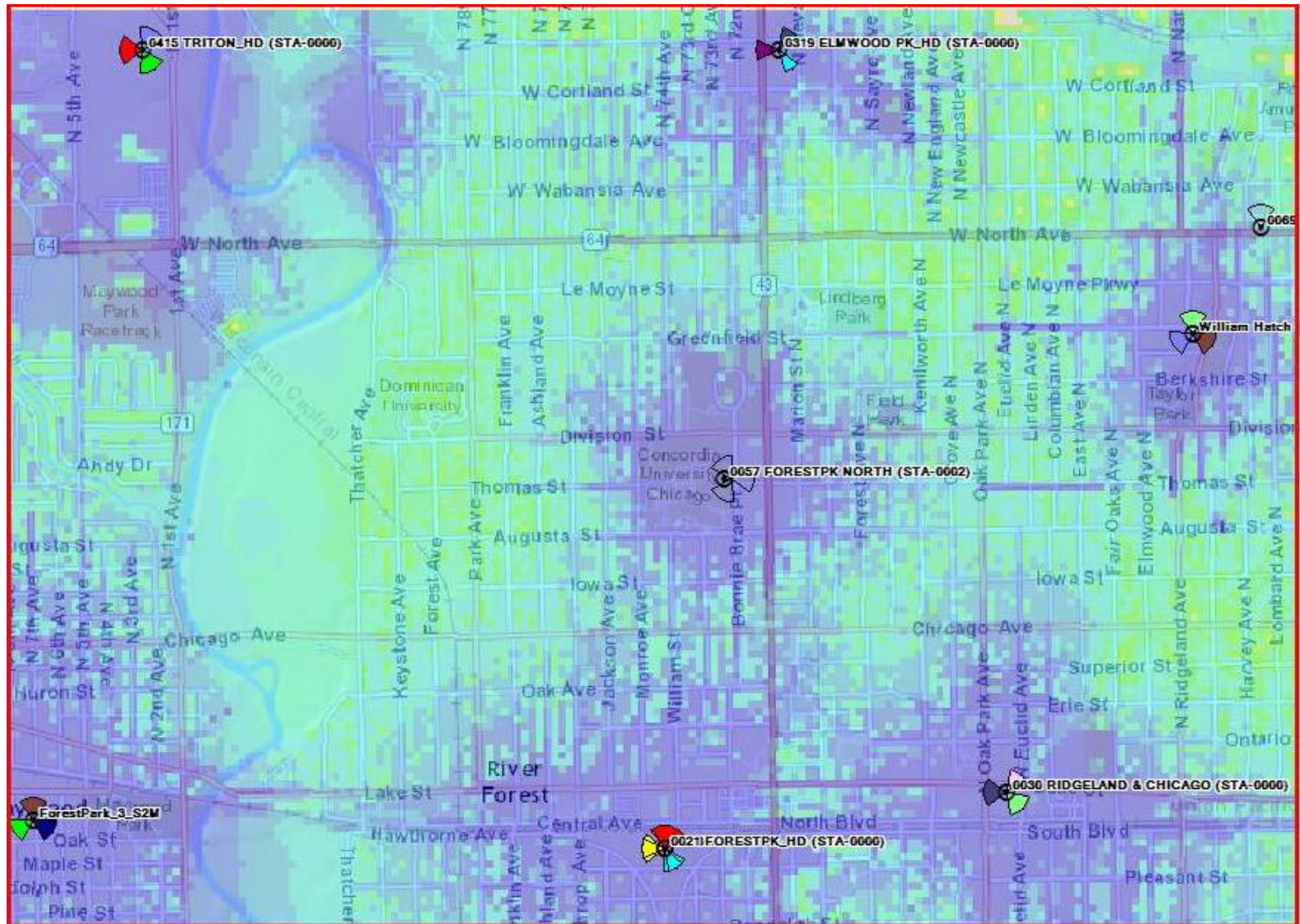
# CURRENT COVERAGE

- RELIABLE IN-RESIDENCE
- UNRELIABLE IN-RESIDENCE
- RELIABLE IN-VEHICLE
- UNRELIABLE IN-VEHICLE
- RELIABLE ON-STREET



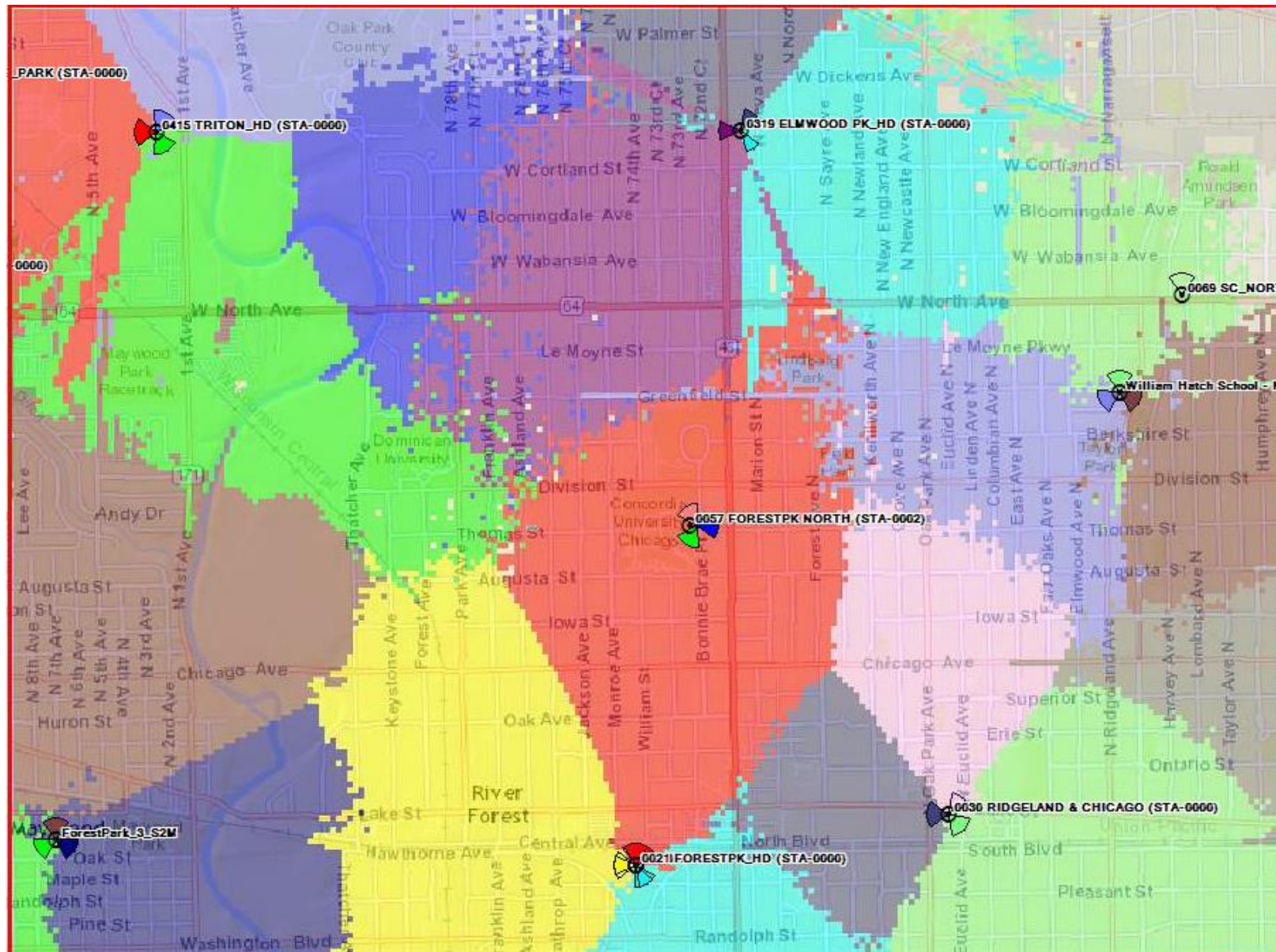


# PROPOSED COVERAGE





# BEFORE COVERAGE WITH NEW SITE





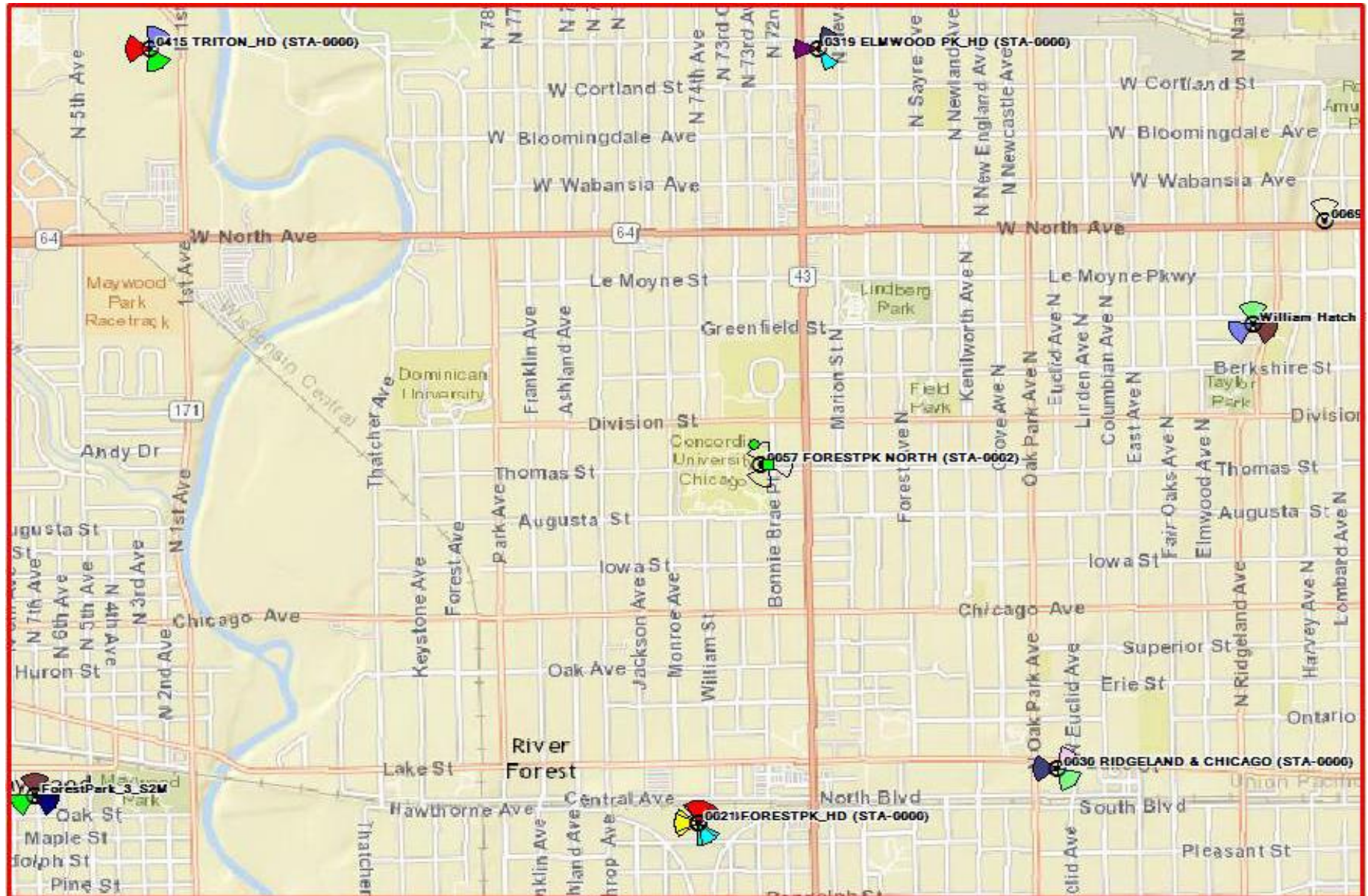








# EXISTING SITES



**IX. Landscaping Plan**

The proposed development will not change the previously approved landscaping plans. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. Accordingly, Concordia is not submitting any drawings depicting landscaping.

*The rest of this page is intentionally left blank.*

**X. Covenants, Easements, Other Restrictions**

Concordia does not anticipate any change in existing easements to accommodate this project. The easements were updated in 2010 along with the initial cellular project the Village Approved that year.

*The rest of this page is intentionally left blank.*



**XI. Schedule of Development****a. Beginning Date**

The beginning date depends upon when permits are issued and when the carriers receive the necessary regulatory approvals. The University anticipates construction could begin in the fall of 2018.

**b. Completion Date**

Verizon estimates construction could take between three to seven weeks.

*The rest of this page is intentionally left blank.*

**XII. Statement Acknowledging Responsibility of Applicant****a. Applicant's Responsibility to File with the Cook County Recorder of Deeds Office**

The Applicant who is the owner, Concordia University Chicago, hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to record with the Cook County Recorder of Deeds a certified copy of the ordinance granting a planned development permit.

**b. Provide Evidence of Filing within 30 Days of Planned Development**

The Applicant, Concordia University Chicago, owns the property and hereby acknowledges its responsibility, pursuant to Section 10-19-6.B.11 of the Village of River Forest Zoning Ordinance to provide the Village with evidence of recording the above document within 30-days of passage of the Ordinance.

*The rest of this page is intentionally left blank.*

**XIII. Professional Traffic Study**

The proposed development will not impact traffic flow or volume on any of the streets adjacent to the University. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. On February 15, 2018, Concordia presented the Development Review Board with an update on the status of the project. At that meeting, the Development Review Board approved leaving the waiver for the traffic study in place. Therefore, no professional traffic study is required.

*The rest of this page is intentionally left blank.*



**XIV. Professional Economic Study****a. Financial Capability**

Concordia University Chicago has the financial capacity to assure completion of the proposed development. Concordia will continue to own the physical parking garage; Verizon will own the electronic, mounting, and screening components associated with its transmission equipment. Verizon will pay for the improvements for this planned development.

Verizon is a publicly traded company with billions of dollars of assets through its network of cellular communication sites throughout the United States and other countries. Verizon has constructed and maintains hundreds of cellular communication sites in the Chicago metropolitan area alone. Verizon has the financial capability to construct and maintain this cellular communication site on the Concordia campus and commits its resources to do so.

The out-of-pocket expenses attributable to the University will be minimal.

**b. Economic Viability and Impact**

The proposed use is economically viable and does not pose a current or potential burden upon the services, tax base, or other economic factors that affect the financial operations of the Village.

The proposed improvements are not of a nature to impose any new, material demands on municipal resources. The proposed improvements do not change the nature of activities on campus or impose any special demands on Village services. Rather, the proposed improvements should provide benefits for University faculty, staff, and students.

The Village and neighbors of the University should benefit from the proposed development through improved wireless voice and data communication capabilities. In addition, please refer to the report of Michael Grimes attached to Section V.E. above.

*The rest of this page is intentionally left blank.*

**XV. Copies of Environmental Impact Studies**

The proposed development does not require the filing of any environmental impact studies as referenced in Section 10-19-6.B.14 of the Village of River Forest Zoning Ordinance. Prior studies have shown no environmental impact in the area of this project. At the pre-filing meeting on April 6, 2017, the Development Review Board granted Concordia's request for a waiver of this requirement. Accordingly, Concordia will not include an environmental impact study with this application.

*The rest of this page is intentionally left blank.*

**XVI. Estimated Demand on Village Services**

The University does not anticipate this proposed development will require any additional services from Village departments or staff except as the Village may already provide directly or indirectly. Since the Police Department utilizes Verizon for some of its communication, the University believes that when the new equipment goes into service the Police Department communications will improve in the northeast corner of River Forest.

The University will continue to make its staff and facilities available for Village departments and activities to assist the Village wherever and whenever possible in accordance with current practice.

*The rest of this page is intentionally left blank.*



**XVII. Off-Site Utility Improvements Required**

Concordia University anticipates that any utility improvements that Commonwealth Edison or Verizon may need to make to accommodate this proposal would be made within their existing service facilities. This project will not require any off-site improvements to utilities as sufficient electric and telephonic improvements were made in connection with the cellular communication improvements which the Village approved in 2010 and which were constructed that year.

*The rest of this page is intentionally left blank.*

**XVIII. Site Drainage Plan**

The plat at 7400 Augusta has a drainage system already installed. Based on the original platting of this area and subsequently utilized in the University's development, no new major installations are envisioned. This project will not create any drainage issues since construction envisions placing any equipment at the location previously approved in 2010 for this type of equipment. Nor will this project create any drainage issues since the Village Board approved the drainage plan that accompanied the construction of a new residence hall immediately south of the parking garage in Ordinance No. 3602 dated July 12, 2016. Accordingly, there is no need to update the previously approved site drain

*The rest of this page is intentionally left blank.*

**XIX. Written Summary****a. Official Record of Resident's Meeting**

Pursuant to the notice mailed on February 24, 2017, to all owners of record within 500 feet of any corner of the parking garage in compliance with the Village of River Forest Code Section 10-19-5.A.1.d, a neighborhood meeting is scheduled in the Oak Park River Forest Room of the Koehneke Community Center on the Campus of Concordia University Chicago beginning at 7:00 p.m. on March 15, 2017.

A summary of the public comments follows this page.

*The rest of this page is intentionally left blank.*



CONCORDIA UNIVERSITY CHICAGO  
Cellular-Verizon Neighbor Meeting

March 15, 2017  
7:00 pm

Name: Felice Maciejewski Address: 1120 Thomas St. OP Phone: 920-321-6613 Email: fmaciejewski@yahoo.com

Name: Ed Burke Address: 1009 Browns Ave. RT Phone: 708-366-7947 Email: EdmundBurke75@gmail.com

Name: Astrid Oettinger Address: 1120 Thomas St. Phone: 848-484-2099 Email: Bemur@comcast.net

Name: Mary Skrudeman Address: 1120 Thomas St. Phone: 708-848-8944 Email: \_\_\_\_\_

Name: Calvin Gray Address: 1120 Thomas St. Phone: 708-921-6938 Email: Calvingray58@yahoo.com

Name: Ruth Gray Address: 1120 Thomas St. Phone: 708-921-6938 Email: \_\_\_\_\_

Name: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Name: \_\_\_\_\_ Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**CONCORDIA UNIVERSITY CHICAGO**  
**SPEAKER LIST**

Cellular-Verizon Neighbor Meeting  
March 15, 2017

No.	Name	Address
1	Felice Maciejewski	1120 THOMAS ST Oak Park, IL
2	ED BURKE	1009 BONNIE BRAE RIVER FOREST, IL
3	Mary Strudeman	1120 THOMAS O.P.
4	Carin Gray	1120 Thomas St,
5	Ruth Gray	↓
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		

## SUMMARY OF RESIDENTS' COMMENTS

Neighbor Meeting, March 15, 2017  
(Section XIX a.)

Pursuant to Section 10-19-6 B. 18 of the Village Code, the following is a summary of residents' comments made at the meeting held pursuant to notice to all owners of record of properties located within 500 feet of the Concordia University Chicago campus.

Attached is the sign-in sheet identified residents who attended and the sign-in

Concordia University Chicago vice-President for Administration, Dennis Witte, presided at the meeting which began at 7:06 pm in the Oak Park River Forests Room at the Koehneke Community Center building on the Concordia campus. The meeting ended at approximately 7:45 pm. Resident comments follow with Concordia responses to inquiries shown in *italics* (unless otherwise noted, the responses are from Dr. Witte):

Dr. Witte	At 7:06 p.m., Dr. Witte began the meeting with an introduction and overview of the project. The proposal seeks to add ten feet in height, from 65 feet to 75 feet to the southwest stairway tower of the University parking garage. Dr. Witte showed computer generated renderings that depict the southwest tower now and as it is proposed to look.
Felice Maciejewski	She lives at 1120 Thomas, Oak Park. She says that from her windows she can see the bell tower at Grace Lutheran and a chimney about which she is concerned. She had photos on her cell phone.
Glen Steiner (CUC)	Mr. Steiner looked at the photos and determined that the chimney does not belong to Concordia, but rather to the condominium building at the northwest corner of Harlem and Thomas.
Felice Maciejewski	She showed another photo that looked more along Thomas.
Glen Steiner	He viewed this photo and could not see the Concordia parking garage.
Mary Strudeman	She lives on the second floor at 1120 Thomas, Oak Park. Her concern is anything that would obstruct the beautiful sunsets she can now see from the windows of her condominium.
Glen Steiner	Mr. Steiner pointed out that the tower is 12-feet by 18-feet and that the 12 foot side faces east, toward her condominium.
Mary Strudeman	She pointed out that this is a beautiful community but that what is being built in central Oak Park "is a mess." She said that is not how a village should look. She said the beauty is this residential community. She said the proposal is an obstruction.



Astrid Oettinger	She also lives at 1120 Thomas, Oak Park. She inquired about the height of the new residence hall.
Glen Seiner	Mr. Steiner responded that the building parapet will be approximately 59 feet and that some HVA equipment on the roof would be about 64 feet. He said the proposed stairwell tower addition would be close in height to the residence hall, but much lower than the Grace Lutheran bell tower.
Dr. Witte	He added that using the stairwell tower for the cellular antennas keeps them away from people.
Mary Strudeman	She further identified her building as the red brick condominium building and the yellow brick one is at the southeast corner of Harlem and Thomas.
Dr. Witte	He showed slides depicting coverage for Verizon customers both before and after completion of this proposal. He explained that the purpose of the project is to greatly improve cellular communication capabilities in northeast River Forest.
Ed Burke	He lives at 1009 Bonnie Brae, River Forest. He asked if there are any other cellular facilities.
Dr. Witte	He informed that both students and employees are excited about this project because it would improve their cell phone coverage. He said no one wants to build steel towers [in an area such as this] to provide cellular communication.
Mary Strudeman	She asked when this would be built.
Claire Blunk (VZN)	She said construction is aimed to start in January 2018.
Mare Strudeman	Are there other possibilities?
Claire Blunk	We looked elsewhere. There was no other feasible location. Our preference is to place antennas on existing buildings. She related that when she drove through the area, she asked a University employee about cellular antennas in the area. She said the employee directed her to the parking garage and that even though she is in the business of developing cellular sites, she could not see the antennas at the parking garage. She explained that the southwest tower is the best location because any other location at the garage would have reduced available parking spaces which was not an option acceptable to the University. She also said Verizon will be paying a lot of money to upgrade the side of the T-Mobile facility to achieve the consistent look that the Village requested.
Mary Strudeman	It doesn't look that attractive from my window.

Ed Burke	Are there others [cellular providers] who want to come here?
Dr. Witte	We initially had an agreement with Sprint to locate on the southwest tower, but Sprint backed out. He stated he does not know if the University could accommodate Sprint if it came now to the University.
Mary Strudeman	Are there plans to consider doing more?
Dr. Witte	If Sprint called, we would probably look at the other end. But, we cannot keep going up. People in the Village want improved Verizon coverage.
Mary Strudeman	Do people want more?
Dr. Witte	We would probably go to another corner.
Mary Strudeman	I think the extra ten feet is pretty obstructive.
Calvin Gray	1120 Thomas, Oak Park. Is there any blockage with this?
Claire Blunk	There will not be any interference between Verizon and the other carriers. All use different frequencies.
Mary Strudeman	When does this project go to the Village?
Dr. Witte	In a couple of weeks, we will have a pre-filing conference with the Development Review Board. There will be a hearing, probably in June.
Glen Steiner	There will be another notice to all the neighbors when that happens.
Lisa Scheiner (VRF)	She explained the Village approval process consisting of a series of hearings with at least two more notices to residents of those meetings. After the DRB hearing, the matter will go to the Village Board, also with notice to the neighbors.
Glen Steiner	You will get another letter.

The meeting concluded at approximately 7:45 p.m.

The sign in sheet showing six people from the neighborhood in attendance and the Speaker List are attached with these notes.

**b. Evidence of Proper Notice of Residents Meeting**

The mailing list of property owners used for the announcement of the neighborhood meeting was prepared by Property Insight, LLC., 400 S. Jefferson, Chicago, IL 60607, based upon the specifications in the ordinance to notify owners of record of properties within the radius specified in the Village Code. Village officials approved the mailing list after known corrections and additions were made.

The required notice was sent to approximately 663 addresses. A copy of the Notice, mailing list, and certificate of mailing follow this page.

On May 22, 2018 the University sent a second letter to those who received the Notice of the neighbor meeting to advise them that the University is filing this Application and that the University anticipates the Village would notify them of the hearing dates. A copy of this letter is attached.

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## NOTICE OF NEIGHBOR MEETING

NOTICE IS HEREBY GIVEN THAT Concordia University intends to file a petition with the Village of River Forest to receive all necessary approvals for the addition of Verizon cellular service facilities to the parking garage along Bonnie Brae Place. The proposed addition of cellular service will add approximately ten feet of height to the stairwell at the southwest corner of the parking garage. The location is approximately near the northwest corner of Bonnie Brae and Thomas.

Pursuant to the direction of the Village of River Forest, a Neighbor Meeting will be held on **March 15, 2017, at 7:00 PM**, to discuss the proposed project. All interested parties are invited to attend the public meeting and will be given an opportunity to be heard.

\*Meeting Location: Concordia University Chicago  
Koehneke Community Center  
Oak Park Room – 2<sup>nd</sup> floor  
7400 Augusta Street  
River Forest, IL 60305

\*A Concordia University Campus map is on the reverse side of this Notice

Please call Glen Steiner at 708-209-3328 if you have any questions regarding this Notice.

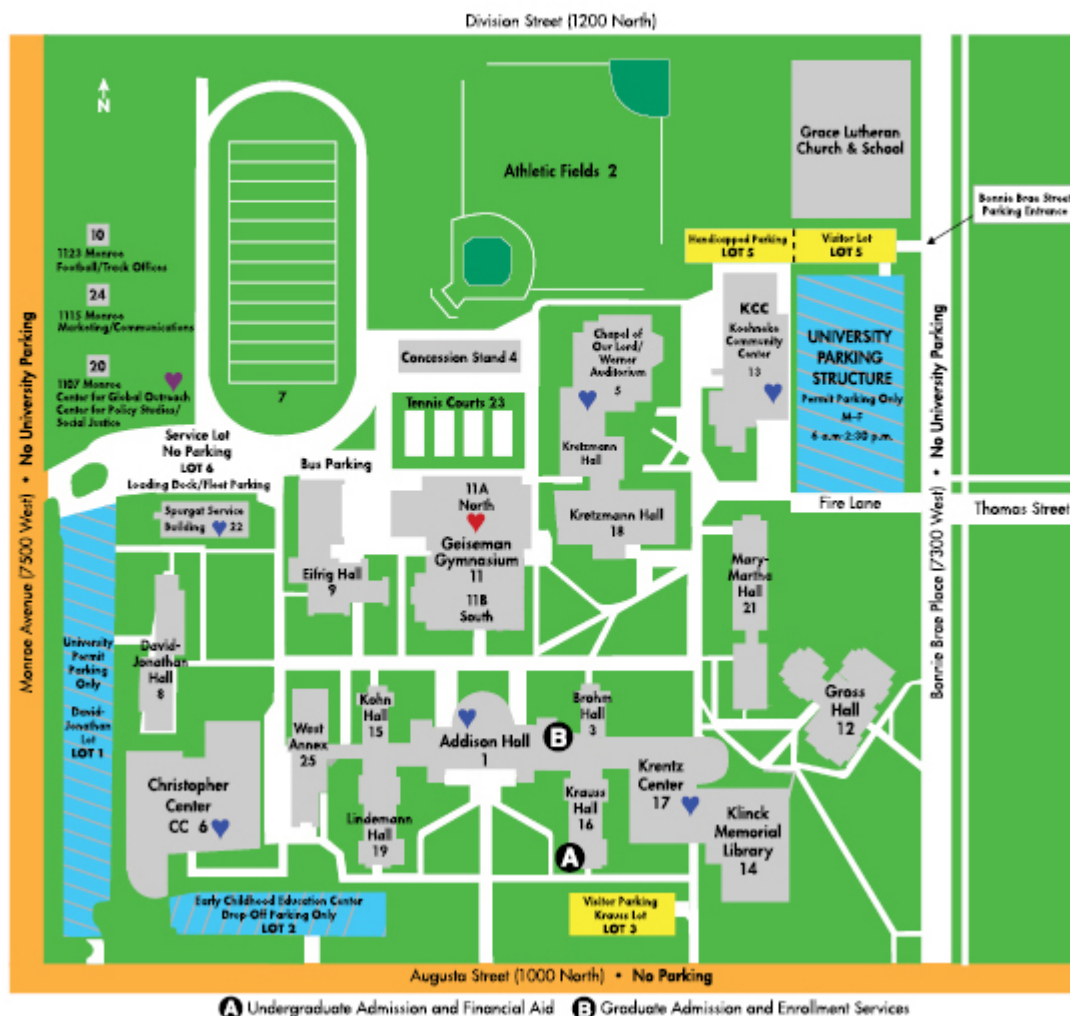
Thank you.

Concordia University

# Concordia University Chicago Campus Map

Main address: 7400 Augusta Street, River Forest, Illinois 60305-1499

Main phone: 708-771-8300 Website: CUChicago.edu



**PUBLIC NOTICE  
DEVELOPMENT REVIEW BOARD  
RIVER FOREST, ILLINOIS**

Public notice is hereby given that a Public Hearing will be held by the Development Review Board of the Village of River Forest, County of Cook, State of Illinois, on Thursday, June 21, 2018, at 7:30 p.m. in the Community Room of the River Forest Village Hall, 400 Park Ave., River Forest Illinois, on the following matters;

Application # 18-03: Application for Amendment to Planned Development. The Applicant proposes add cellular antennas behind stealth enclosures on the southwest and southeast corners of the parking garage.

The address of the property is 7400 Augusta, River Forest, IL 60305. A legal description of the property is provided on page 2 of this Notice.

The applicant is Concordia University Chicago, 7400 Augusta, River Forest, IL 60305.

All interested persons will be given the opportunity to be heard at the Public Hearing. A copy of the application will be available to the public at the Village Hall as of Wednesday, June 6, 2016, or online at [www.vrf.us](http://www.vrf.us).

Any questions regarding this project of the Planned Development process can be directed to:

Lisa Scheiner  
Assistant Village Administrator  
[lscheiner@vrf.us](mailto:lscheiner@vrf.us)  
(708) 714-3554.

If you cannot attend the Public Hearing but would like to provide comments to the Development Review Board, you may submit comments in writing, via letter or email, no later than Wednesday, June 20, 2018.

Concordia University Chicago



Glen Steiner  
Associate Vice President, Operations  
Concordia University Chicago



The legal description of the property is as follows:

BLOCKS 2, 3, 4, 5, 6, AND 7 IN BOGUE'S ADDITION TO OAK PART, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO THE 66-FOOT STRIP OF GROUND LYING BETWEEN SAID BLOCKS 3 AND 4 AND 5 AND 6, AFORESAID AND NORTH OF THE NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2 AND 3 AND BLOCKS 6 AND 7, AFORESAID NORTH OF SAID NORTH LINE OF AUGUSTA STREET AND SOUTH OF THE SOUTH LINE OF DIVISION STREET AND THE STRIP OF LAND AND ALL OF THAT PART OF THE STRIP OF GROUND, LYING BETWEEN BLOCKS 2, 3, AND 4 AND BLOCKS 5, 6, AND 7 AFORESAID AND WEST OF A LINE PARALLEL TO AND 435.00 FEET WEST OF THE WEST LINE OF HARLEM AVENUE, AS SHOWN ON THE PLAT OF BOGUE'S ADDITION, AFORESAID ALL SITUATED IN THE VILLAGE OF RIVER FOREST, OF COOK COUNTY, ILLINOIS EXCEPTING THEREFROM THE FOLLOWING TWO (2) DESCRIBED PARCELS OF REAL ESTATE:

1) A PARCEL OF GROUND, SAID PIECE OR PARCEL OF GROUND LOCATED ON THE SOUTHWEST CORNER OF DIVISION STREET AND BONNIE BRAE IN RIVER FOREST, COOK COUNTY ILLINOIS, FRONTING 200.00 FEET ON THE SOUTH SIDE OF DIVISION STREET AND 250.00 FEET ON THE WEST SIDE OF BONNIE BAE, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE LOT LINE WHERE DIVISION STREET AND BONNIE BRAE MEET AT THE SOUTHWEST CORNER OF THE INTERSECTION; THENCE SOUTH ALONG THE WEST LINE OF BONNIE BRAE TO A POINT 250.00 FEET SOUTH; THENCE WEST AND PARALLEL WITH THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET; THENCE NORTH AND PARALLEL WITH THE WEST LINE OF BONNIE BRAE, A DISTANCE OF 250.00 FEET TO THE SOUTH LINE OF DIVISION STREET; THENCE EAST ALONG THE SOUTH LINE OF DIVISION STREET, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING SITUATED IN BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12 EAST OF THE THIRD PRINCIPAL MERIDIAN; AND

2) THE EAST 200.00 FEET OF THE NORTH 200.00 FEET OF THE SOUTH 410 FEET OF BLOCK 7 OF BOGUE'S ADDITION TO OAK PARK, BEING A SUBDIVISION IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN.



CONCORDIA  
UNIVERSITY  
CHICAGO

7400 Augusta Street  
River Forest  
Illinois 60305-1499  
708-771-8300  
fax 708-209-3176  
[www.CUChicago.edu](http://www.CUChicago.edu)

### Certificate of Mailing Notice of Village Board Meeting

I, GLEN STEINER, Associate Vice President for Operations at Concordia University Chicago, certify that I caused the attached letter to be mailed to 663 property owners on the list provided to Village staff by causing the letters to be deposited postage paid, first class mail, in the mail box at the Oak Park postal substation at Concordia University, 7400 Augusta, River Forest, Illinois 60305, before the hour of four o'clock p.m. on May 22, 2018.

I further certify that the list of property owners is the same as the one previously prepared by Property Insight, and previously submitted to Village staff.

Dated: May 22, 2018

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Glen Steiner  
Associate Vice President for Operations  
Concordia University Chicago

15-01-215-013-0000  
Ms. Noreen Powers  
Trinity High School  
7574 Division St.  
River Forest, IL 60305

15-01-216-009-0000  
T R CUNNINGHAM  
1240 MONROE AV  
RIVER FOREST, IL 60305

15-01-216-010-0000  
VANKER  
1234 MONROE AVE  
RIVER FOREST, IL 60305

15-01-216-011-0000  
JOHN A MORRISSEY III  
1230 MONROE AVE  
RIVER FOREST, IL 60305

15-01-216-012-0000  
IWEI HUANG  
1224 MONROE AV  
RIVER FOREST, IL 60305

15-01-216-013-0000  
IWEI HUANG  
1224 MONROE AV  
RIVER FOREST, IL 60305

15-01-216-023-0000  
ROBERT J KELLY  
1220 MONROE AVE  
RIVER FOREST, IL 60305

15-01-216-026-0000  
CHRISTINE SHOW  
1200 MONORE AV  
RIVER FOREST, IL 60305

15-01-216-027-0000  
STEPHEN M GRVZLO  
1206 MONROE ST  
RIVER FOREST, IL 60305

15-01-216-037-0000  
WILLIAM J FUREY  
1201 JACKSON AV  
RIVER FOREST, IL 60305

15-01-216-038-0000  
LISA MOSS  
1227 JACKSON  
RIVER FOREST, IL 60305

15-01-216-039-0000  
TIM MONICA MACNAMARA  
1223 JACKSON AV  
RIVER FOREST, IL 60305

15-01-216-040-0000  
DR ANGEL GALVEZ  
1219 JACKSON AV  
RIVER FOREST, IL 60305

15-01-216-041-0000  
WENDY GALLERY  
1215 JACKSON  
RIVER FOREST, IL 60305

15-01-216-042-0000  
ANA JOHN BARUN  
1207 N JACKSON  
RIVER FOREST, IL 60305

15-01-216-043-0000  
STEVEN V NAPOLITANO  
1212 N MONROE  
RIVER FOREST, IL 60305

15-01-217-002-0000  
NICHOLAS VANDERSCHIE  
1241 MONROE  
RIVER FOREST, IL 60305

15-01-217-003-0000  
NICHOLAS VANDERSCHIE  
1241 MONROE  
RIVER FOREST, IL 60305

15-01-217-004-0000  
ASKOLD L KOZBUR  
1235 MONROE AV  
RIVER FOREST, IL 60305

15-01-217-005-0000  
CHARLES LUCCHESI  
1231 MONROE  
RIVER FOREST, IL 60305

15-01-217-006-0000  
JOSEPH J DWYER  
1225 MONROE  
RIVER FOREST, IL 60305

15-01-217-007-0000  
MATTHEW C MENEZES  
1221 MONROE AVE 1  
RIVER FOREST, IL 60305

15-01-217-008-0000  
KARMALI  
1215 MONROE AVE  
RIVER FOREST, IL 60305

15-01-217-009-0000  
BRIAN LINDA PROCTOR  
1211 MONROE ST  
RIVER FOREST, IL 60305

15-01-217-010-0000  
JOHN H ANDERSEN  
1205 MONROE AV  
RIVER FOREST, IL 60305

15-01-217-012-0000  
JOSE A L ARRUDA  
1240 WILLIAMS ST  
RIVER FOREST, IL 60305

15-01-217-013-0000  
DAVID R BERNI  
1232 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-217-014-0000  
J M DAGOSTINO  
1226 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-217-015-0000  
WILLIAM T SMITH  
1220 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-217-016-0000  
JUSTIN STEINBERG  
1216 WILLIAM ST  
RIVER FOREST, IL 60305



15-01-217-017-0000  
JAMES P CAGNINA JR  
1210 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-217-018-0000  
THOMAS E PROTHERO  
1202 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-218-005-0000  
River Forest Park District  
401 Thatcher Ave.  
River Forest, IL 60305

15-01-218-006-0000  
River Forest Park District  
401 Thatcher Ave.  
River Forest, IL 60305

15-01-218-007-0000  
River Forest Park District  
401 Thatcher Ave.  
River Forest, IL 60305

15-01-218-008-0000  
River Forest Park District  
401 Thatcher Ave.  
River Forest, IL 60305

15-01-218-009-0000  
River Forest Park District  
401 Thatcher Ave.  
River Forest, IL 60305

15-01-220-012-0000  
CATHERINE M ADDUCI  
1227 WILLIAM STREET  
RIVER FOREST, IL 60305

15-01-220-013-0000  
MATTHEW SORRENTINO  
1221 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-220-014-0000  
MICHAEL HUGAR  
1217 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-220-015-0000  
DAVID MARY CHEN  
1211 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-220-016-0000  
J LEEF T MCKENZIE  
1201 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-220-019-0000  
PETER DEIRDRE LIES  
1231 WILLIAMS ST  
RIVER FOREST, IL 60305

15-01-220-020-0000  
MATT JANSEN  
1255 N WILLIAM ST  
RIVER FOREST, IL 60305

15-01-400-009-0000  
COLUMBUS FAM TRUST  
8383 WILSHIRE BLVD#500  
BEVERLY HILLS, CA 90211

15-01-400-010-0000  
MICHAEL S PETROS  
1140 JACKSON AV  
RIVER FOREST, IL 60305

15-01-400-011-0000  
BRIAN M LISTON  
1134 N JACKSON AV  
RIVER FOREST, IL 60305

15-01-400-012-0000  
SYED M AHMED  
1130 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-400-013-0000  
BARRY BAUMAN  
1122 N JACKSON AV  
RIVER FOREST, IL 60305

15-01-400-014-0000  
JEFFREY BERNARD  
1114 JACKSON  
RIVER FOREST, IL 60305

15-01-400-015-0000  
J K OGUNKEYE  
1110 JACKSON  
RIVER FOREST, IL 60305

15-01-400-016-0000  
CARMELO A SCALZO  
1106 W JACKSON  
RIVER FOREST, IL 60305

15-01-400-017-0000  
PHILIP A MARCUS  
1102 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-401-001-0000  
CURTIS PINNELL TRSTEE  
20 N WACKER 2800  
CHICAGO, IL 60606

15-01-401-002-0000  
WILLIAM GLEASON  
1143 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-401-003-0000  
COLIN MARY FITT  
1139 JACKSON  
RIVERFOREST, IL 60305

15-01-401-004-0000  
CHRISTOPHER M MACKIE  
1133 JACKSON  
RIVER FOREST, IL 60305

15-01-401-005-0000  
LAWRENCE C VOGEL  
1127 JACKSON AV  
RIVER FOREST, IL 60305

15-01-401-006-0000  
R TUCCI L CALABRESE  
1119 N JACKSON AV  
RIVER FOREST, IL 60305

15-01-401-007-0000  
BURTON KATHLEEN KLEI  
1115 JACKSON  
RIVER FOREST, IL 60305

15-01-401-008-0000  
TIMOTHY SHEAHAN  
1107 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-401-009-0000  
TERRENCE J DONLIN  
1101 JACKSON AV  
RIVER FOREST, IL 60305

15-01-401-010-0000  
DERK VALERIE SMART  
1146 MONROE AV  
RIVER FOREST, IL 60305

15-01-401-011-0000  
DIANE L MUSTAIN  
1142 MONROE AV  
RIVER FOREST, IL 60305

15-01-401-012-0000  
CHRISTOPHER B LYNN  
1136 MONROE AVE  
RIVER FOREST, IL 60305

15-01-401-013-0000  
JAMES C VECCHIO  
1130 MONROE  
RIVER FOREST, IL 60305

15-01-401-014-0000  
KRISTEN BRIAN VITALE  
1126 MONROE AVENUE  
RIVER FOREST, IL 60305

15-01-401-015-0000  
THOMAS B QUINN  
1122 MONROE AV  
RIVER FOREST, IL 60305

15-01-401-016-0000  
BERARDINO ORFEI  
1118 MONROE AV  
RIVER FOREST, IL 60305

15-01-401-017-0000  
SALVADOR AMIE GAMINO  
1112 MONROE AV  
RIVER FOREST, IL 60305

15-01-401-018-0000  
EDWARD MARISA GREEN  
1106 MONROE  
RIVER FOREST, IL 60305

15-01-401-019-0000  
MARK KATHERINE BUTTE  
1102 MONROE  
RIVER FOREST, IL 60305

15-01-402-002-0000  
Rev. David Lyle  
Grace Lutheran Church  
7300 Division St.  
River Forest, IL 60305

15-01-402-003-0000  
James McClanahan  
Grace Lutheran Church  
7300 Division St.  
River Forest, IL 60305

15-01-403-001-0000  
GRACE EVAN. LUTH. CH.  
7300 W DIVISION ST  
RIVER FOREST, IL 60305

15-01-403-012-0000  
CST TAX DEPT 23852  
PO BOX 711  
DALLAS, TX 75221

15-01-403-013-0000  
GRACE LUTHERAN CHURCH  
7300 DIVISION ST  
RIVER FOREST, IL 60305

15-01-403-015-0000  
BBD LLC ATTN DG WATTS  
1018 ASHLAND AVE  
RIVER FOREST, IL 60305

15-01-403-016-0000  
BBD LLC ATTN DG WATTS  
1018 ASHLAND AVE  
RIVER FOREST, IL 60305

15-01-403-017-0000  
ENRIQUE SALGADO  
1119 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-403-018-0000  
PKN REAL ESTATE INVEST  
1020 N HARLEM AVE #3B  
RIVER FOREST, IL 60305

15-01-403-019-0000  
BONNIE BRAE CONSTRUCTI  
3528 WALNUT AVE  
WILMETTE, IL 60091

15-01-403-020-0000  
BONNIE BRAE CONSTRUCTI  
3528 WALNUT AVE  
WILMETTE, IL 60091

15-01-403-021-0000  
BONNIE BRAE CONSTRUCTI  
3528 WALNUT AVE  
WILMETTE, IL 60091

15-01-403-022-0000  
DANIEL J BROWN  
4 OAK BROOK CLUB G107  
OAK BROOK, IL 60523

15-01-403-032-0000  
JEFFREY SARABIA  
1122 N HARLEM #D  
RIVER FOREST, IL 60305

15-01-403-033-0000  
CAROLINE MAHIC  
1122 N HARLEM #C  
RIVER FOREST, IL 60305

15-01-403-034-0000  
KURT STADWALD  
1122B N HARLEM AV  
RIVER FOREST, IL 60305

15-01-403-035-0000  
MIKE NELSON  
1122 N HARLEM APT 2  
RIVER FOREST, IL 60305

15-01-403-038-0000  
LEMAR KIMBALL LLC  
1535 FOREST 302  
RIVER FOREST, IL 60305

15-01-403-041-0000  
ALLAN B PALL  
1118 N HARLEM AVE #C  
RIVER FOREST, IL 60305

15-01-403-042-0000  
JUDY A KAVANAUGH  
1118 N HARLEM AV B  
RIVER FOREST, IL 60305

15-01-403-043-0000  
VERONICA R OTTENHEIMER  
1118 N HARLEM AVE #A  
RIVER FOREST, IL 60305

15-01-216-001-0000  
Eric Palm  
Village of River Forest  
400 Park Ave.  
River Forest, IL 60305

15-01-403-044-1001  
EDWARD HANRAHAN  
1131 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-403-044-1002  
MARY ALICE DACOSSE  
1129 BONNIE BRAE 1S  
RIVER FOREST, IL 60305

15-01-403-044-1003  
PETERS  
1131 BONNIE BRAE PL#2N  
RIVER FOREST, IL 60305

15-01-403-044-1004  
SUSAN GIORANGO  
1129 N BONNIE BRAE 2S  
RIVER FOREST, IL 60305

15-01-403-044-1005  
EMILY D KOSMAL  
1131 BONNIE BRAE PL 3N  
RIVER FOREST, IL 60305

15-01-403-044-1006  
M ABBATE S ABBATE  
1129 BONNIE BRAE 3S  
RIVER FOREST, IL 60305

15-01-403-044-1007  
PETERS  
1131 BONNIE BRAE PL#2N  
RIVER FOREST, IL 60305

15-01-403-044-1008  
M ABBATE S ABBATE  
1129 BONNIE BRAE 3S  
RIVER FOREST, IL 60305

15-01-403-044-1009  
MARY ALICE DACOSSE  
1129 BONNIE BRAE 1S  
RIVER FOREST, IL 60305

15-01-403-044-1010  
SUSAN W GIORGANGO  
1129 N BONNIE BRAE 2S  
RIVER FOREST, IL 60305

15-01-403-044-1011  
EMILY D KOSMAL  
1131 BONNIE BRAE PL 3N  
RIVER FOREST, IL 60305

15-01-403-045-1001  
ADAM WEST  
1100 N HARLEM AVE APTG  
RIVERFOREST, IL 60305

15-01-403-045-1002  
P D MCGARRY  
1100 N HARLEM 1  
RIVER FOREST, IL 60305

15-01-403-045-1003  
STEVEN SCHWARTZ  
1100 N HARLEM AV 2  
RIVER FOREST, IL 60305

15-01-403-045-1004  
YOU HONG CHENG L SUN  
1100 HARLEM 3D  
RIVER FOREST, IL 60305

15-01-403-045-1005  
DEBRA WILSON  
1102 N HARLEM AVE #G  
RIVER FOREST, IL 60305

15-01-403-045-1006  
VICKY POWELL  
1102 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-403-045-1007  
JEFFREY A LYNCH  
2116 N NORDICA AVE  
CHICAGO, IL 60707

15-01-403-045-1008  
VICTORIA M TUFANO  
1102 N HARLEM 3  
RIVER FOREST, IL 60305

15-01-403-045-1009  
KATHLEEN MULVEY  
1104 N HARLEM AVE 1  
RIVER FOREST, IL 60305

15-01-403-045-1010  
CZESLAW CHLEBEK  
1151 S TAYLOR AVE  
OAK PARK, IL 60304

15-01-403-045-1011  
JOSE TAMAYO  
1104 N HARLEM #3  
RIVER FOREST, IL 60305

15-01-403-045-1012  
LESTER ALICE RICHMOND  
1106 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-403-045-1013  
GWENDOLYN MOTON  
707 N HAYES AVE  
OAK PARK, IL 60302

15-01-403-045-1014  
STEVEN G FERRIER  
1106 N HARLEM AVE #3  
RIVER FOREST, IL 60305



15-01-403-045-1015  
SUZANNE F BRENNAN  
1108 N HARLEM AV #1  
RIVER FOREST, IL 60305

15-01-403-045-1016  
JOHN R KOCH  
1624 HIGHRIDGE PKWY  
WESTCHESTER, IL 60154

15-01-403-045-1017  
ALFREDO RIVERA  
1909 N 72ND CT  
ELMWOOD PARK, IL 60707

15-01-403-045-1018  
JOSEPH C SCHAK  
1622 N 75TH AVE  
ELMWOOD PARK, IL 60707

15-01-403-045-1019  
JASON A SHERMAN  
427 N HARVEY AVE  
OAK PARK, IL 60302

15-01-403-045-1020  
MICHAEL JUNES  
2313 SOUTH 16TH AVENUE  
BROADVIEW, IL 60155

15-01-403-045-1021  
THOMAS MICHAEL NISBET  
1112 N HARLEM AVE G  
RIVER FOREST, IL 60305

15-01-403-045-1022  
LESHONDA S HOWARD  
1112 N HARLEM 1  
RIVER FOREST, IL 60305

15-01-403-045-1023  
MICHAEL STURDIVANT  
1112 N HARLEM #2  
RIVER FOREST, IL 60305

15-01-403-045-1024  
EDMUND V PADLECKAS  
1285 LILY LN  
CAROL STREAM, IL 60188

15-01-403-045-1025  
CYNTHIA E GORDON  
1114 N HARLEM GAR  
RIVER FOREST, IL 0

15-01-403-045-1026  
JEROME DAVIS  
1114 N HARLEM AV #1  
RIVER FOREST, IL 60305

15-01-403-045-1027  
SERGIO VELEZ  
1114 N HARLEM AVE 2  
RIVER FOREST, IL 60305

15-01-403-045-1028  
KATE BURCH  
1114 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-403-046-1001  
KRISTEN KOPP  
7209 W DIVISION A1  
RIVER FOREST, IL 60305

15-01-403-046-1002  
BARBARA BUTZEN  
7209 DIVISION ST A2  
RIVER FOREST, IL 60305

15-01-403-046-1003  
F TUNGOL R SONON  
7209 W DIVISION A3  
RIVER FOREST, IL 60305

15-01-403-046-1004  
MARIA E ROSA  
5201 S INGLESIDE AVE  
CHICAGO, IL 60615

15-01-403-046-1005  
JOSEPHINE ELAMO  
7209 DIVISION ST B2  
RIVER FOREST, IL 60305

15-01-403-046-1006  
ANDREA KRZAK  
7209 W DIVISION ST 3B  
RIVER FOREST, IL 60305

15-01-403-046-1007  
HEATHER M OLEKSY  
7211 W DIVISION ST 1C  
RIVER FOREST, IL 60305

15-01-403-046-1008  
VICTOR HOWARD MOORE  
7211 W DIVISION #2C  
RIVER FOREST, IL 60305

15-01-403-046-1009  
NORMA SHERBONDY  
7211 W DIVISION 3C  
RIVER FOREST, IL 60305

15-01-403-046-1010  
GREGORY REPOSH  
7977 LAKE ST  
RIVER FOREST, IL 60305

15-01-403-046-1011  
STEPHANIE JEFFERSON  
7211 DIVISION 2D  
RIVER FOREST, IL 60305

15-01-403-046-1012  
ALZY POWELL  
7209 DIVISION #B1  
RIVER FOREST, IL 60305

15-01-403-046-1013  
BARBARA BUTZEN  
7209 DIVISION ST A2  
RIVER FOREST, IL 60305

15-01-403-046-1014  
STEPHANIE JEFFERSON  
7211 DIVISION 2D  
RIVER FOREST, IL 60305

15-01-403-046-1015  
F TUNGOL R SONON  
7209 W DIVISION 3A  
RIVER FOREST, IL 60305

15-01-403-046-1016  
GREGORY REPOSH  
7977 LAKE ST  
RIVER FOREST, IL 60305

15-01-403-046-1017  
TAXPAYER OF  
7219 DIVISION ST PK6  
RIVER FOREST, IL 0

15-01-403-046-1018  
Y J CALLOWAY  
7209 W DIVISION AVE 3B  
RIVER FOREST, IL 60305

15-01-403-047-1001  
CASE HOOGENDOORN TTEE  
122 S MICHIGAN AVE  
CHICAGO, IL 60603

15-01-403-047-1002  
LUIS G DEFRAGA  
151 N HUMPHREY  
OAK PARK, IL 60302

15-01-403-047-1003  
TAXPAYER OF  
7221 W DIVISION ST  
RIVER FOREST, IL 60305

15-01-403-047-1004  
MICHAEL TRANKINA  
7221 W DIVISION ST #4  
RIVER FOREST, IL 60305

15-01-403-047-1005  
DOUG MCGOLDRICK  
7221 W DIVISION ST #5  
RIVER FOREST, IL 60305

15-01-403-047-1006  
LEE M FORREST  
7221 DIVISION ST  
RIVER FOREST, IL 60305

15-01-403-047-1007  
LUIS G DEFRAGA  
151 N HUMPHREY  
OAK PARK, IL 60302

15-01-403-047-1008  
DONALD L KVIZ  
2340 S KENILWORTH  
BERWYN, IL 60402

15-01-403-047-1009  
BARBARA CROOM  
7221 W DIVISION #9  
RIVER FOREST, IL 60305

15-01-403-047-1010  
ELZBIETA KOLEBACZ  
7221 W DIVISION 10  
RIVER FOREST, IL 60305

15-01-403-047-1011  
DONALD L KVIZ  
2340 S KENILWORTH  
BERWYN, IL 60402

15-01-403-047-1012  
BARBARA CROOM  
7221 W DIVISION #9  
RIVER FOREST, IL 60305

15-01-403-047-1013  
MICHAEL TRANKINA  
7221 W DIVISION ST #4  
RIVER FOREST, IL 60305

15-01-403-047-1014  
LEE M FORREST  
7221 DIVISON ST  
RIVER FOREST, IL 60305

15-01-403-047-1015  
DONALD A RINNAN  
122 S MICHIGAN #1220  
CHICAGO, IL 60603

15-01-403-048-1001  
TIFFANY L JONES  
7213 W DIVISION #1  
RIVER FOREST, IL 60305

15-01-403-048-1002  
TERESA ANDRADE  
7213 DIVISION ST #2B  
RIVER FOREST, IL 60305

15-01-403-048-1003  
FAREESA G KHAN  
15316 NOONING TR CT  
CHESTERFIELD, MO 63017

15-01-403-048-1004  
SEAN T OLIS  
7213 W DIVISION 4  
RIVER FOREST, IL 60305

15-01-403-048-1005  
MARTIN BECKER  
7213 W DIVISION ST  
RIVER FOREST, IL 60305

15-01-403-048-1006  
HAZARIAN UNLUSOY  
7213 W DIVISION #6  
RIVER FOREST, IL 60305

15-01-403-048-1007  
ANDREW GORDON DUKE  
7213 W DIVISION 7  
RIVER FOREST, IL 60305

15-01-403-048-1008  
ROSEMARY CAMILLERI  
7213 W DIVISION ST 8  
RIVER FOREST, IL 60305

15-01-403-048-1009  
STEVEN MCMAHON ZELLER  
922 COLUMBIAN AVE  
OAK PARK, IL 60302

15-01-406-013-0000  
Rabbi Adir Glick  
Temple Har Zion  
1040 Harlem Ave.  
River Forest, IL 60305

15-01-403-049-1001  
ELSA E OROZCO  
1124 N HARLEM AV UNITA  
RIVER FOREST, IL 60305

15-01-403-049-1002  
DONNA WESTBROOK  
1124 N HARLEM AV #B  
RIVER FOREST, IL 60305

15-01-403-049-1003  
MAIDALIZ MARRERO  
1124 N HARLEM AVE C  
RIVER FOREST, IL 60305

15-01-403-049-1004  
T HILL  
1126 N HARLEM A  
RIVER FOREST, IL 60305

15-01-403-049-1005  
JENNIFER L KEMP  
1126 N HARLEM B  
RIVER FOREST, IL 60305

15-01-403-049-1006  
EDDY PIERRE  
1126 N HARLEM APT C  
RIVER FOREST, IL 60305

15-01-403-049-1007  
DELFINA CERVANTES  
1128 N HARLEM AV #A  
RIVER FOREST, IL 60305

15-01-403-049-1008  
MYRON RUSSELL  
1128 N HARLEM AVE B  
RIVER FOREST, IL 60305

15-01-403-049-1009  
RONALD A DAVIS  
1128 N HARLEM AVE #C  
RIVER FOREST, IL 60305

15-01-403-049-1010  
CHITRAKAR PATHAK  
1130 N HARLEM A  
RIVER FOREST, IL 60305

15-01-403-049-1011  
CONSTANCE J STRAIT  
1130 N HARLEM AVE #B  
RIVER FOREST, IL 60305

15-01-403-049-1012  
RONALD J MALIK  
1130 HARLEM AV #C  
RIVER FOREST, IL 60305

15-01-404-007-0000  
GREGORY W CAPPELLI  
1046 JACKSON AVE  
RIVERFOREST, IL 60305

15-01-404-008-0000  
GREGORY CAPPELLI  
1046 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-404-009-0000  
B DRAB  
1030 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-404-010-0000  
B ALEXANDRA CHARBEL  
1020 JACKSON AV  
RIVER FOREST, IL 60305

15-01-404-011-0000  
C M WELDON LINNE  
1014 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-404-012-0000  
GEORGE W SPELLMIRE  
7500 AUGUSTA ST  
RIVER FOREST, IL 60305

15-01-405-001-0000  
MATTHEW LISA CAROLAN  
1041 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-405-002-0000  
RICHARD J DEOGRACIAS  
1045 JACKSON AVENUE  
RIVER FRST, IL 60305

15-01-405-003-0000  
ANN LATZ DUNBAR TRUST  
1035 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-405-004-0000  
PAUL L BRENNAN  
1031 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-005-0000  
ROANLD A STEELE  
1025 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-006-0000  
PRADEEP RATTAN  
1019 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-007-0000  
MICHAEL REANEY  
1015 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-008-0000  
ROSS FASANO  
1009 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-009-0000  
MARC KIESELSTEIN  
1001 JACKSON AV  
RIVER FOREST, IL 60305

15-01-405-010-0000  
GARY M MART  
1046 N MONROE AVE  
RIVER FOREST, IL 60305

15-01-405-011-0000  
SAMUEL J TARARA  
1040 MONROE AVE  
RIVER FOREST, IL 60305



15-01-405-012-0000  
JORGE A PEREZ  
1034 MONROE AVE  
RIVER FOREST, IL 60305

15-01-405-013-0000  
MARTIRE  
1028 N MONROE  
RIVER FOREST, IL 60305

15-01-405-014-0000  
TIMOTHY ANNA DALY  
1024 MONROE  
RIVER FOREST, IL 60305

15-01-405-015-0000  
SCOTT HALL  
1012 MONROE AVE  
RIVER FOREST, IL 60305

15-01-405-016-0000  
MICHAEL PRITZ  
1006 MONROE AV  
RIVER FOREST, IL 60305

15-01-405-017-0000  
JEFF CAPPEL  
1002 MONROE AV  
RIVER FOREST, IL 60305

15-01-405-018-0000  
HARRY M RICHTER  
1020 MONROE  
RIVER FOREST, IL 60305

15-01-406-004-0000  
R C MILLER  
1025 BONNIE BRAE PLACE  
RIVER FOREST, IL 60305

15-01-406-006-0000  
ALEX J JULIA MORELLI  
1019 N BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-010-0000  
Rabbi Adir Glick  
Temple Har Zion  
1040 Harlem Ave.  
River Forest, IL 60305

15-01-406-011-0000  
Rabbi Adir Glick  
Temple Har Zion  
1040 Harlem Ave.  
River Forest, IL 60305

15-01-406-012-0000  
Rabbi Adir Glick  
Temple Har Zion  
1040 Harlem Ave.  
River Forest, IL 60305

15-01-406-019-0000  
DOUGLAS L WINCHELL  
1002 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-406-022-0000  
BONNIE BRAE DEV. L.L.C  
1115-1127 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-024-0000  
BBD LLC ATTN DG WATTS  
1018 ASHLAND AVE  
RIVER FOREST, IL 60305

15-01-406-026-1001  
G R MASON R BONE  
1009 BONNIE BRAE #1B  
RIVER FOREST, IL 60305

15-01-406-026-1002  
T C DUNIGAN  
1009 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1003  
J RICHARD CAREY  
1005 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1004  
KENNEDY STEPHEN R  
1005 BONNIE BRAE #1E  
RIVER FOREST, IL 60305

15-01-406-026-1005  
PATRICIA A HUEBNER  
1005 BONNIE BRAE #1F  
RIVER FOREST, IL 60305

15-01-406-026-1006  
PHILIP M GORDON  
1005 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1007  
K QUAID T FARRELL  
1009 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1008  
GEORGE L STEWART JR  
1009 BONNIE BRAE PL 2A  
RIVER FOREST, IL 60305

15-01-406-026-1009  
EMIL A BAUMBACH JR  
1009 N BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1010  
EUGENE SULLIVAN  
1009 BONNIE BRAE #2C  
RIVER FOREST, IL 60305

15-01-406-026-1011  
LOUISE A SUMNARSKI  
1005 BONNIE BRAE #2D  
RIVER FOREST, IL 60305

15-01-406-026-1012  
HARRY M PETERSON JR  
1005 BONNIE BRAE 2E  
RIVER FOREST, IL 60305

15-01-406-026-1013  
RUTH CARROLL  
1005 BONNIE BRAE 2F  
RIVER FOREST, IL 60305

15-01-406-026-1014  
ZORA ZIVKOVIC  
1005 BONNIE BRAE #2G  
RIVER FOREST, IL 60305

15-01-406-026-1015  
ED MARYALYCE BURKE  
1009 BONNIE BRAE 3A  
RIVER FOREST, IL 60305

15-01-406-026-1016  
MANUEL C IGLESIAS  
1009 BONNIE BRAE 3B  
RIVER FOREST, IL 60305

15-01-406-026-1017  
LEROY NANCY ROSASCO  
1009 BONNIE BRAE PL 3C  
RIVER FOREST, IL 60305

15-01-406-026-1018  
ALLISON L BURDICK  
1005 BONNIE BRAE 3D  
RIVER FOREST, IL 60305

15-01-406-026-1019  
KATIE NEWSHAM  
1005 BONNIE BRAE #3E  
RIVER FOREST, IL 60305

15-01-406-026-1020  
EBRAHIM AMIR MOKRI  
1005 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-406-026-1021  
MINA AMIR MOKRI  
1005 BONNIE BRAE #3G  
RIVER FOREST, IL 60305

15-01-406-026-1022  
K A MURPHY  
1009 BONNIE BRAE PL 4A  
RIVER FOREST, IL 60305

15-01-406-026-1023  
MAURICE FARHI MD  
7010 W NORTH AVENUE  
CHICAGO, IL 60707

15-01-406-026-1024  
MARCELLE FARHI  
1009 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1025  
CTLTC  
1005 BONNIE BRAE 4D  
RIVER FOREST, IL 60305

15-01-406-026-1026  
PATRICIA M LAPPE  
1005 BONNIE BRAE 4E  
RIVER FOREST, IL 60305

15-01-406-026-1027  
LYNNE J HORWICH  
1005 BONNIE BRAE PL#4F  
RIVER FOREST, IL 60305

15-01-406-026-1028  
NANCY B MCGURN  
1005 BONNIE BRAE 4G  
RIVER FOREST, IL 60305

15-01-406-026-1029  
JOAN B WOJCIK  
1009 BONNIE BRAE 5A  
RIVER FOREST, IL 60305

15-01-406-026-1030  
CHARLES R WINKLER  
1009 BONNIE BRAE #5B  
RIVER FOREST, IL 60305

15-01-406-026-1031  
SELMA BELAJEC  
1009 BONNIE BRAE #5C  
RIVER FOREST, IL 60305

15-01-406-026-1032  
BRIAN P SULLIVAN  
152 PARK DR  
BAL HARBOUR, FL 33154

15-01-406-026-1033  
MAUREEN BARNICLE  
1005 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-026-1034  
FIFTH THIRD BK DARLEY  
PO BOX 13519  
ARLINGTON, TX 76094

15-01-406-026-1035  
NANCY C MAY  
1005 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-027-0000  
DENIS AZABAGIC  
1031 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-406-028-0000  
TAX PAYER OF  
1029 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-029-1001  
JUDITH WOLF  
1010 N HARLEM AVE #201  
RIVER FOREST, IL 60305

15-01-406-029-1002  
LORI OCONNOR  
1010 N HARLEM 202  
RIVER FOREST, IL 60305

15-01-406-029-1003  
ROBERT NAVARRO  
1010 N HARLEM #203  
RIVER FOREST, IL 60305

15-01-406-029-1004  
THOMAS F LINT  
1010 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-029-1005  
NANCY GOOD  
1010 N HARLEM APT 205  
RIVER FOREST, IL 60305

15-01-406-029-1006  
MARK MICHELLE MARTIN  
1010 N HARLEM #301  
RIVER FOREST, IL 60305

15-01-406-029-1007  
LUIS MARIA REYES  
1010 N HARLEM #302  
RIVER FOREST, IL 60305

15-01-406-029-1008  
EVELYN MENSAH  
1010 N HARLEM #303  
RIVER FOREST, IL 60305

15-01-406-029-1009  
D ADAMS M MCENERY  
1010 N HARLEM 304  
RIVER FOREST, IL 60305

15-01-406-029-1010  
ZONICE GREGORY  
110 N KENILWORTH AVE4A  
OAK PARK, IL 60301

15-01-406-029-1011  
MARGARET M KRAFT  
1010 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-406-029-1012  
DIANE COLLETTI  
1010 N HARLEM AVE 402  
RIVER FOREST, IL 60305

15-01-406-029-1013  
JUANITA J LECRONE  
1010 N HARLME AVE #403  
RIVER FOREST, IL 60305

15-01-406-029-1014  
KATHLEEN POLK  
1010 N HARLEM AVE 404  
RIVER FOREST, IL 60305

15-01-406-029-1015  
PAUL MARY BOWMAN  
1010 N HARLEM 405  
RIVER FOREST, IL 60305

15-01-406-029-1016  
HAROLEON CROSS  
1010 N HARLEM AVE 501  
RIVER FOREST, IL 60305

15-01-406-029-1017  
JOHN R MULDOON  
1010 N HARLEM UNIT 502  
RIVER FOREST, IL 60305

15-01-406-029-1018  
ENRIQUE IBARRA  
1010 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-029-1019  
MARIE J ROACH  
1010 HARLEM AV #504  
RIVER FOREST, IL 60305

15-01-406-029-1020  
MARY E HALPIN  
1010 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-031-0000  
LEO BARANOWSKI  
1023 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-406-032-1001  
TAXPAYER OF  
1020 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-032-1002  
ROOHI SHAMSAI  
1020 N HARLEM AV 1B  
RIVER FOREST, IL 60305

15-01-406-032-1003  
GAIL M POPOWITS  
1020 N HARLEM AV 1C  
RIVER FOREST, IL 60305

15-01-406-032-1004  
PATRICIA PARKER  
1020 N HARLEM AV 1D  
RIVER FOREST, IL 60305

15-01-406-032-1005  
BROTMAN MONIQUE M  
1020 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-032-1006  
1 MIDWEST BANK 86 4948  
218 W MAIN ST  
WEST DUNDEE, IL 60118

15-01-406-032-1007  
CYRUS MOKRY  
1020 N HARLEM AV A2  
RIVER FOREST, IL 60305

15-01-406-032-1008  
GARY MANCUSO  
1020 N HARLEM  
RIVER FOREST, IL 60305

15-01-406-032-1009  
HENRY KLEMPPEL  
1020 N HARLEM AVE #2C  
RIVER FOREST, IL 60305

15-01-406-032-1010  
KEN LORETTA WRIGHT  
1020 HARLEM AV #2D  
RIVER FOREST, IL 60305

15-01-406-032-1011  
ALEJANDRO HORNIK  
1020 NORTH HARLEM AVE  
RIVER FOREST, IL 60305

15-01-406-032-1012  
EVELYN C FINEGAN  
1020 N HARLEM  
RIVER FOREST, IL 60305

15-01-406-032-1013  
JUNE R WITZL  
1020 N HARLEM AV 3A  
RIVER FOREST, IL 60305

15-01-406-032-1014  
PAMELA KNAPEK  
1020 N HARLEM AV 3B  
RIVER FOREST, IL 60305

15-01-406-032-1015  
JOYCE K WASHINGTON  
1020 N HARLEM AV 3C  
RIVER FOREST, IL 60305



15-01-406-032-1016  
GUILBERT PALMA GOLZ  
1020 N HARLEM AV 3D  
RIVER FOREST, IL 60305

15-01-406-032-1017  
RICHARD W PRESCOTT  
1020 N HARLEM AVE#3E  
RIVER FOREST, IL 60305

15-01-406-032-1018  
SMILEY  
1020 N HARLEM AVE 3F  
RIVER FOREST, IL 60305

15-01-406-032-1019  
LARRY E MITCHENER  
1020 N HARLEM AVE 4A  
RIVER FOREST, IL 60305

15-01-406-032-1020  
CIRRUS INV GRP LLC  
120 W MADISION 1407  
CHICAGO, IL 60602

15-01-406-032-1021  
CYNTHIA MEARS  
1020 N HARLEM AVE 4C  
RIVER FOREST, IL 60305

15-01-406-032-1022  
RONALD R MARICH  
1020 N HARLEM #4D  
RIVER FOREST, IL 60305

15-01-406-032-1023  
JAMES PATRICIA ELSER  
1020 N HARLEM AVE 4E  
RIVER FOREST, IL 60305

15-01-406-032-1024  
MARTIN E SIEGEL  
1020 N HARLEM AV 4F  
RIVER FOREST, IL 60305

15-01-406-032-1025  
EMLEE HILLIARD SMITH  
1020 N HARLEM 5A  
RIVER FOREST, IL 60305

15-01-406-032-1026  
GARY GAGLIANO  
1020 N HARLEM AVE #5B  
RIVER FOREST, IL 60305

15-01-406-032-1027  
THOMAS J MCDONNELL  
1020 N HARLEM AV 5C  
RIVER FOREST, IL 60305

15-01-406-032-1028  
GARY GAGLIANO  
1020 N HARLEM AVE #5D  
RIVER FOREST, IL 60305

15-01-406-032-1029  
BETTINA RUFFOLO  
1020 N HARLEM #5E  
RIVER FOREST, IL 60305

15-01-406-032-1030  
H KARL REKO 25485  
1020 N HARLEM  
RIVER FOREST, IL 60305

15-01-406-033-0000  
BBD LLC ATTN DG WATTS  
1018 ASHLAND AVE  
RIVER FOREST, IL 60305

15-01-406-034-0000  
BBD LLC ATTN DG WATTS  
1018 ASHLAND AVE  
RIVER FOREST, IL 60305

15-01-407-009-0000  
ROBERT O TUERK  
946 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-407-010-0000  
MARK WOZNAK  
942 JACKSON AV  
RIVER FOREST, IL 60305

15-01-407-011-0000  
STEVEN L MANDELL  
938 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-407-012-0000  
MATTHEW T NIX  
934 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-407-013-0000  
CHRIS DANIELLE LOCKE  
930 JACKSON  
RIVER FOREST, IL 60305

15-01-407-014-0000  
MARK EMILY BROWN  
926 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-407-015-0000  
TAXPAYER OF  
922 N JACKSON AVE  
RIVER FOREST, IL 60305

15-01-407-016-0000  
T WATERS A MANDUJANO  
918 JACKSON  
RIVER FOREST, IL 60305

15-01-407-017-0000  
MARGOT M DYBOWSKI  
914 JACKSON AV  
RIVER FOREST, IL 60305

15-01-407-018-0000  
RICHARD A MCMAHON JR  
910 JACKSON AV  
RIVER FOREST, IL 60305

15-01-407-019-0000  
JOHN ANNETTE VINCENT  
906 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-408-001-0000  
PAUL BALTER  
947 JACKSON  
RIVER FOREST, IL 60305

15-01-408-002-0000  
JOHN G MOORE  
943 JACKSON AV  
RIVER FORST, IL 60305

15-01-408-003-0000  
J V SHAKER  
937 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-408-004-0000  
BRIAN C JOSEPHS  
933 JACKSON AV  
RIVER FOREST, IL 60305

15-01-408-005-0000  
COREY PERRY  
927 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-408-006-0000  
LA VAUGHN PETERSON  
923 JACKSON AV  
RIVER FOREST, IL 60305

15-01-408-007-0000  
WILLIAM A TODD  
919 JACKSON AV  
RIVER FOREST, IL 60305

15-01-408-008-0000  
JILL E ZUCKER  
913 JACKSON AV  
RIVER FOREST, IL 60305

15-01-408-009-0000  
LAWRENCE T O BRIEN  
907 JACKSON AVE  
RIVER FOREST, IL 60305

15-01-408-013-0000  
MARY C ARVIS  
938 MONROE AVE  
RIVER FOREST, IL 60305

15-01-408-014-0000  
JOAN U YOUNG  
930 MONROE AV  
RIVER FOREST, IL 60305

15-01-408-015-0000  
H R PATEL  
926 MONROE AVE  
RIVER FOREST, IL 60305

15-01-408-016-0000  
CHARLES VIETZEN  
922 MONROE AV  
RIVER FOREST, IL 60305

15-01-408-017-0000  
JOSEPH KRISTINE FARK  
918 MONROE  
RIVER FOREST, IL 60305

15-01-408-018-0000  
JOHN FOREHAND  
914 MONROE AVE  
RIVER FOREST, IL 60305

15-01-408-019-0000  
Property Owner  
1006 Monroe  
River Forest, IL 60305

15-01-408-022-0000  
BRIAN VAN MEURS  
942 MONROE AVE  
RIVER FOREST, IL 60305

15-01-408-023-0000  
HAROLD J PELZER JR  
946 MONROE AV  
RIVER FOREST, IL 60305

15-01-409-001-0000  
RAYMOND O BELL 27464  
947 MONROE AV  
RIVER FOREST, IL 60305

15-01-409-002-0000  
ROBERT J BUSCHMANN  
943 MONROE AV  
RIVER FOREST, IL 60305

15-01-409-003-0000  
JOANNA HORSNAIL  
937 MONROE AVE  
RIVER FOREST, IL 60305

15-01-409-004-0000  
FRANK VITO MARSICO  
935 MONROE AV  
RIVER FOREST, IL 60305

15-01-409-005-0000  
MICHAEL KENNEDY  
931 MONROE AVE  
RIVER FOREST, IL 60305

15-01-409-006-0000  
DAVID P MURRAY  
927 MONROE  
RIVER FOREST, IL 60305

15-01-409-007-0000  
THE JOHN R MINIUTTI RE  
923 MONROE AVE  
RIVER FOREST, IL 60305

15-01-409-008-0000  
RUBEN A LLANES  
919 MONROE AVENUE  
RIVER FOREST, IL 60305

15-01-409-009-0000  
ADRIENNE ALLEN  
915 MONROE AV  
RIVER FOREST, IL 60305

15-01-409-010-0000  
J BARKER M HAAG  
7426 IOWA ST  
RIVER FOREST, IL 60305

15-01-409-011-0000  
GEORGE MACIAG  
7422 W IOWA  
RIVER FOREST, IL 60305

15-01-409-012-0000  
RICHARD SIMCOX  
7416 IOWA STREET  
RIVER FOREST, IL 60305

15-01-409-013-0000  
DULAL K BHAUMIK  
946 WILLIAMS ST  
RIVER FOREST, IL 60305

15-01-409-014-0000  
GUS PAPPAS  
942 N WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-015-0000  
THOMAS CARGIE  
938 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-016-0000  
RICHARD W SCHUMACHER  
934 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-017-0000  
SHANE KATHRYN THURST  
930 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-018-0000  
DAVID LATHAM  
926 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-019-0000  
ALEXANDER NEKRASOV  
922 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-409-020-0000  
CTLTC 8002364657  
918 WILLIAM  
RIVER FOREST, IL 60305

15-01-409-021-0000  
MUCCIANTI JANCIOUS  
914 WILLIAM AVE  
RIVER FOREST, IL 60305

15-01-409-022-0000  
JULIE DIANE FANTETTI  
910 WILLIAM  
RIVER FOREST, IL 60305

15-01-410-001-0000  
J ANDERSON  
947 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-002-0000  
JOHN COURTNEY  
941 WILLIAM  
RIVER FOREST, IL 60305

15-01-410-003-0000  
JAD PETERSON  
935 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-004-0000  
MICHAEL-SUE W HARKINS  
929 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-005-0000  
GEORGE J DURAKIS  
671 MOURNING DOVE DR  
SARASOTA, FL 34236

15-01-410-006-0000  
AUGUST J CRIVOLIO  
919 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-007-0000  
STEVEN LINDA SPERACINO  
915 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-008-0000  
TAX PAYER OF  
909 WILLIAM ST  
RIVER FOREST, IL 60305

15-01-410-010-0000  
Rev. Dr. Daniel Gard  
946 Clinton  
River Forest, IL 60305

15-01-410-011-0000  
LINDA HOLLIDAY  
940 CLINTON PL  
RIVER FOREST, IL 60305

15-01-410-014-0000  
LIVIO MARYANN PAROLIN  
924 CLINTON PL  
RIVER FOREST, IL 60305

15-01-410-015-0000  
WILLIAM K MCVISK  
918 N CLINTON 233  
RIVER FOREST, IL 60305

15-01-410-016-0000  
PAUL C SCHRECKENBERGER  
914 CLINTON PL  
RIVER FOREST, IL 60305

15-01-410-017-0000  
ROBERT AND MARY BERG  
908 CLINTON PLACE  
RIVER FOREST, IL 60305

15-01-410-019-0000  
HOWARD E JAPLON  
934 CLINTON PL  
RIVER FOREST, IL 60305

15-01-410-021-0000  
M L BURRELLO  
930 CLINTON PL  
RIVER FOREST, IL 60305

15-01-411-001-0000  
SUSAN JAMES LUCCI  
947 CLINTON PL  
RIVER FOREST, IL 60305

15-01-411-002-0000  
DEREK KIMBERLY BRIGG  
941 CLINTON  
RIVER FOREST, IL 60305

15-01-411-003-0000  
MICHAEL T TRUCCO  
935 CLINTON PL  
RIVER FOREST, IL 60305

15-01-411-005-0000  
W DAVID MILLS  
919 CLINTON PLACE  
RIVER FOREST, IL 60305

15-01-411-006-0000  
KELLY OKEEFE  
915 CLINTON PL  
RIVER FOREST, IL 60305

15-01-411-007-0000  
BILL GRESHAM  
909 CLINTON PL  
RIVER FOREST, IL 60305

15-01-411-009-0000  
MARK RENEE ROTATORI  
944 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-010-0000  
JOHN CLEARY  
940 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-411-011-0000  
DAVID C NEILSON  
934 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-012-0000  
JOHN C EGAN  
930 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-013-0000  
MARTIN N PREISER  
924 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-014-0000  
JAMES ARADO  
920 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-015-0000  
SPIROS BOURGIKOS  
914 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-016-0000  
PETER G PELAFAS  
910 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-411-018-0000  
BRIAN ALVERS  
933 CLINTON PLACE  
RIVER FOREST, IL 60305

15-01-411-019-0000  
THOMAS FRIEDRICH  
907 KEYSTONE AVE  
RIVER FOREST, IL 60305

15-01-412-001-0000  
FRANKLIN MOORE  
947 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-412-002-0000  
LIAM JENNIFER KELLY  
941 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-412-003-0000  
JOHN GIURA  
935 BONNIE BRAE PL  
RIVER FOREST, IL 60305

15-01-412-004-0000  
HOWARD LEVINSKY  
931 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-412-005-0000  
DANIEL L FORAN  
925 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-412-006-0000  
PATRICIA HERRERA  
919 BONNE BRAE  
RIVER FOREST, IL 60305

15-01-412-007-0000  
PAUL W SCHROEDER  
915 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-412-008-0000  
LEONARD VERTUNO  
909 BONNIE BRAE  
RIVER FOREST, IL 60305

15-01-412-013-0000  
SALAMEH ALKARAKI  
926 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-412-014-0000  
JANET E MILLER  
922 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-412-015-0000  
B J STANDISH  
918 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-412-016-0000  
ALLISON MICHAEL SOCI  
914 N HARLEM  
RIVER FOREST, IL 60305

15-01-412-017-0000  
PAT AND ELIZ NEVINS  
910 N HARLEM  
RIVER FOREST, IL 60305

15-01-412-020-0000  
Chicago Meditation Group  
946 Harlem Ave.  
River Forest, IL 60305

15-01-412-022-0000  
BYOUNGCHAN PARK  
930 N HARLEM AV  
RIVER FOREST, IL 60305

15-01-412-023-0000  
JUSTIN XIAOTANG GRAH  
938 N HARLEM AVE  
RIVER FOREST, IL 60305

15-01-412-024-0000  
PETER SCHONMAN  
934 N HARLEM AV  
RIVER FORST, IL 60305

16-06-120-010-0000  
ANGEL ASSOCIATES LP  
30W180 BUTTERFIELD RD  
WARRENVILLE, IL 60555

16-06-120-024-0000  
JAMES E FORTE  
1215 N HARLEM A  
OAK PARK, IL 60302

16-06-120-025-0000  
RUTH BAUER  
1215 N HARLEM B  
OAK PARK, IL 60302



16-06-120-026-0000  
EDWARD FANTIS  
1215 N HARLEM AV C  
OAK PARK, IL 60302

16-06-120-027-0000  
LINWOOD DUROE  
1217 N HARLEM AV A  
OAK PARK, IL 60302

16-06-120-028-0000  
JEANNINE W BALDWIN  
1217 B HARLEM APT B  
OAK PARK, IL 60302

16-06-120-029-0000  
MONIQUE MANDERSON  
1217C HARLEM AVE  
OAK PARK, IL 60302

16-06-120-030-0000  
JOHN TOMASZEWSKI  
3222 KNOLLWOOD LN  
GLENVIEW, IL 60025

16-06-120-031-0000  
MATTHEW KRYSTAL  
1221B N HARLEM AV  
OAK PARK, IL 60302

16-06-120-032-0000  
JAMES DIANE JEFFRIES  
1221C N HARLEM AV  
OAK PARK, IL 60302

16-06-120-033-0000  
CHRISTOPHER D HUNTLEY  
1223 N HARLEM #A  
OAK PARK, IL 60302

16-06-120-034-0000  
SANDRA L KASPROWICZ  
1223 N HARLEM B  
OAK PARK, IL 60302

16-06-120-035-0000  
SANDRA L KASPROWICA  
1223 N HARLEM AV C  
OAK PARK, IL 60302

16-06-120-044-1001  
ANDRES RODRIGUEZ  
1209 N HARLEM #1  
OAK PARK, IL 60302

16-06-120-044-1002  
KAREN TELLEZ  
3632 N PACIFIC AV  
CHICAGO, IL 60634

16-06-120-044-1003  
MICHELLE FORTIER  
7827 FOREST PRESERVE  
CHICAGO, IL 60634

16-06-120-044-1004  
ANDREA A FLOWERS  
1209 N HARLEM 2  
OAK PARK, IL 60302

16-06-120-044-1005  
JILLIAN A KREIMAN  
1209 N HARLEM 3  
OAK PARK, IL 60302

16-06-120-044-1006  
ALAN GLAVANOVITS  
1209 N HARLEM AVE  
OAK PARK, IL 60302

16-06-120-044-1007  
MICHAEL J SPILOTRO JR  
1209 N HARLEM AVE 4  
OAK PARK, IL 60302

16-06-120-044-1008  
ERVA BRUNO  
627 N HARVEY #2  
OAK PARK, IL 60302

16-06-120-044-1009  
DEAN LIVAS  
1209 N HARLEM AVE #5  
OAK PARK, IL 60302

16-06-120-044-1010  
IRENE VONGLUEKIAT  
1209 N HARLEM AVE  
OAK PARK, IL 60302

16-06-120-045-1001  
JOYCE M PARKER  
1205 N HARLEM AV #1  
OAK PARK, IL 60302

16-06-120-045-1002  
PARKWAY B T CO  
4800 N HARLEM AV  
HARWOOD HTS, IL 60706

16-06-120-045-1003  
ELIZABETH LOPEZ  
1205 N HARLEM AV #3  
OAK PARK, IL 60302

16-06-120-045-1004  
TOMASZ MOROZ  
1205 N HARLEM AVE #4  
OAK PARK, IL 60302

16-06-120-045-1005  
MIHAELA PANTIRU  
1205 N HARLEM AVE#5  
OAK PARK, IL 60302

16-06-120-045-1006  
S POTTS  
1205 N HARLEM #6  
OAK PARK, IL 60302

16-06-120-045-1007  
ALYSSA KATTIYAMAN  
1014 HIGHRIDGE RD  
LOMBARD, IL 60148

16-06-120-045-1008  
IULIAN C BREZEANU  
1205 N HARLEM AVE #8  
OAK PARK, IL 60302

16-06-120-045-1009  
AGING DISABILTY  
203 COSMAN RD  
ELK GRV VLG, IL 60007

16-06-120-045-1010  
TAXPAYER OF  
1205 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-001-0000  
ALDO LLC  
10 S LA SALLE ST 2750  
CHICAGO, IL 60603

16-06-300-008-0000  
LILA PANTOS  
1117 N HARLEM  
OAK PARK, IL 60302

16-06-300-036-0000  
JULIE A RANALLI  
1125 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-037-0000  
MYRNA E MEJIA  
1125B N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-038-0000  
LEWIS DAVIS NORTON  
625 W HAIL ST  
BUSINESS, IL 61422

16-06-300-039-0000  
LILLIAN M HIDALGO  
1837 N 74TH COURT  
ELMWOOD PARK, IL 60707

16-06-300-040-0000  
ANGELICA C C LAU  
1125 N HARLEM AV E  
OAK PARK, IL 60302

16-06-300-041-0000  
T GAVLIN  
1125 N HARLEM F  
OAK PARK, IL 60302

16-06-300-042-0000  
JACQUELINE NAPIER  
1121A N HARLEM AV  
OAK PARK, IL 60302

16-06-300-043-0000  
NWOKO EBIRIM CHIMATARA  
1121 N HARLEM AV B  
OAK PARK, IL 60302

16-06-300-044-0000  
ANNETTE MILEY  
1121 N HARLEM AV  
OAK PARK, IL 60302

16-06-300-045-0000  
LILIAN LAU  
1121 N HARLEM AV D  
OAK PARK, IL 60302

16-06-300-046-0000  
VIKRAM CHOPRA  
1121 N HARLEM AVE#E  
OAK PARK, IL 60302

16-06-300-047-0000  
BETTE J WILSON  
1121 N HARLEM F  
OAK PARK, IL 60302

16-06-300-048-0000  
ALDO LLC  
10 S LA SALLE ST 2750  
CHICAGO, IL 60603

16-06-300-049-1001  
MARY LOU CIVIDINO  
1120 W THOMAS ST 101  
OAK PARK, IL 60302

16-06-300-049-1002  
STEPHEN B FORWARD  
1120 W THOMAS 102  
OAK PARK, IL 60302

16-06-300-049-1003  
SUJAY SHARMA  
PO BOX 4381  
HOUSTON, TX 77210

16-06-300-049-1004  
JOHN P WARD  
1120 W THOMAS 104  
OAK PARK, IL 60302

16-06-300-049-1005  
KEITH O NEWTON  
1120 W THOMAS 105  
OAK PK, IL 60302

16-06-300-049-1006  
CHRISTINE M KUYPERS  
1120 THOMAS#201  
OAK PARK, IL 60302

16-06-300-049-1007  
BEVERLY J MYERS  
1120 THOMAS ST #202  
OAK PARK, IL 60302

16-06-300-049-1008  
JERRY JU  
1120 W THOMAS 203  
OAKPARK, IL 60302

16-06-300-049-1009  
ROSALIE GRAY  
1120 W THOMAS 204  
OAK PARK, IL 60302

16-06-300-049-1010  
MARY STRUDEMAN  
1120 THOMAS ST 205  
OAK PARK, IL 60302

16-06-300-049-1011  
ROSELYN M GIESCHEN  
1120 THOMAS 301  
OAK PARK, IL 60302

16-06-300-049-1012  
CJ MA BUCK  
1120 THOMAS ST #302  
OAK PARK, IL 60302

16-06-300-049-1013  
SHEILA R TRAINOR  
1120 W THOMAS ST #303  
OAK PARK, IL 60302

16-06-300-049-1014  
FELICE E MACIEJEWSKI  
1120 THOMAS ST #304  
OAK PARK, IL 60302

16-06-300-049-1015  
HARSHAL PALAK JANI  
1120 THOMAS #305  
OAK PARK, IL 60302

16-06-300-049-1016  
CHRISTINE M KUYPERS  
1120 THOMAS#201  
OAK PARK, IL 60302

16-06-300-049-1017  
CHRISTINE M KUYPERS  
1120 THOMAS#201  
OAK PARK, IL 60302

16-06-300-049-1018  
SUJAY SHARMA  
PO BOX 4381  
HOUSTON, TX 77210

16-06-300-049-1019  
SHEILA R TRAINOR  
1120 W THOMAS ST #303  
OAK PARK, IL 60302

16-06-300-049-1020  
STEPH BEVRLY FORWARD  
1120 W THOMAS #102  
OAK PARK, IL 60302

16-06-300-049-1021  
KONSTANTIN SHATALIN  
1120 THOMAS ST #202  
OAK PARK, IL 60302

16-06-300-049-1022  
KEITH O NEWTON  
1120 W THOMAS 105  
OAK PK, IL 60302

16-06-300-049-1023  
KEITH O NEWTON  
1120 W THOMAS 105  
OAK PK, IL 60302

16-06-300-049-1024  
KONSTANTIN SHATALIN  
1120 THOMAS ST #202  
OAK PARK, IL 60302

16-06-300-049-1025  
JOHN P WARD  
1120 W THOMAS 104  
OAK PARK, IL 60302

16-06-300-049-1026  
CJ MA BUCK  
1120 THOMAS ST#302  
OAK PARK, IL 60302

16-06-300-049-1027  
CJ MA BUCK  
1120 THOMAS ST #302  
OAK PARK, IL 60302

16-06-300-049-1028  
ROSALIE GRAY  
1120 W THOMAS 204  
OAK PARK, IL 60302

16-06-300-049-1029  
ROSALIE GRAY  
1120 W THOMAS 204  
OAK PARK, IL 60302

16-06-300-049-1030  
STEPHEN B FORWARD  
1120 W THOMAS #102  
OAK PARK, IL 60302

16-06-300-049-1031  
JERRY WU  
1120 W THOMAS 203  
OAK PARK, IL 60302

16-06-300-049-1032  
JERRY JU  
1120 W THOMAS 203  
OAKPARK, IL 60302

16-06-300-049-1033  
HARSHAI PALAK JANI  
1120 THOMAS #305  
OAK PARK, IL 60302

16-06-300-049-1034  
MARY LOU CIVIDINO  
1120 W THOMAS ST 101  
OAK PARK, IL 60302

16-06-300-049-1035  
FELICE E MACIEJEWSKI  
1120 THOMAS ST #304  
OAK PARK, IL 60302

16-06-300-049-1036  
MARY STRUDEMAN  
1120 THOMAS ST 205  
OAK PARK, IL 60302

16-06-300-049-1037  
ROSELYN M GIESCHEN  
1120 THOMAS 301  
OAK PARK, IL 60302

16-06-300-049-1038  
MARY STRUDEMAN  
1120 THOMAS ST 205  
OAK PARK, IL 60302

16-06-300-049-1039  
FELICE E MACIEJEWSKI  
1120 THOMAS ST #304  
OAK PARK, IL 60302

16-06-300-050-1001  
TAXPAYER OF  
P O BOX 814  
OAK PARK, IL 60303

16-06-300-050-1002  
CYNTHIA EMERY  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1003  
LEVY PALACIO  
1115 N HARLEM #1B  
OAK PARK, IL 60302

16-06-300-050-1004  
COLBY V BURNETT  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1005  
ZUZANA BALCIUNAS  
1115 N HARLEM 1C  
OAK PARK, IL 60302

16-06-300-050-1006  
ELVIN ESTRELLITA RAM  
10335 KENT ST  
WESTCHESTER, IL 60154

16-06-300-050-1014  
LUIS CARO  
1115 N HARLEM AVE #2B  
OAK PARK, IL 60302

16-06-300-050-1015  
ELVIN ESTRELLITA RAM  
10335 KENT ST  
WESTCHESTER, IL 60154

16-06-300-050-1016  
CYNTHIA EMERY  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1017  
CYNTHIA EMERY  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1018  
LEVY IY PALACIO  
1115 N HARLEM 1B  
OAK PARK, IL 60302

16-06-300-050-1019  
BALCIUNAS ZUZANA  
1115 N HARLEM 1C  
OAK PARK, IL 60302

16-06-300-050-1020  
COMEQUITY 1115  
328 S WISCONSIN AV 1A  
OAK PARK, IL 60302

16-06-300-050-1021  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1022  
LEVY Y PALACIO  
1115 N HARLEM AV 1B  
OAK PARK, IL 60302

16-06-300-050-1023  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1024  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1025  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1026  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1027  
ZUZANA E BALCIUNAS  
1115 B HARLEM AV 1C  
OAK PARK, IL 60302

16-06-300-050-1028  
LUIS CARO  
1115 N HARLEM AVE #2B  
OAK PARK, IL 60302

16-06-300-050-1029  
LEVY Y PALACIO  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1030  
CURRENT TAXPAYER OF  
1115 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-050-1031  
CURRENT TAXPAYER  
1115 N HARLEM AVENUE  
OAK PARK, IL 60302

16-06-300-051-1001  
LARRY E MOODY  
1111 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-051-1002  
JAMES E CARROLL L TO  
1111 N HARLEM AVENUE  
OAK PARK, IL 60302

16-06-300-051-1003  
SETTLERS HOUSING SVC  
12220 WHITLEY ST  
WHITTIER, CA 90601

16-06-300-051-1004  
MAAZA BONFANTI  
1111 N HARLEM AVE #2B  
OAK PARK, IL 60302

16-06-300-051-1005  
SOT2 LLC  
5339 W BELMONT AVE  
CHICAGO, IL 60641

16-06-300-051-1006  
NEUMAN S KIAMCO2C  
1111 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-051-1014  
CURRENT TAXPAYER  
1111 N HARLEM AVENUE  
OAK PARK, IL 60302

16-06-300-051-1015  
JAMES E CARROLL L TO  
1111 N HARLEM AVENUE  
OAK PARK, IL 60302



16-06-300-051-1016  
SOT2 LLC  
5339 W BELMONT AVE  
CHICAGO, IL 60641

16-06-300-051-1017  
CURRENT TAXPAYER OF  
1111 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-051-1018  
CURRENT TAXPAYER OF  
1111 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-051-1019  
JAMES E CARROLL L TO  
1111 N HARLEM AVENUE  
OAK PARK, IL 60302

16-06-300-051-1020  
CURRENT TAXPAYER OF  
1111 N HARLEM AVE  
OAK PARK, IL 60302

16-06-300-051-1021  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1022  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1023  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1024  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1025  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1026  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1027  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1028  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1029  
SOT2 LLC  
5339 W BELMONT AVE  
CHICAGO, IL 60641

16-06-300-051-1030  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1031  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1032  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-300-051-1033  
CTLTC USB 7375  
10 S LASALLE ST #2750  
CHICAGO, IL 60603

16-06-307-003-0000  
MATHEW THOMPSON  
1029 N HARLEM AVE  
OAK PARK, IL 60302

16-06-307-004-0000  
HONGWU WANG  
723 N CUYLER  
OAK PARK, IL 60302

16-06-307-006-0000  
SERGIO MARTINEZ  
1021 N HARLEM AVE  
OAK PARK, IL 60302

16-06-307-007-0000  
NICHAYETTE VIL  
25W271 OLDHAM RD  
NAPERVILLE, IL 60563

16-06-307-008-0000  
LARRY AYERS  
PO BOX 5571  
RIVER FOREST, IL 60305

16-06-307-029-0000  
1031 N HARLEM INC  
P O BOX 87  
RIVER GROVE, IL 60171

16-06-307-034-1001  
CURTISSA WARE  
1037 N HARLEM AVE 15A  
OAK PARK, IL 60302

16-06-307-034-1002  
M FAIR  
1037 N HARLEM  
OAK PARK, IL 60302

16-06-307-034-1003  
MARGARET HARRIS  
1037 N HARLEM AV 3SA  
OAK PARK, IL 60302

16-06-307-034-1004  
RENATO GRAZIANO  
1037 N HARLEM APT 1SB  
OAK PARK, IL 60302

16-06-307-034-1005  
SUNDAY WEGNER  
1037 N HARLEM AV 25B  
OAK PARK, IL 60302

16-06-307-034-1006  
JOHN LITTLE  
1037 N HARLEM AVE 3SB  
OAK PARK, IL 60302

16-06-307-034-1007  
ALLISON YUMLU  
1125 PARK AVE  
RIVER FOREST, IL 60305

16-06-307-034-1008  
JOSEPH R IRONS  
1039 N HARLEM AV 2S  
OAK PARK, IL 60302

16-06-307-034-1009  
LILLIAN E VAIL  
1039 N HARLEM AV 3C  
OAK PARK, IL 60302

16-06-307-034-1010  
CHRISTIAN JAPLIT  
1039 N HARLEM AVE 1D  
OAK PARK, IL 60302

16-06-307-034-1011  
PALMINA TROMBETTA  
1039 N HARLEM 2SD  
OAK PARK, IL 60302

16-06-307-034-1012  
CANDACE F DEMARIO  
1039 N HARLEM AV 3D  
OAK PARK, IL 60302

16-06-307-034-1013  
LAVERNE WISDOM  
1045 N HARLEM AV  
OAK PARK, IL 60302

16-06-307-034-1014  
WILLIAM R COURTRIGHT  
1045 N HARLEM AV 2NC  
OAK PARK, IL 60302

16-06-307-034-1015  
CHARLES M LAKE  
1045 N HARLEM AVE 3NC  
OAK PARK, IL 60302

16-06-307-034-1016  
DAVID C CASO  
1047 N HARLEM 1NB  
OAK PARK, IL 60302

16-06-307-034-1017  
RICHARD F MUNDT  
1047 N HARLEM AV 2NB  
OAK PARK, IL 60302

16-06-307-034-1018  
ENEA LAKO  
1047 N HARLEM AVE 3NB  
OAK PARK, IL 60302

16-06-307-034-1019  
ROGER STRAW  
352 PERSIMMON DR  
FRONT ROYAL, VA 22630

16-06-307-034-1020  
LAWRENCE H MC DONALD  
1047 N HARLEM #2NA  
OAK PARK, IL 60302

16-06-307-034-1021  
CLIDIE YOKELY  
1047 N HARLEM AV 3NA  
OAK PARK, IL 60302

16-06-307-034-1022  
LILLIAN E VAIL  
1039 N HARLEM AV 3C  
OAK PARK, IL 60302

16-06-307-034-1023  
CLIDIE YOKELY  
1047 N HARLEM AV 3NA  
OAK PARK, IL 60302

16-06-307-034-1024  
ROGER STRAW  
352 PERSIMMON RD  
FRONT ROYAL, VA 22630

16-06-307-034-1025  
RENATO A GRAZIANO  
1037 N HARLEM AV  
OAK PARK, IL 60302

16-06-307-034-1026  
CHARLES M LAKE  
1045 N HARLEM AVE 3NC  
OAK PARK, IL 60302

16-06-307-034-1027  
LAVERNE WISDOM  
1045 N HARLEM AV 1NC  
OAK PARK, IL 60302

16-06-307-034-1028  
WILLIAM R COURTRIGHT  
1045 N HARLEM AV 2NC  
OAK PARK, IL 60302

16-06-307-034-1029  
PALMINA V TROMBETTA  
1039 N HARLEM 2SD  
OAK PARK, IL 60302

16-06-307-034-1030  
ENEA LAKO  
1047 N HARLEM AVE 3NB  
OAK PARK, IL 60302

16-06-307-034-1031  
MARGARET HARRIS  
1037 N HARLEM AV 3SA  
OAK PARK, IL 60302

16-06-307-034-1032  
CANDACE DEMARIO BUTERA  
1022 N KENILWORTH  
OAK PARK, IL 60302

16-06-307-034-1033  
CHRISTIAN JAPLIT  
1039 N HARLEM AVE 1D  
OAK PARK, IL 60302

16-06-307-035-0000  
ROBERT MILSTEIN  
1011 N HARLEM A  
OAK PARK, IL 60302

16-06-307-036-0000  
MICHAEL RUTKOWSKI  
935 W CHESTNUT ST 201  
CHICAGO, IL 60642

16-06-307-037-0000  
ALEJANDRO BELOZ  
1011-C N HARLEM  
OAK PARK, IL 60302

16-06-307-038-0000  
THERESA JACK  
1013 N HARLEM A  
OAK PARK, IL 60302

16-06-307-039-0000  
PATRICIA POSKITT  
1013 N HARLEM AV B  
OAK PARK, IL 60302

16-06-307-040-0000  
ANTOINETTE ZACCAGNINO  
1013 N HARLEM AVE #C  
OAK PARK, IL 60302

16-06-307-041-0000  
LEIGH ANN TAILLIE  
1007 N HARLEM AV #A  
OAK PARK, IL 60302

16-06-307-042-0000  
JOEMAR LLC  
1007 FRANKLIN  
RIVER FOREST, IL 60305

16-06-307-043-0000  
SCYLA MURRAY  
1007 N HARLEM AV C  
OAK PARK, IL 60302

16-06-307-044-0000  
GLORIA J WOODEN  
1009 N HARLEM AVE #A  
OAK PARK, IL 60302

16-06-307-045-0000  
MONNETTE M BARIEL  
1009 N HARLEM  
OAK PARK, IL 60302

16-06-307-046-0000  
RICHARD MASON  
1009C N HARLEM AVE  
OAK PARK, IL 60302

16-06-307-047-1001  
GUSSIE PETTIS  
1001 N HARLEM AV A  
OAK PARK, IL 60302

16-06-307-047-1002  
ALLISON YUMLU  
1125 PARK AVE  
RIVER FOREST, IL 60305

16-06-307-047-1003  
LINDA LEE  
1001-C N HARLEM AVE  
OAK PARK, IL 60302

16-06-307-047-1004  
NANCY ALLEGRETTI  
1001 N HARLEM AV D  
OAK PARK, IL 60302

16-06-307-047-1005  
MARY GOGGIN  
251 CONCORD DR  
MELROSE PARK, IL 60160

16-06-307-047-1006  
GINO J PISANI  
8119 W LAKE ST  
RIVER FOREST, IL 60305

16-06-307-047-1007  
GINO J PISANI  
8119 W LAKE ST  
RIVER FOREST, IL 60305

16-06-307-047-1008  
DEBBIE R WILLIAMS  
1005 N HARLEM AV B  
OAK PARK, IL 60302

16-06-307-047-1009  
JULIE ANNE CARRAMUSA S  
39 W WRIGHTWOOD AVENUE  
GLENDALE HTS, IL 60139

16-06-307-047-1010  
RACHEL M HERMAN 8633  
221 N KENILWORTH  
OAK PARK, IL 60302

16-06-307-047-1011  
BARRY BLATTBERG  
1005 N HARLEW #D  
OAK PARK, IL 60302

16-06-307-047-1012  
M SEXTON  
503 E NORTH ST  
ITASCA, IL 60143

16-06-307-048-1001  
PACIANO EBARVIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-307-048-1002  
PACIANO EBARUIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-307-048-1003  
PACIANO EBARVIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-307-048-1004  
PACIANO EBARVIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-307-048-1005  
PACIANO EBARVIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-307-048-1006  
PACIANO EBARVIA  
1715 N 74TH CT  
ELMWOOD PARK, IL 60707

16-06-314-003-0000  
JOSH RACHEL DENNIS  
1129 AUGUSTA  
OAK PARK, IL 60302

16-06-314-008-0000  
JOHN RAMM  
1140 MILLER  
OAK PARK, IL 60302

16-06-314-009-0000  
DELIA MEENAGHAN  
325 SHARON LN  
NO AURORA, IL 60542

16-06-314-010-0000  
HAMEL SEFFERMAN  
1132 MILLER  
OAK PARK, IL 60302

16-06-314-011-0000  
ERIC ROHMANN  
1130 MILLER AVE  
OAK PARK, IL 60302

16-06-314-022-0000  
ZYLA PROPERTIES LLC  
47 W DIVISION ST 395  
CHICAGO, IL 60610

16-06-314-023-0000  
ZYLA PROPERTIES LLC  
47 W DIVISION ST #395  
CHICAGO, IL 60610

16-06-315-001-0000  
DONALD LAMKEN  
1139 W MILLER  
OAK PARK, IL 60302

16-06-315-002-0000  
KENNETH L HUNTER  
1135 W MILLER  
OAK PARK, IL 60302

16-06-315-003-0000  
STEPHEN D ABTAHI  
1131 MILLER AVE  
OAK PARK, IL 60302

16-06-315-004-0000  
TERESA ERIC WRIGHT  
1129 MILLER AVE  
OAK PARK, IL 60302

16-06-315-021-0000  
ROVAGNATI TEMPORITI  
1154 SCHNEIDER AVE  
OAK PK, IL 60302

16-06-315-022-0000  
TAXPAYER OF  
1150 SCHNEIDER AV  
OAK PARK, IL 60302

16-06-315-023-0000  
TAPARIA GOYAL  
1146 SCHNEIDER AVE  
OAK PK, IL 60302

16-06-315-024-0000  
IRENE M IVANOVA  
1142 SCHNEIDER AVE  
OAK PARK, IL 60302

16-06-315-025-0000  
DOUGLAS LINDA BELPEDIO  
1005 N LINDEN AVE  
OAK PARK, IL 60302

16-06-315-028-0000  
ECKHARDT  
1152 SCHNIEDER  
OAK PARK, IL 60302

16-06-315-029-0000  
CHANAS J ADAMS T  
1148 SCHNEIDER AV  
OAK PARK, IL 60302

16-06-315-030-0000  
D SCULLY  
1144 SCHNEIDER  
OAK PARK, IL 60302

16-06-315-031-0000  
W HUANG  
1140 SCHNEIDER AVE  
OAK PARK, IL 60302

16-06-315-032-0000  
M CHESEBRO  
1134 SCHNEIDER AVE  
OAK PARK, IL 60302

16-06-315-035-0000  
VICTORIAN SQUARE  
41 CHICAGOAV  
OAK PARK, IL 60302

16-06-316-026-0000  
R C JEWELL  
1844 N NORDICA  
CHICAGO, IL 60707

16-06-316-030-1001  
FRANK ALEXANDER  
1135 SCHNEIDER AV  
OAK PARK, IL 60302

16-06-316-030-1002  
GREG MORRISEY  
1135 SCHNEIDER 3A  
OAK PARK, IL 60302

16-06-316-030-1003  
ANDREW HOLLY MCCARTH  
1135 SCHNEIDER #4A  
OAK PARK, IL 60302

16-06-316-030-1004  
BARBARA L CLOUSE  
1135 SCHNEIDER 2B  
OAK PARK, IL 60302

16-06-316-030-1005  
SEBASTIAN BLICHARZ  
1135 SCHNEIDER AVE #3B  
OAK PARK, IL 60302

16-06-316-030-1006  
MELANIE RAK  
1135 SCHNEIDER B4  
OAK PARK, IL 60302



16-06-316-030-1007  
JIHWAN KIM  
1135 SCHNEIDER  
OAK PARK, IL 60302

16-06-316-030-1008  
BARBARA MIREL  
1135 SCHNEIDER AVE #3C  
OAK PARK, IL 60302

16-06-316-030-1009  
CAROL S PERLEE  
1135 SCHNEIDER C4  
OAK PARK, IL 60302

16-06-316-030-1010  
JOHN ROBEL  
1135 SCHNEIDER #3D  
OAK PARK, IL 60302

16-06-316-030-1011  
FRANK ALEXANDER  
1135 SCHNEIDER 2A  
OAK PARK, IL 60302

16-06-316-030-1012  
MELANIE RAK  
1135 SCHNEIDER B4  
OAK PARK, IL 60302

16-06-316-030-1013  
JIHWAN KIM  
1135 SCHNEIDER  
OAK PARK, IL 60302

16-06-316-030-1014  
JOHN ROBEL  
1135 SCHNEIDER 3D  
OAK PARK, IL 60302

16-06-316-030-1015  
MORRISEY  
1135 SCHNEIDER AV #3A  
OAK PARK, IL 60302

16-06-316-030-1016  
ANDREW HOLLY MCCARTH  
1135 SCHNEIDER #4A  
OAK PARK, IL 60302

16-06-316-030-1017  
BARBARA L CLOUSE  
1135 SCHNEIDER 2B  
OAK PARK, IL 60302

16-06-316-030-1018  
BARBARA L CLOUSE  
1135 SCHNEIDER 2B  
OAK PARK, IL 60302

16-06-316-030-1019  
SEBASTIAN BLICHARZ  
1135 SCHNEIDER AVE #3B  
OAK PARK, IL 60302

16-06-316-030-1020  
CAROL PERLEE  
1135 SCHNEIDER 4C  
OAK PARK, IL 60302

16-06-316-030-1021  
BARBARA MIREL  
1135 SCHNEIDER AVE #3C  
OAK PARK, IL 60302

16-06-316-030-1022  
ANDREW HOLLY MCCARTH  
1135 SCHNEIDER #4A  
OAK PARK, IL 60302

16-06-316-030-1023  
JOHN ROBEL  
1135 SCHNEIDER #3D  
OAK PARK, IL 60302

16-06-316-030-1024  
GREG MORRISEY  
1135 SCHNEIDER 3A  
OAK PARK, IL 60302

16-06-316-030-1025  
BARBARA MIREL  
1135 SCHNEIDER AVE #3C  
OAK PARK, IL 60302



1864

CONCORDIA  
UNIVERSITY  
CHICAGO

7400 Augusta Street  
River Forest  
Illinois 60305-1499  
708-771-8300  
fax 708-209-3176  
[www.CUChicago.edu](http://www.CUChicago.edu)

### Certificate of Mailing Notice of Village Board Meeting

I, GLEN STEINER, Assistant Vice President for Administration at Concordia University Chicago, certify that I caused the attached **Notice of Neighbor Meeting** to be mailed to 663 property owners on the list provided to Village staff by causing the letters to be deposited postage paid, first class mail, in the mail box at the Oak Park postal substation at Concordia University, 7400 Augusta, River Forest, Illinois 60305, before the hour of four o'clock p.m. on February 24, 2017.

I further certify that the list of property owners is the same as the one previously prepared by Property Insight, and previously submitted to Village staff

Dated: February 24, 2017

---

Glen Steiner  
Assistant Vice President, Administration  
Concordia University Chicago

**XX. Written Request for Waivers**

The University anticipates an approximate ten foot increase in height at the new enclosure located at the southeast corner of the parking garage. This overall height is approximately 54 feet. The overall height of the existing stealth enclosures at the southwest corner and the northwest corner of the parking garage is 65 feet-two inches. The parapet height of Concordia Hall, which is directly south of the proposed enclosure, is 58 feet. We are requesting approval for the new stealth enclosure to be constructed at approximately 54 feet.

Concordia requested and the Development Review Board approved on April 6, 2017, the following waivers from the application process: a detailed site plan showing neighboring structures; detailed plans showing lot area, required yards and setbacks, common space and location, lot area coverage and parking and loading spaces as these do not apply to this application; detailed floor plans, uses of the area and floor area; a landscape plan; traffic study; and, an environmental impact study.

On February 15, 2018 Concordia returned to the Development Review Board to illustrate why this project and application were delayed, to review a new proposed installation configuration, and to request that the traffic study waiver remain in place. At this meeting the Development Review Board approved leaving the waiver for the traffic study in place.

As pointed out previously in this Application, the University believes this proposed Amendment meets the Standards for Review set out in Section 10-19-3 of the Village Code (see Sec. V.).

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**XXI. Fee for Village**

Concordia University Chicago stands ready to make any deposits deemed necessary as notified by the Village of River Forest.

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